



# Memorandum

To: Planning Commission Members  
From: Elizabeth J Corwin, PE, AIPC; Planning Director  
Date: May 21, 2026  
Re: SPR25-001  
Applicant: Steve Kolber/Kolbrook Design. Owner: OM Group  
140 W Highland Road  
PIN 11-22-301-007

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You are asked to review a plan amendment for the Jimmy John/Dunkin site that was previously approved in February, 2026. As the applicant was finishing up gathering final approvals, he discovered that the Oakland County Health Division could not approve the location of the septic system because the site was within the isolation distance of the neighbor's well.

The solution proposed by the applicant is to displace the parking spaces originally proposed within the drive-through loop and place the septic system there. The displaced parking will be constructed on the west side of the site. This necessitates a reconfiguration of the site lighting and the addition of new landscaping. The applicant has used the same design approach for the amended site as with the already approved design. Driveway approaches and the traffic circulation has not been significantly impacted.

The new plan picks up an additional 3 parking spaces, which helps address the possible use of the basement floor area. The designer attests that the overall impervious area has not increased, but will be required to verify that the modifications are acceptable to the Michigan Department of Transportation, since their storm sewer currently accepts the runoff.

For your ease in review, I have attached the minutes of your February 19, 2026 meeting here so that you need not download additional files. If you would like to review the previously approved plan, the February 19 meeting packet is still online for you to compare and contrast the plans. I believe at this time the plans have addressed all previous review comments. It would be appropriate to approve the site plan conditioned upon receipt of final staff and engineering review.

hospitals and universities. Mr. Zeolla noted that he would like to see lighting plans with a photometric study and a traffic study.

Mr. Curtis noted that he was not too concerned about the traffic, but was mostly concerned about lighting. He was also concerned about safety if the chapel is allowed 24 hour access. Mrs. Lee explained that the chapel is locked when the site is vacated each day, but that a visitor may text and request that day's key code to enter the chapel. He explained that there are security cameras around the site.

Mr. Heyn appreciates that the Planning Commission approaches each site with special care and attention and thought a solution could be crafted for this site to allow the use while minimizing impacts to the neighbors. Mr. Smith also noted that his concern was with planning issues, and not the good works of the church, and how the church impacts its neighbors. Issues have been identified where the site and its operations do not comply with the ordinance, and he is concerned with the types of solutions that might be offered and in not creating a precedence for use that undermines the zoning ordinance.

Mr. York asked for more information about the trails, noting that they are not indicated on the site plan. He recalled that at a recent public hearing, one neighbor did take exception to trails coming out at the property line, with the potential for inadvertent trespass and affecting their animals.

Mr. Lee reiterated that the goal of Barn 45 is to remain a small "boutique" space for people to come together in faith. It is not their intent to grow. Mr. York noted that the use had already grown past its original vision, but if the physical limitations of their building limit the potential attendance, and the parking lot is sized just for the building, and the applicant is content with that and complies with the permit, there would be no problem. Mr. York noted that the Special Use could be crafted for the current operations, and when there are the occasional bigger event, a special event permit could be sought.

Mr. Charlick explained how the Pinefield Farms Special Use permit had been structured, with limits on the events that would draw larger crowds, and fewer restrictions for events that drew fewer people. He suggested that Mr. Lee work with planning staff to supplement their application with the necessary information to allow for a thorough review. He suggested particular attention be given to a solution to buffer the parking lot from the neighboring property. The supplemental application and site plan should clearly demonstrate how the property can absorb the volumes of people anticipated.

Mr. Charlick offered a motion to table the application until such time as the applicant provides additional information to support the request. Mr. Curtis supported the motion. Roll call vote: Charlick-yes; Curtis-yes; Heyn – yes; Smith-yes; York – yes; Zeolla -yes. Motion carries (6 yes votes)

**Agenda Item #4:**

Parcel #	11-22-301-007
Zoning:	C-1, Local Commercial Zoning District
Address:	140 W Highland
File#:	SPR 25-01
Request:	Site Plan Review for Jimmy John/Dunkin
Applicant:	Steve Kolber, Kolbrook Design
Owner:	OM Group

Mr. Curtis introduced the agenda item for the proposed Jimmy John and Dunkin site at the northwest corner of Highland Road and Milford Road. This is a resubmittal. The applicant, Mr. Steve Kolber, explained that his team has been working to resolve the issues identified in the past. The Milford Road driveway approach has been configured for right in/right out only as required by the Road Commission for Oakland County, the

landscaping plan along the north property line has been modified as requested to better buffer the cemetery and the signage has been reduced in conformance with ordinance requirements. He believes all the issues have been addressed

Mr. Charlick remarked that he had reviewed the minutes of the previous meetings and believed all concerns are addressed. He asked if the signage plan had been reviewed by staff. Ms. Corwin noted that staff had not verified the square footage of each sign, but adding up the numbers presented by the applicant, it appears the signage plan is now compliant with the ordinance. This will be verified in a detailed review during the permitting process.

Mr. Charlick asked if the entire parking lot will be reconstructed, or just capped. Mr. Kolber verified that where the base is sound, the pavement will just be capped.

Mr. Heyn noted that he prefers the landscaping plan over the fence that was previously discussed. He asked if local trades would be employed in developing the site. Mr. Kolber noted that the property owner has relationships with contractors in the region.

Mr. Zeolla asked if the sidewalk was being extended to the property line. Ms. Corwin noted there is a discrepancy between the engineered site plan and the conceptual site plan prepared by the architect, but it is noted that the sidewalk extension is required.

Mr. Heyn asked if all the HVAC units will be roof mounted. Mr. Kolber affirmed that is the case and those units will be hidden by the parapet.

Mr. Smith asked about the greenbelt, and in particular screening of the dumpster with living materials and not just the fence, as this would soften the appearance from the cemetery. The expectation is more lush landscaping than would be required if there was an office next door. Mr. Kolber agreed to that.

Parking calculations were discussed again. The Planning Commission agreed that the existing parking should be satisfactory given the nature of the uses and the fact that this is redevelopment of the site. It would be better to not overdevelop the site.

Mr. Charlick moved to approved the site plan for Jimmy John/Dunkin at 140 W Highland, parcel 11- 22-301-007 subject to the sidewalk being extended to the north property line, approval of the Road Commission for Oakland County for the Milford Road entrance and the Oakland County Health Division for the septic field and further subject to final approval of staff. Mr. Curtis supported the motion. Roll call vote: Charlick-yes; Curtis-yes; Heyn – yes; Smith-yes; York – yes; Zeolla -yes. Motion carries (6 yes votes)

**Agenda Item #5:** Committee Updates

- Zoning Board of Appeals:
- Township Board:
- Highland Downtown Development Authority:
- Planning Director's Update

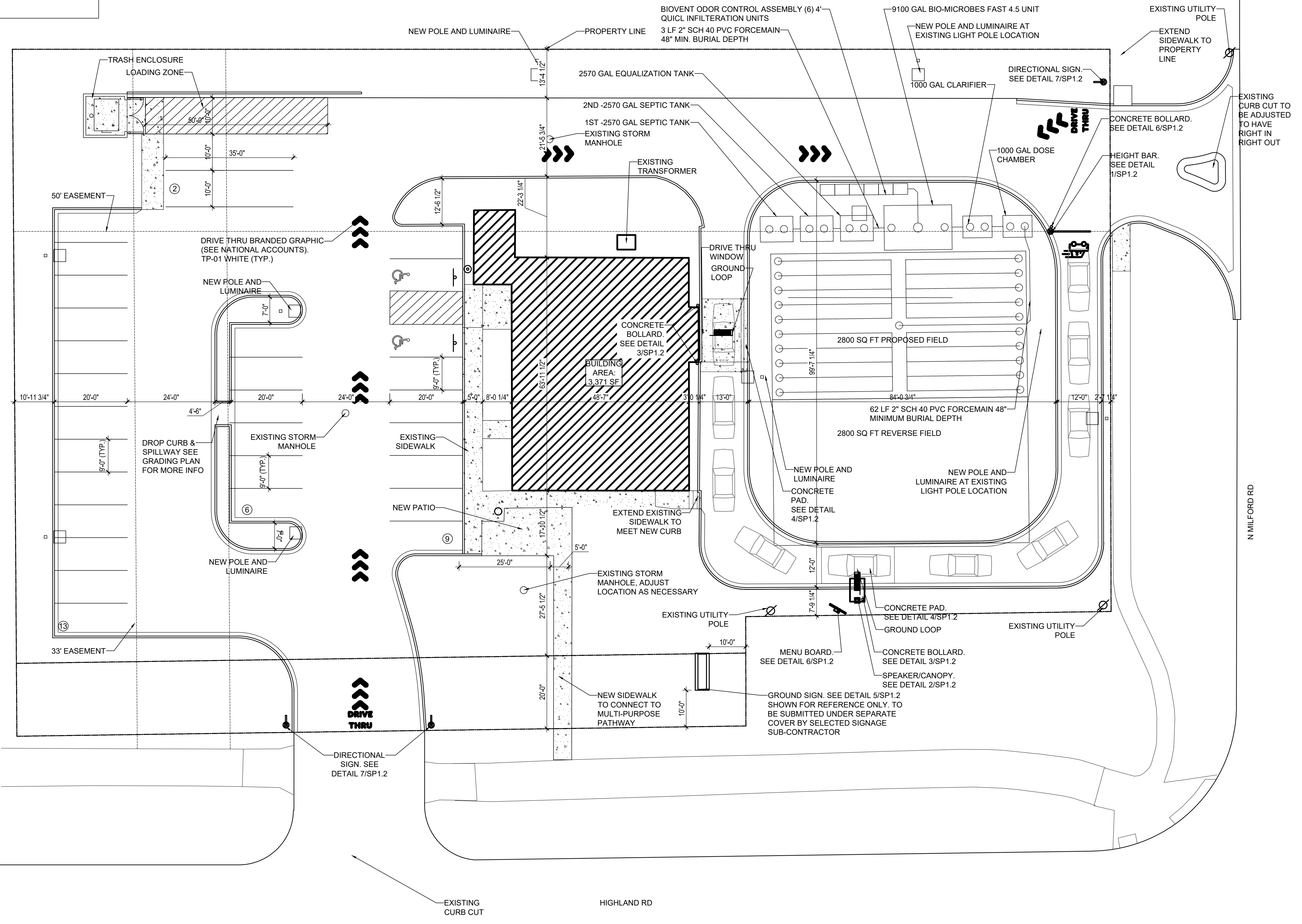
Committee liaisons reported on the activities of their respective organizations.

**Agenda Item #6:** Minutes: January 15, 2026 and Joint Board on February 11, 2026

Mr. Charlick offered a motion to approve the minutes of the January 15, 2026 Planning Commission meeting and the February 11, 2026 Joint Boards meeting as presented. Mr. Zeolla supported the motion which was approved by voice vote (all ayes, no nays)

# PARKING CALCULATIONS

- DUNKIN'**
    - REQUIRED OFF-STREET PARKING SPACES
    - DRIVE-IN AND DRIVE THROUGH RESTAURANT: 1 space for each 70 square feet of net floor area, plus 10 stacking spaces for drive-through service which do not conflict with use of required spaces, plus 2 longer spaces designated for recreational vehicles, buses and semi-trucks
    - NET FLOOR AREA: 903.33 SF / 70 SF = 12.9 SPACES = 13 SPACES
    - REQUIRED SPACES: 13 SPACES, 10 STACKING SPACES, 2 LONGER SPACES
  - JIMMY JOHN'S**
    - REQUIRED OFF-STREET PARKING SPACES
    - CARRY-OUT RESTAURANT: 6 spaces for each service or counter station plus employee parking
    - EMPLOYEE PARKING: MAX STAFF = 6 PEOPLE = 6 SPACES
    - REQUIRED SPACES: 12 SPACES
  - COMBINED:**
    - REQUIRED OFF-STREET PARKING SPACES: 13 SPACES + 12 SPACES = 25 SPACES
    - TOTAL REQUIRED SPACES: 25 SPACES, 10 STACKING SPACES, 2 LONGER SPACES
- TOTAL PROVIDED SPACES: 28 SPACES, 10 STACKING SPACES, 2 LONGER SPACES



BRAND PARTNER / CLIENT: DM GROUP  
 BRAND COORDINATORS: JIMMY JOHN'S, DUNKIN'  
 MEP ENGINEER:  
 DEVELOPER:  
 ARCHITECT: **kolbrook design**  
 828 DAVIS STREET, SUITE 300  
 EVANSTON, IL 60201  
 OFFICE: 847.492.1892 | FAX: 312.453.0699

EXP: 05/24/2026 SIGNED: 03/12/2025

PROJECT: **HIGHLAND RESTAURANTS**  
**JIMMY JOHN'S & DUNKIN'**  
 140 HIGHLAND RD  
 HIGHLAND CHARTER TOWNSHIP, MI 48357  
 DUNKIN' PC #: 365060

DRAWING ISSUE	DATE
FOR PERMIT	03/12/2025
TWP COMMENTS	06/17/2025
PHOTOMETRICS UPDATE	07/28/2025
SITE PLAN COMMENTS	08/08/2025
SITE PLAN COMMENTS	10/24/2025
SITE PLAN UPDATE	01/28/2026
LANDSCAPE UPDATE	05/11/2026

DRAWN BY: KR, VV  
 CHECKED BY:  
 SHEET TITLE:

SITE PLAN

SHEET NO.  
**SP1.0**

**LEGEND:**

#	EX. CATCH BASIN	⬆	EX. UTILITY MARKER
□	EX. MANHOLE	⬆	EX. E.V. CHARGING STATION
○	EX. END SECTION	⬆	EX. SOIL BORING
○	EX. OVERFLOW STRUCTURE	⬆	EX. MAILBOX
○	EX. DOWNSPOUT/ROOF DRAIN	⬆	EX. GENERATOR
○	EX. CLEANOUT	⬆	EX. MONITOR WELL
○	EX. WATER GATE VALVE	⬆	EX. AIR CONDITIONER
○	EX. HYDRANT	⬆	EX. TRAFFIC SIGNAL
○	EX. WATER VALVE	⬆	EX. FENCE
○	EX. WATER SHUTOFF	⬆	PROP. FINISH FLOOR ELEVATION
○	EX. FIRE DEPT. CONNECTION	⬆	PROP. CURB & GUTTER (PITCH IN)
○	EX. GAS SHUTOFF	⬆	PROP. CURB & GUTTER (PITCH OUT)
○	EX. GAS VENT	⬆	PROP. SANITARY SEWER
○	EX. ELECTRIC/GAS METER	⬆	PROP. WATER MAIN
○	EX. HANDHOLE	⬆	PROP. STRUCTURE
○	EX. PEDESTAL	⬆	PROP. END SECTION
○	EX. TRANSFORMER	⬆	PROP. CLEAN-OUT
○	EX. LIGHTPOLE	⬆	PROP. HYDRANT
○	EX. UTILITY POLE	⬆	PROP. GATE VALVE
○	EX. GUY ANCHOR	⬆	PROP. CURB BOX
○	EX. TREE	⬆	PROP. E.V. CHARGING STATION
○	EX. TREE TAG & NUMBER	⬆	PROP. GUTTER ELEV.
○	EX. TREE LINE	⬆	PROP. TOP OF CURB ELEV.
○	EX. SANITARY SEWER	⬆	PROP. TOP OF WALK ELEV.
○	EX. STORM SEWER	⬆	PROP. SPOT ELEV.
○	EX. WATER MAIN	⬆	PROP. DRAINAGE ARROW
○	EX. ELECTRIC CABLE	⬆	PROP. SILT FENCE
○	EX. COMMUNICATION	⬆	PROP. TREE PROTECTION FENCE
○	EX. GAS LINE	⬆	PROP. ASPHALT
○	EX. OVERHEAD LINE	⬆	PROP. CONCRETE
○	EX. SIGN	⬆	PROP. LIGHT POLE
○	EX. POST/BOLLARD	⬆	
○	EX. FLAGPOLE	⬆	
○	EX. WATER WELL	⬆	
○	EX. RAILROAD SIGNAL	⬆	
○	EX. SATELLITE DISH	⬆	
○	EX. TREE STUMP	⬆	
○	EX. PARKING METER	⬆	

**DESCRIPTION:**

LAND SITUATED IN THE TOWNSHIP OF HIGHLAND, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:  
 PART OF LOT 1, MAE-GRACE ACRES, AS RECORDED IN LIBER 89, PAGE 13 OF PLATS, OAKLAND COUNTY RECORDS, DESCRIBED AS FOLLOWS:  
 BEGINNING AT NORTHEAST CORNER; THENCE SOUTH 00 DEGREES 11 MINUTES 30 SECONDS WEST 154.20 FEET; THENCE SOUTH 89 DEGREES 30 MINUTES 20 SECONDS WEST 100.40 FEET; THENCE SOUTH 00 DEGREES 11 MINUTES 30 SECONDS WEST 30 FEET; THENCE SOUTH 89 DEGREES 30 MINUTES 20 SECONDS WEST 200 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 40 SECONDS EAST 190.79 FEET; THENCE SOUTH 89 DEGREES 14 MINUTES 20 SECONDS EAST 300.90 FEET.

**NOTE:**  
 BEARINGS BASED ON MICHIGAN STATE PLANE COORDINATES, NAD83, MICHIGAN SOUTH ZONE

**BENCHMARKS:**  
 BM#1 = ARROW ON HYDRANT ON NORTH SIDE OF M-59 AND 70 FT. WEST OF MILFORD ROAD. ELEVATION = 1016.57 NAVD83  
 BM#2 = TOP OF WELL ON EAST SIDE OF ADJACENT BUILDING TO THE WEST OF SUBJECT PARCEL. ELEVATION = 1020.54 NAVD83



**EXISTING ON-SITE SOILS**  
 13B OSHTEMO-BOYER LOAMY SANDS  
 (PER USDA WEB SOIL SURVEY)

- SESC SEQUENCE OF CONSTRUCTION**
- INSTALL GRAVEL MUD TRACKING MAT, SILT FENCE, AND INLET FILTERS (ON EXISTING STORM CATCH BASINS) AS INDICATED ON THE PLANS. (1 WEEK)
  - DEMO. EXISTING AREAS TO BE REMOVED. (1 WEEK)
  - MASS GRADING ACTIVITIES AND CONSTRUCTION OF UTILITIES (STORM SEWER/SEPTIC SYSTEM). INLET PROTECTION MUST BE INSTALLED IMMEDIATELY FOLLOWING THE CONSTRUCTION OF EACH CATCH BASIN. (2 WEEKS)
  - INSTALL PAVING. (2 WEEKS)
  - SEED & MULCH OR SOD ALL DISTURBED AREAS. VEGETATION SHALL BE ESTABLISHED WITHIN 5 DAYS OF FINAL GRADE, OR WHENEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 30 DAYS OR GREATER. 3-4" OF TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED. (2 WEEKS)
  - FOR THE ENTIRE DURATION OF CONSTRUCTION, ALL SESC MEASURES SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS TO ENSURE PROPER FUNCTION. REMOVAL OF TEMPORARY SESC MEASURES IS PERMITTED ONLY AFTER THE ENTIRE SITE IS FULLY STABILIZED.

**DISTURBANCE AREA 0.96 AC.**

**EROSION CONTROL STANDARD NOTES**

- ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER (OCWR) AND HIGHLAND TOWNSHIP.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES. ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED WITHIN THE WORK AREA AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, PONDS AND WETLANDS.
- THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS DIRECTED ON THESE PLANS AND WHERE OTHERWISE REQUIRED BY THE WORK. THE CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER CHANGES HAVE BEEN ACCOMPLISHED.
- SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF DIRT OFF THE WORK AREA.
- THE CONTRACTOR SHALL PRESERVE ON-SITE NATURAL VEGETATION AS MUCH AS POSSIBLE.
- PROTECT ALL EXISTING TREES, INCLUDING THEIR BRANCHES AND ROOTS, FROM DAMAGE DUE TO THIS WORK UNLESS SPECIFICALLY IDENTIFIED FOR REMOVAL.
- STABILIZATION OF ALL DISTURBED AREAS SHALL BE ESTABLISHED USING THE APPROPRIATE VEGETATION WITHIN FIVE DAYS OF COMPLETION OF FINAL GRADING.
- THE CONTRACTOR SHALL SWEEP THE EXISTING STRAITS SURROUNDING THE PROJECT SITE AS NEEDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL AND SHALL PROVIDE ALL EQUIPMENT AND MATERIAL TO KEEP DUST IN CHECK AT ALL TIMES. THE CONTRACTOR SHALL RESPOND IMMEDIATELY TO ANY AND ALL COMPLAINTS.

**MAINTENANCE REQUIREMENTS**

THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY THE CONTRACTOR.

**SILT FENCE**  
 SILT FENCES SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED RAINFALLS. IF THE FENCE IS SAGGING OR THE SOIL HAS REACHED ONE HALF THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC MUST BE REMOVED AND DISPOSED OF IN A STABLE UPLAND SITE. THE SOIL CAN BE ADDED TO THE SPOIL PILE. IF THE FABRIC IS BEING UNDERCUT (I.E. IF THE WATER IS SEEPING UNDER THE FENCE), THE FENCE SHOULD BE REMOVED AND REINSTALLED FOLLOWING THE GIVEN PROCEDURES. FABRIC WHICH DECOMPOSES OR OTHERWISE BECOMES INEFFECTIVE SHOULD BE REMOVED AND REPLACED WITH NEW FILTER FABRIC IMMEDIATELY. FILTER FENCES SHOULD BE REMOVED ONCE VEGETATION IS WELL ESTABLISHED AND THE UP-SLOPE IS FULLY STABILIZED OR UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

**ACCESS ROADS (HAUL ROADS)**  
 PROPER MAINTENANCE MAY INCLUDE ADDING ADDITIONAL LAYERS OF STONE WHEN THE ORIGINAL STONE BECOMES COVERED WITH MUD. AFTER EACH STORM EVENT, INSPECT THE ROAD FOR EROSION AND MAKE ANY NECESSARY REPAIRS. IT IS ALSO IMPORTANT TO CHECK AND MAINTAIN ANY BMP'S WHICH ARE USED IN CONJUNCTION WITH THIS BMP, ESPECIALLY THOSE FOR DRAINAGE. ALL SEDIMENT DROPPED OR ERODED ONTO PUBLIC RIGHT-OF-WAYS SHOULD BE REMOVED IMMEDIATELY BY SWEEPING OR SCRAPPING AND SWEEPING, IF NECESSARY.

**SEEDING, SODDING & MULCHING**  
 SEEDING, SODDING OR MULCHED AREAS SHOULD BE CHECKED FOLLOWING EACH RAIN TO ENSURE THE MATERIAL IS STAYING IN PLACE. ADDITIONAL TACKING MATERIALS OR NETTING MAY NEED TO BE APPLIED TO HOLD THE AFORESAID MATERIALS IN PLACE. MAINTENANCE PROCEDURES SHOULD ALSO BE FOLLOWED FOR THE BMP'S WHICH WERE IMPLEMENTED TO KEEP ERODED SOIL OR CONCENTRATED RUNOFF AWAY FROM THESE TARGET AREAS.

**NOTICE:**

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

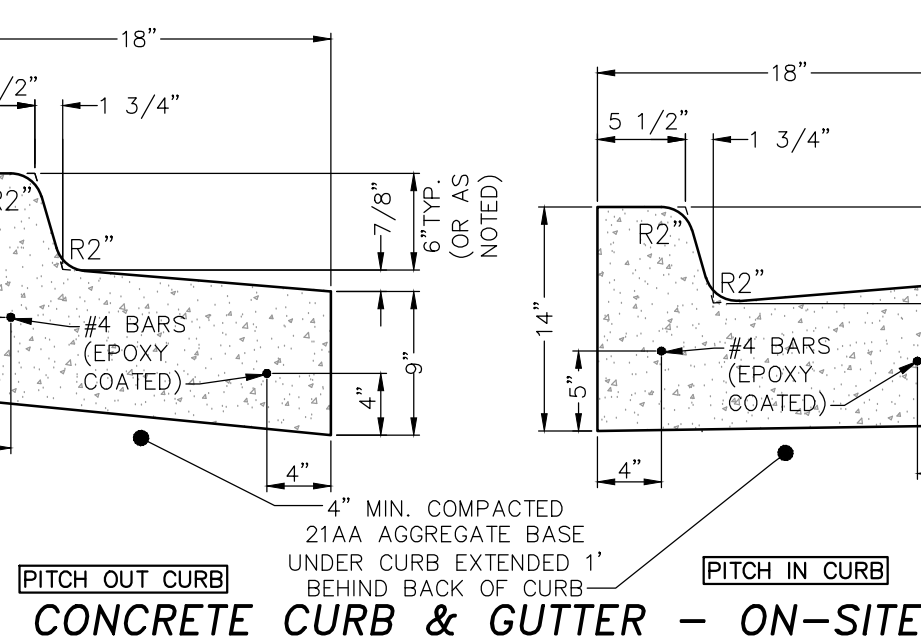
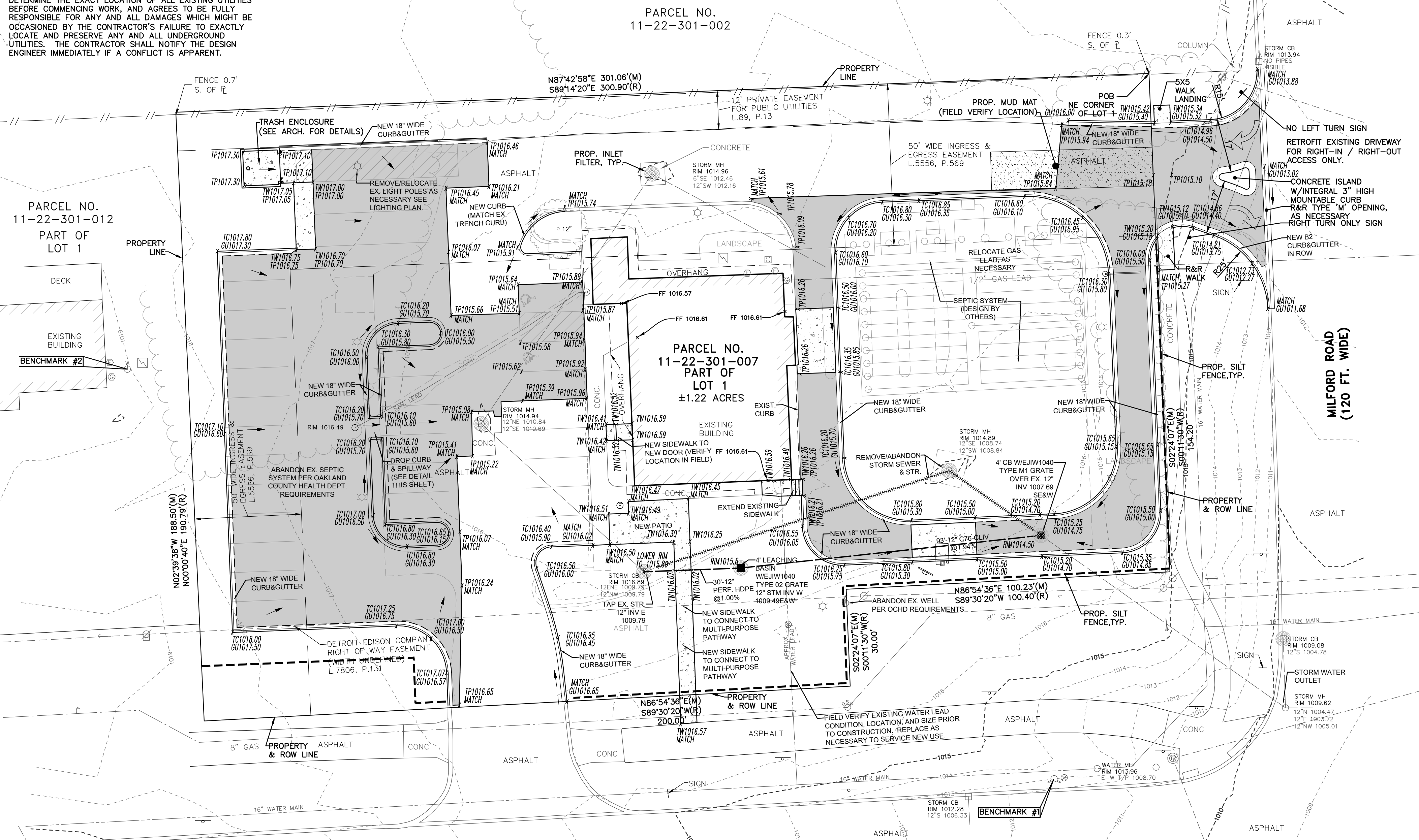
**NOTE:**

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

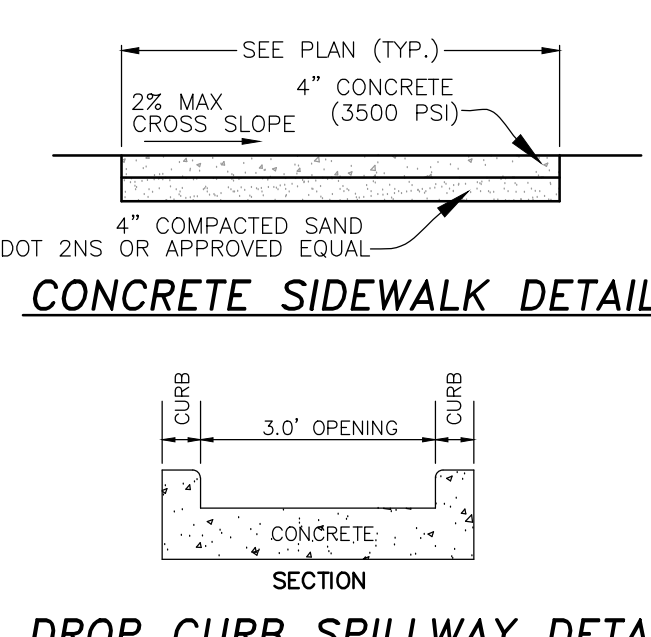
**EXISTING VS. PROPOSED IMPERVIOUS AREAS (PAVEMENT/BUILDING)**  
 EXISTING IMPERVIOUS AREAS = 30,202 S.F.  
 PROPOSED IMPERVIOUS AREAS = 30,193 S.F.  
 PROPOSED IMPROVEMENTS DO NOT INCREASE IMPERVIOUS AREA.

**R.C.O.C. CONSTRUCTION NOTES:**

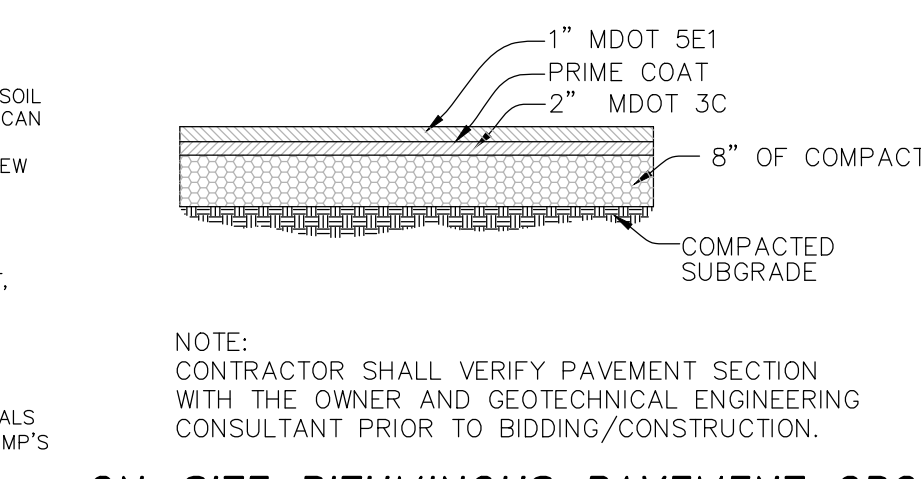
- CALL INSPECTOR OF PERMIT SUPERVISOR BEFORE BEGINNING ANY WORK IN R.O.W.
- "PROPER SIGNING" IS REQUIRED BEFORE ANY WORK IN R.O.W. IS STARTED.
- LANE CLOSURES RESTRICTED TO 9-3 PM MON-FRI
- FLAG PERSON REQUIRED FOR TEMPORARY ONE LANE ROADS.
- MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES.
- HAND DIG AROUND ALL UTILITIES.
- KEEP ROADS CLEAN OF DIRT AND DEBRIS.
- FULL DEPTH SAWCUT AND/OR MILL A BUTT JOINT, WITH LOCATION/WIDTH AS DIRECTED BY RCOO INSPECTOR.



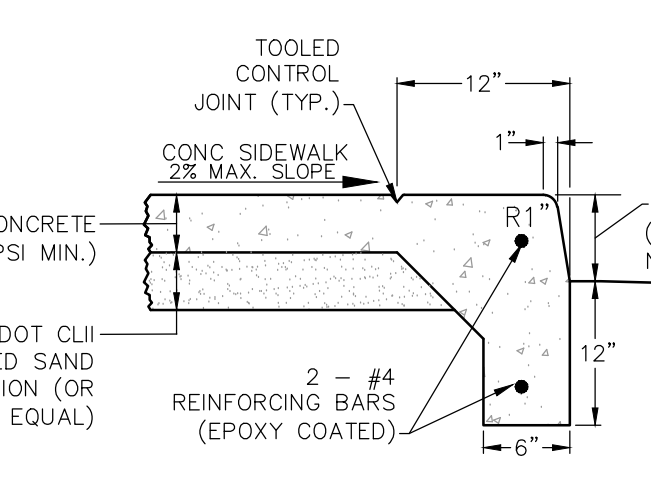
**CONCRETE CURB & GUTTER - ON-SITE**



**DROP CURB SPILLWAY DETAIL**



**ON-SITE BITUMINOUS PAVEMENT CROSS-SECTION**



**INTEGRAL SIDEWALK AND CURB**

**SHEET INDEX:**

- 1 GRADING PLAN
- 2 STANDARD DETAILS
- 1 OF 2 HIGHLAND TOWNSHIP STORM SEWER DETAILS
- 2 OF 2 HIGHLAND TOWNSHIP STORM SEWER DETAILS
- 1 OF 1 WRC SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

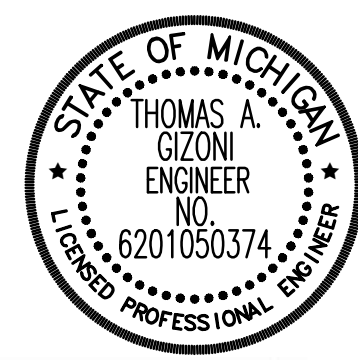
**R.C.O.C. R.O.W. PAVEMENT:**

9" DEEP STRENGTH HMA SHALL CONSIST OF 2" MDT SE, OVER 3" MDT 4E, OVER 4" MDT 3E, OVER A SUITABLE BASE. HMA SHALL BE PLACED IN 3 LIFTS OR  
 9 INCHES OF M.D.O.T. 35-P CONCRETE OVER SUITABLE BASE.  
 SOURCE: RCOO PERMIT, RULES, SPECIFICATIONS & GUIDELINES (RULES 8.6.2).  
 SUITABLE BASE TO BE DETERMINED BY R.C.O.C. INSPECTOR IN THE FIELD.

DETAIL	DIMENSION	LANE TIES	CONCRETE CTD / LFT	CONCRETE CTD / LFT
B1	9"	AS SHOWN	0.0900	(# 0.0855)
B2	9"	OMITTED	0.0900	(# 0.0855)
B3	10"	AS SHOWN	0.0941	(# 0.0894)

**NOTES:**

- ALL WORK TO CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY, COUNTY, AND/OR MDO.
- THE CONTRACTOR SHALL NOTIFY MISS DIG (800-482-1771) A MINIMUM OF 72 HOURS PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE CITY/COUNTY/STATE AS REQUIRED PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, CONDITION, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR TO PLACE BOLLARDS PER ARCHITECTURAL DRAWINGS. CONTRACTOR TO VERIFY THAT ADA ACCESS IS NOT IMPACTED BY THE BOLLARDS.
- SLOPES AND DIMENSIONS OF THE ADA SITE COMPONENTS (PARKING, PARKING ACCESS, ACCESSIBLE ROUTE, SIDEWALK, RAMPS, AND LANDINGS) TO MEET ALL ADA REQUIREMENTS:
  - ADA PARKING AND ADA PARKING ACCESS NOT TO EXCEED A 2% SLOPE IN ANY DIRECTION.
  - SIDEWALK (INCLUDING THE ACCESSIBLE ROUTE) NOT TO EXCEED 5% LONGITUDINAL SLOPE AND A 2% CROSS SLOPE.
  - RAMPS NOT TO EXCEED 8.3% LONGITUDINAL SLOPE.
- ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER (OCWR) AND HIGHLAND TOWNSHIP. EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED WITHIN THE WORK AREA AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, PONDS AND WETLANDS.
- MILL & RESURFACE REMAINING PORTIONS OF PARKING LOT, AS DIRECTED BY OWNER.
- COMPACTED MDOOT CLASS II SAND BACKFILL SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.
- HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER SHALL BE DOUBLE WALLED WITH SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATION MEETING REQUIREMENTS OF ASTM F2306. INSTALL PER TOWNSHIP/MANUFACTURER STANDARDS AND SPECIFICATIONS.
- REFER TO DEMOLITION PLAN, SEPTIC SYSTEM DESIGN PLAN, AND SITE PLAN PREPARED BY OTHERS.
- THE EXISTING STORM SEWER SYSTEM AND LEACHING BASINS SHALL BE CLEANED, TELEVIEWED, AND CONFIRMED TO BE IN PROPER WORKING ORDER PRIOR TO FINAL PROJECT CLOSEOUT.



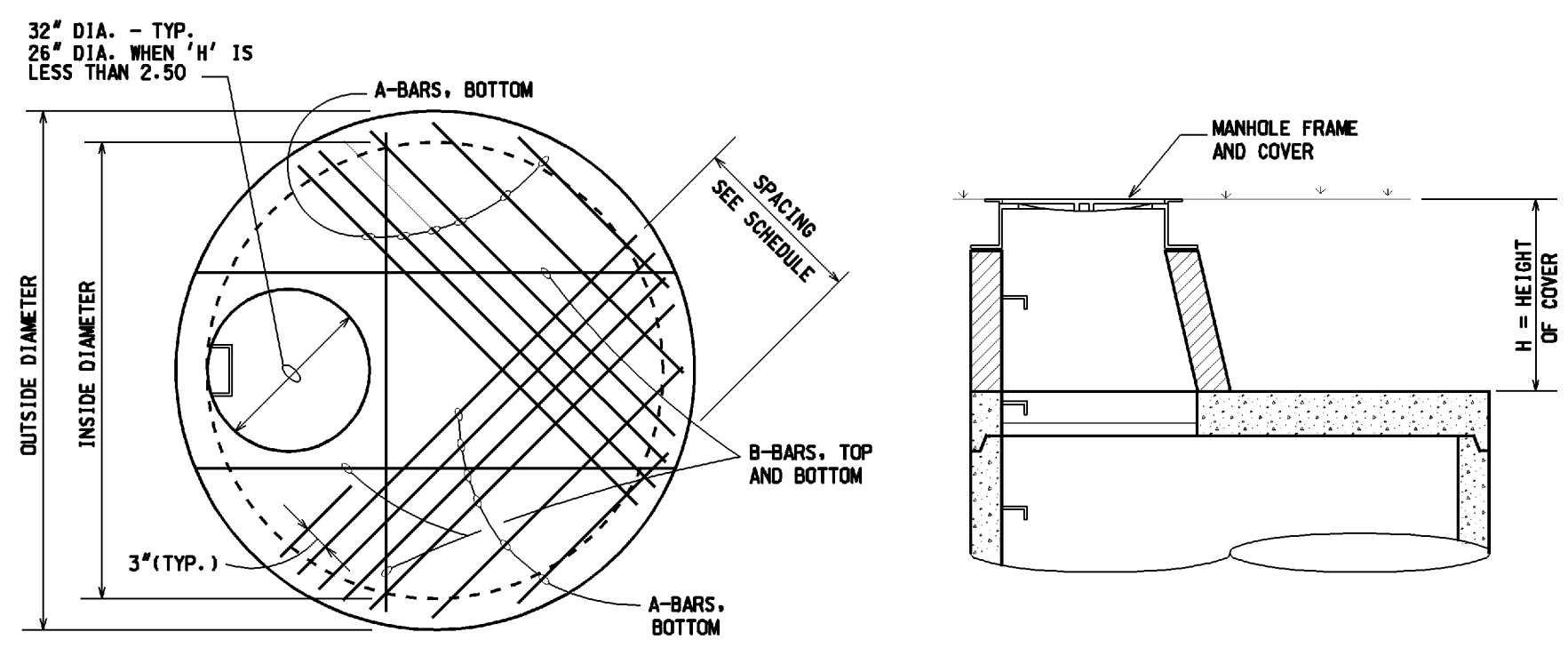
**ALPINE ENGINEERING INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 46892 WEST ROAD  
 SUITE 109  
 NOVI, MICHIGAN 48377  
 (248) 926-3701 (BUS)  
 (248) 926-3765 (FAX)  
 WWW.ALPINE-INC.NET

**811**  
 Know what's below  
 Call before you dig.

**KP-J ARCHITECTS & ENGINEERS**  
**GRADING PLAN**  
 140 W. HIGHLAND ROAD  
 TOWNSHIP: 3N  
 HIGHLAND TOWNSHIP  
 OAKLAND COUNTY  
 MICHIGAN  
 SECTION: 22  
 RANGE: 7E

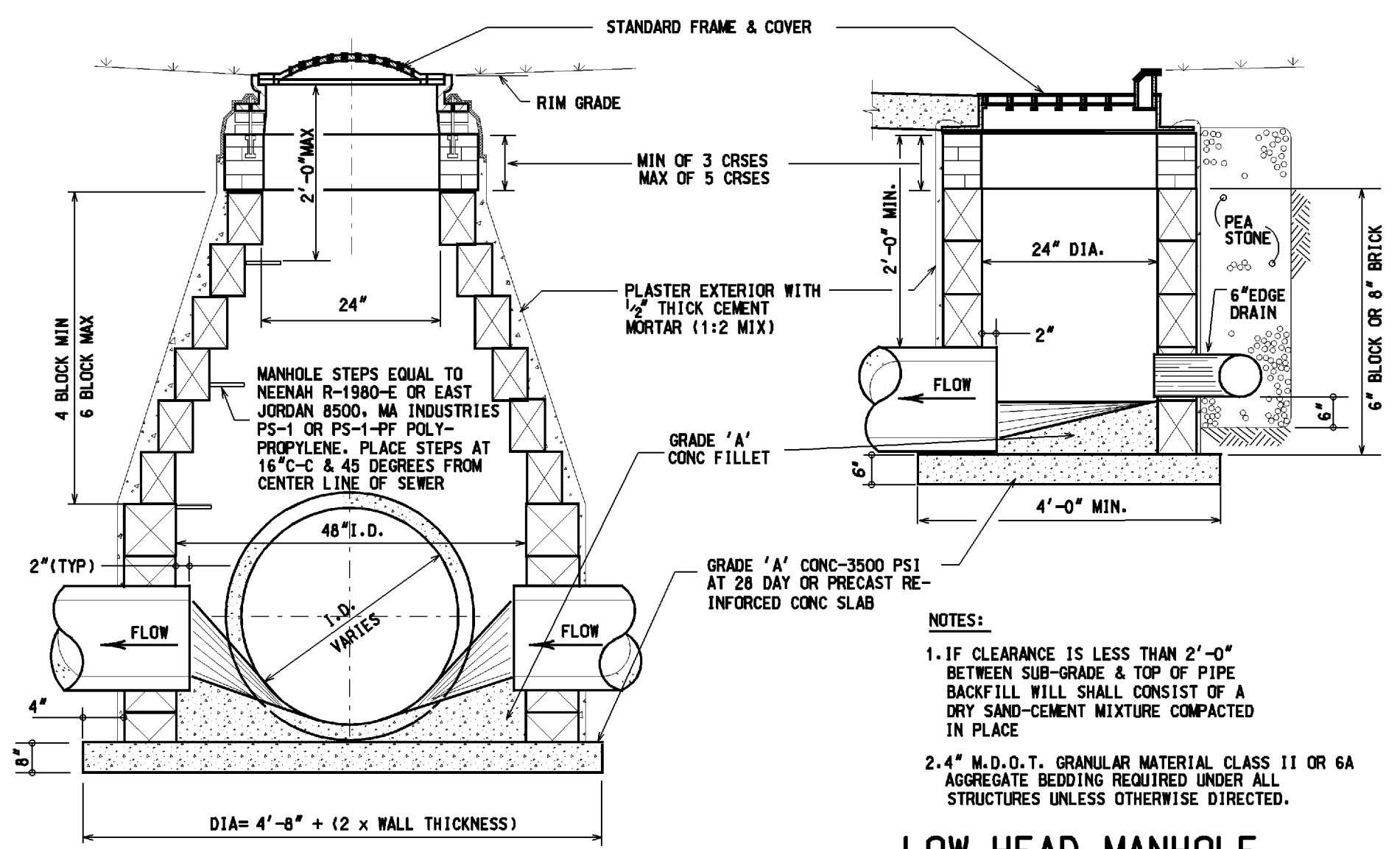
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 REVISIONS:  
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 2026-01-29 PER RCOO  
 2026-05-04 PER CLIENT  
 DATE: 2025-09-11  
 DRAWN BY: TD  
 CHECKED BY: SG  
 FBK: \_\_\_\_\_  
 CHP: \_\_\_\_\_  
 SCALE: HOR 1" = 20 FT.  
 VER 1" = 20 FT.  
 23-424

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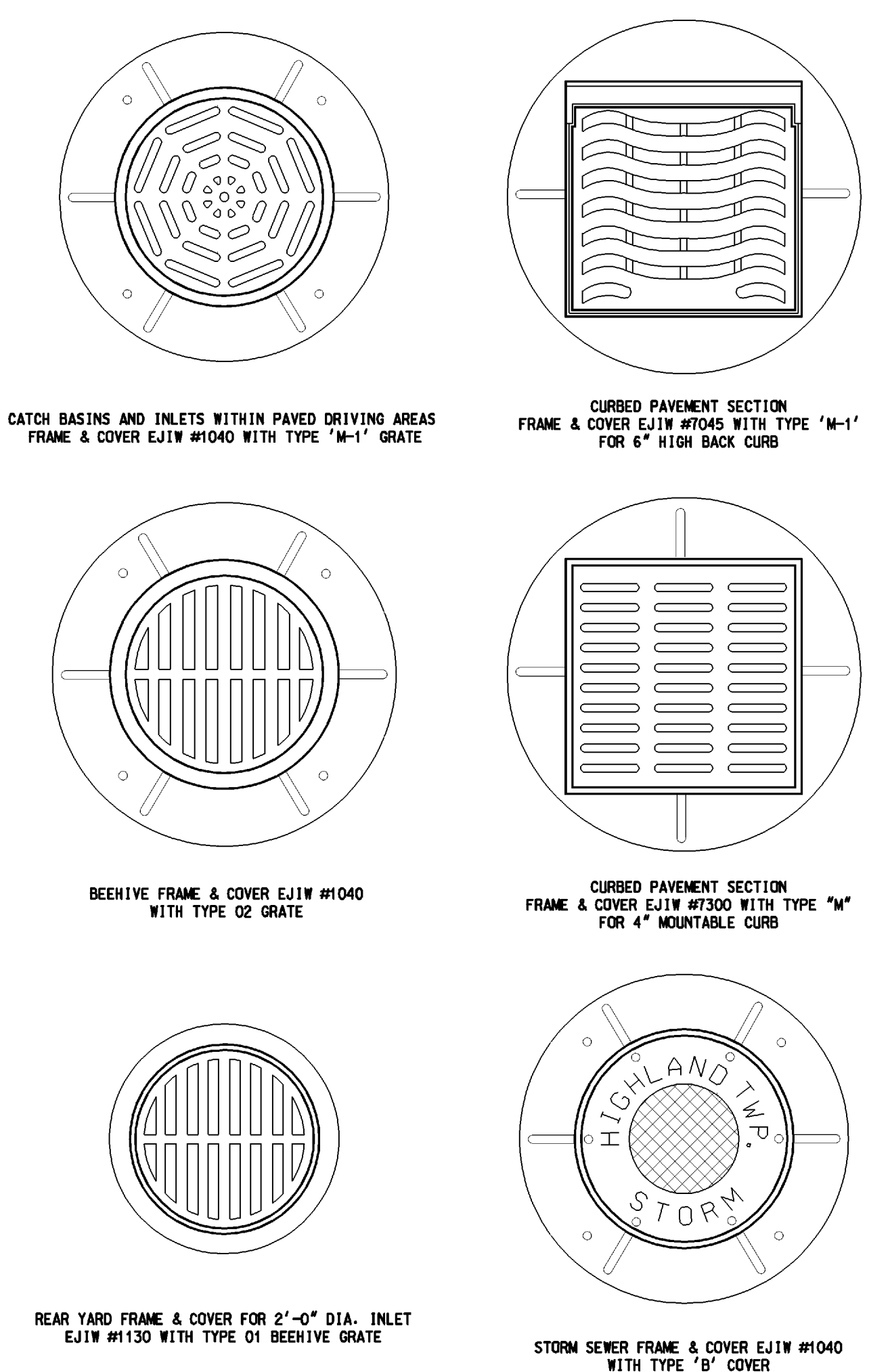
**PLAN** **SECTION**

INSIDE DIA.	SLAB THICKNESS	MAX. HEIGHT OF COVER	REINFORCEMENT		
			A-BARS EA. SIDE	NO. SIZE	B-BARS TOP & BOTTOM
4'-0"	8"	8'-0"	(4)-#5	3 @ 3"	(3)-#5
5'-0"	8"	8'-0"	(6)-#5	3 @ 3"	(3)-#5
6'-0"	8"	8'-0"	(5)-#6	4 @ 6"	(3)-#5
7'-0"	8"	8'-0"	(7)-#6	6 @ 6"	(3)-#5
8'-0"	8"	8'-0"	(9)-#6	8 @ 6"	(3)-#5
9'-0"	10"	8'-0"	(11)-#6	10 @ 6"	(3)-#5
10'-0"	10"	8'-0"	(13)-#7	12 @ 6"	(3)-#5

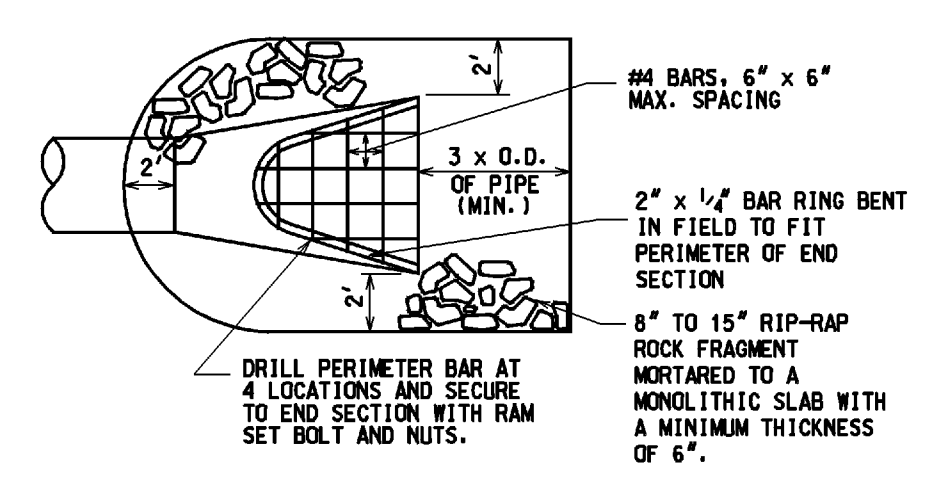


**TYPE A-N INLET** **LOW HEAD MANHOLE TYPE C INLET**

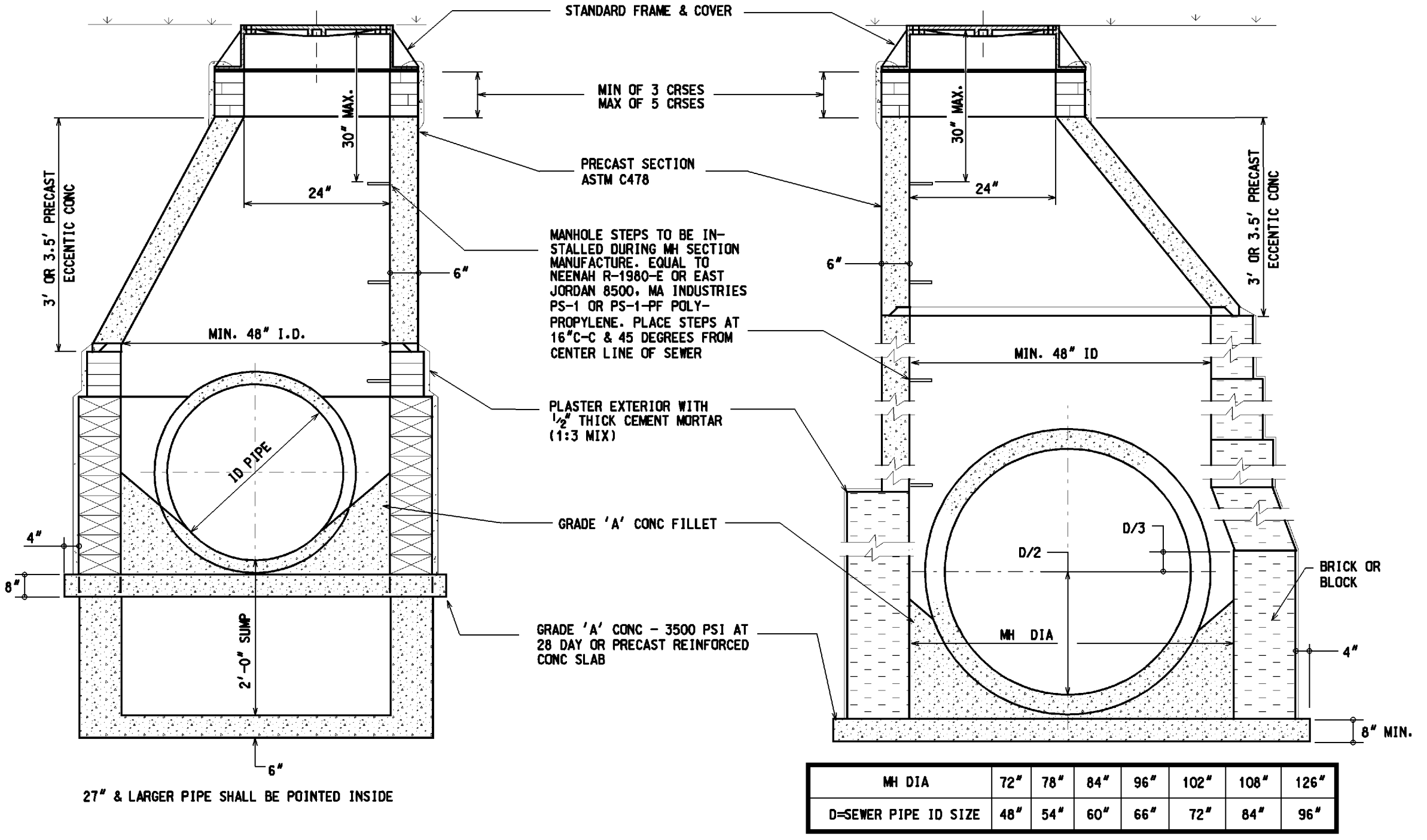
**NOTES:**  
 1. IF CLEARANCE IS LESS THAN 2'-0" BETWEEN SUB-GRADE & TOP OF PIPE BACKFILL WILL CONSIST OF A DRY SAND-CEMENT MIXTURE COMPACTED IN PLACE.  
 2. 4" M.D.O.T. GRANULAR MATERIAL CLASS II OR 6A AGGREGATE BEDDING REQUIRED UNDER ALL STRUCTURES UNLESS OTHERWISE DIRECTED.



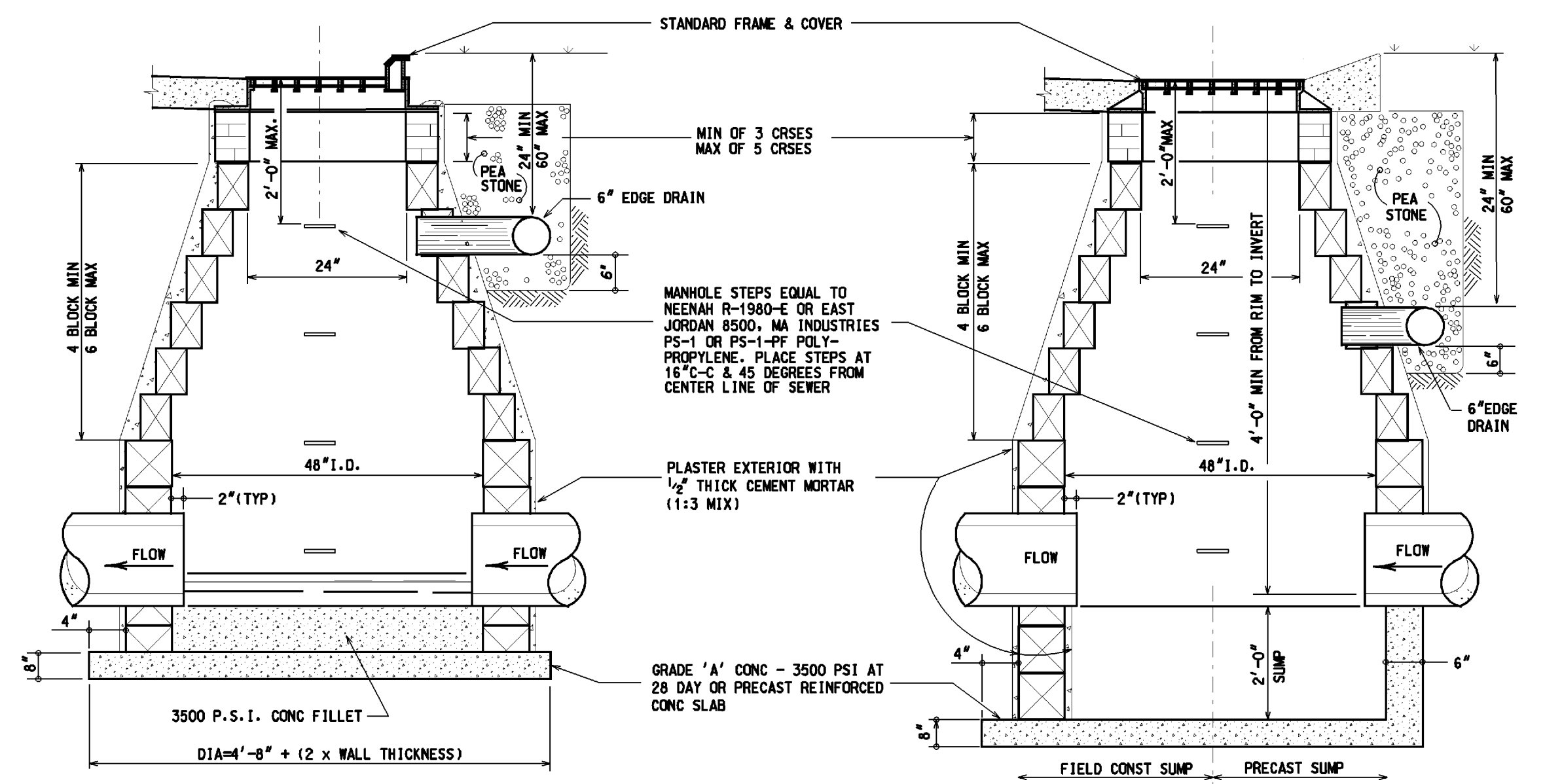
**FRAMES AND COVERS**



**END SECTION AND BAR SCREEN DETAIL INCLUDING RIP-RAP**

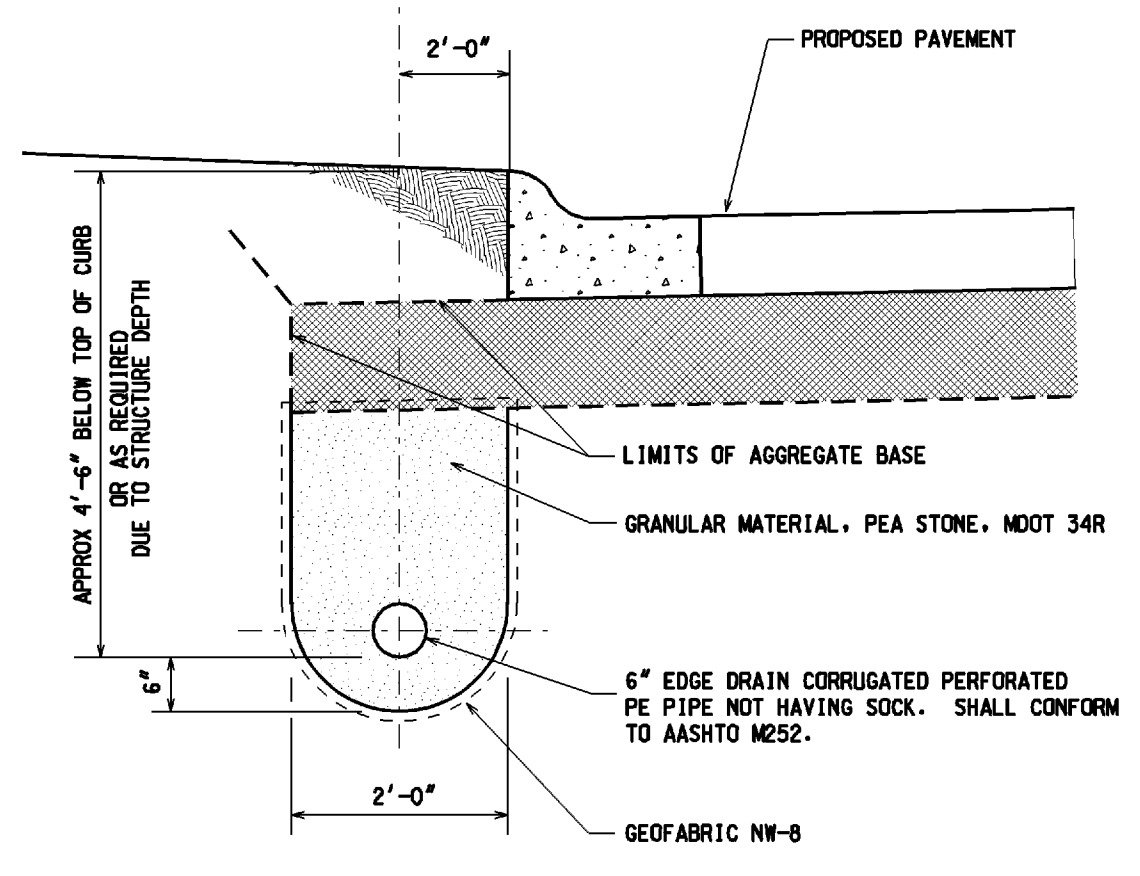


**STORM MANHOLE FOR 42" PIPE AND SMALLER** **STORM MANHOLE FOR 48" PIPE AND LARGER**

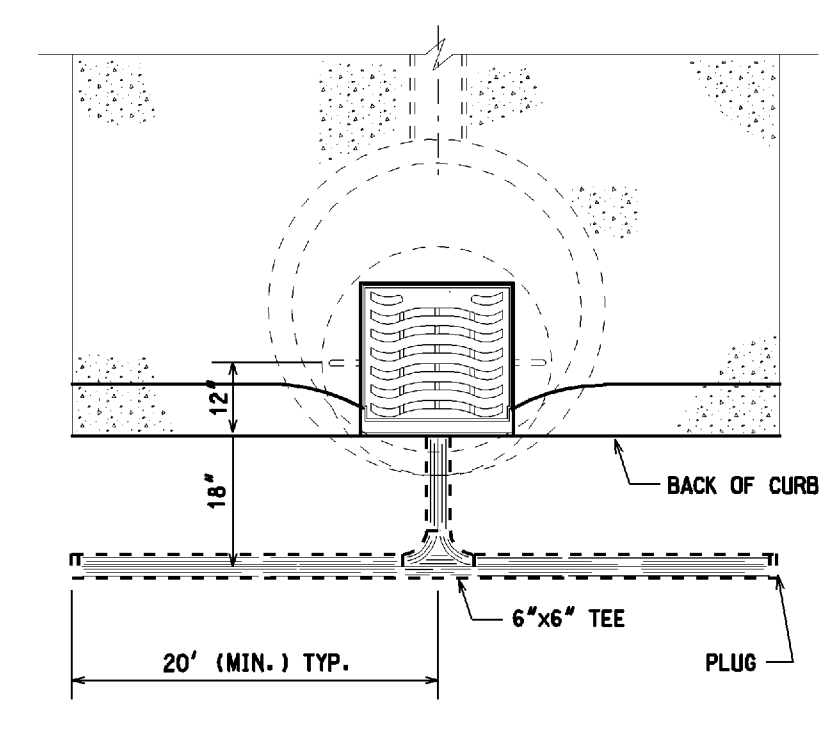


**TYPE "A" INLET** **TYPE "B" CATCH BASIN**

- NOTES:**
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT ENGINEERING DESIGN STANDARDS AND SPECIFICATIONS OF HIGHLAND TOWNSHIP.
  - IT SHALL BE THE OWNER'S ENGINEER AND CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
  - ALL SEWER TRENCHES UNDER THE 45 DEGREE ZONE OF INFLUENCE LINE OF EXISTING OR PROPOSED PAVEMENTS, BIKE PATHS, SIDEWALKS OR DRIVE APPROACHES SHALL BE BACKFILLED WITH MDOT CLASS II SAND COMPACTED TO AT LEAST 95% OF MAXIMUM UNIT WEIGHT.
  - ALL STORM SEWER SHALL BE INSTALLED ON CLASS "B" BEDDING OR BETTER.
  - JOINTS FOR STORM SEWER SHALL BE PREMIUM JOINTS (TONGUE AND GROOVE WITH RUBBER GASKETS).
  - LEAD MATERIAL SHALL BE 4" DIA. (MIN.) PVC SCHEDULE 40 OR SDR 23.5. LEAD CONNECTIONS MAY ONLY BE AT STRUCTURES.
  - CONTACT THE TOWNSHIP ENGINEER 48 HOURS PRIOR TO STORM SEWER INSTALLATION TO SCHEDULE OBSERVATION. FULL TIME OBSERVATION IS REQUIRED FOR ALL UNDERGROUND STORM SEWER AND LEACHING SYSTEM CONSTRUCTION. CONTACT MICHAEL DARGA WITH HUBBELL, ROTH & CLARK, INC. 248-454-6532.
  - BEFORE YOU DIG CALL MISS DIG AT 1-800-482-7171.
  - ALL MORTAR AND CONCRETE WORK SHALL BE PROTECTED FROM FREEZING (40° F. AND FALLING) FOR A MINIMUM OF 48 HOURS.
  - PIPE FOR STORM SEWERS WITHIN THE PUBLIC ROAD RIGHT-OF-WAY OR PRIVATE ROAD EASEMENT SHALL BE RCP, C-76, CLASS IV OR V RCP.
  - DOUBLE WALLED HOPE MEETING THE REQUIREMENTS OF ASTM F2306.

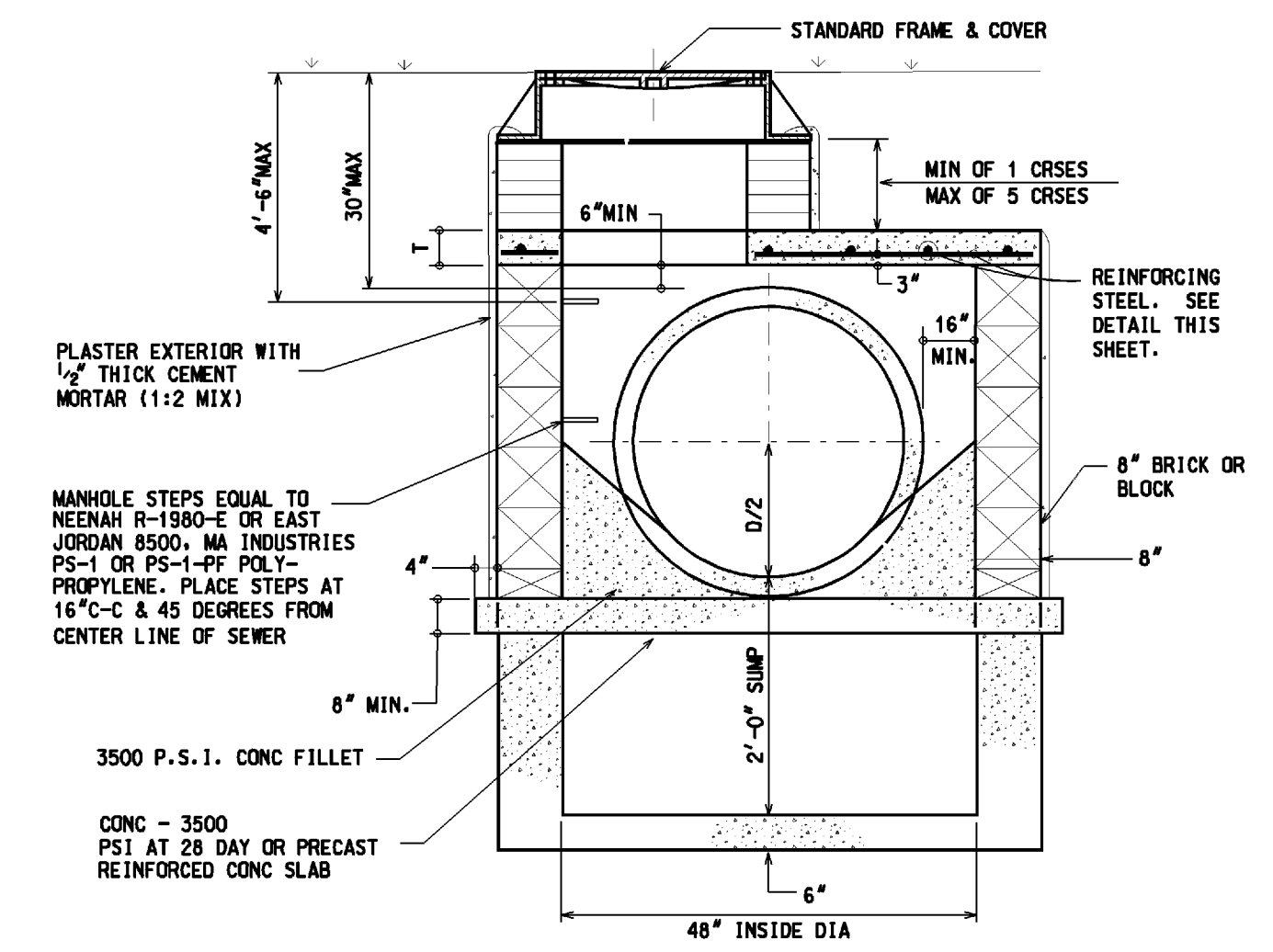


**EDGE DRAIN DETAIL**



- NOTES:**
- LENGTH OF 6" EDGE DRAIN TO BE DETERMINED BY THE TOWNSHIP.
  - EDGE DRAIN SHALL BE INSTALLED AT ALL CATCH BASINS & INLETS WITHIN LIMITS OF PAVEMENT OF A ROADWAY. 20' (MIN.) IN EACH DIRECTION.

**6" EDGE DRAIN**

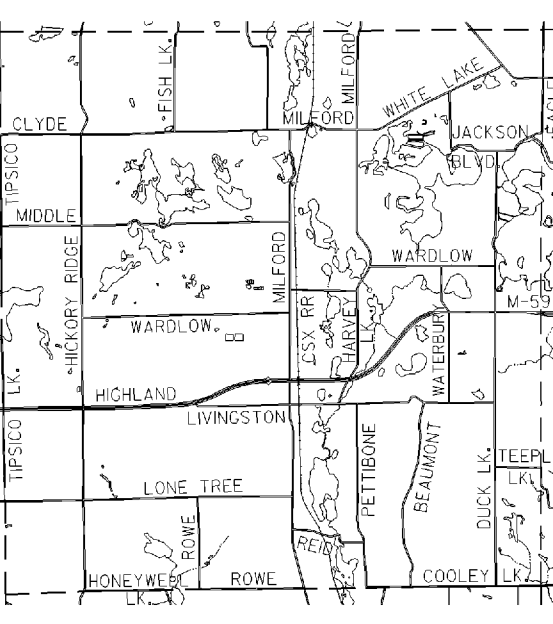


**LOW-HEAD STORM SEWER STRUCTURE**



**HRC**  
 Hubbell, Roth & Clark, Inc.  
 CONSULTING ENGINEERS  
 105 W. GRAND RIVER AVE.  
 HOWELL, MICHIGAN 48843  
 PHONE: (248) 454-6300  
 DIRECT PHONE: (517) 852-9199  
 FAX: (517) 852-6098  
 WEB SITE: http://www.hrc-anr.com

DATE	ADDITIONS AND/OR REVISIONS
DESIGNED	M.P.D.
DRAWN	T.E.W.
CHECKED	J.B.
APPROVED	G.E.H.



HIGHLAND TOWNSHIP

**HIGHLAND TOWNSHIP DESIGN STANDARDS**

**STORM SEWER DETAILS**

HRC JOB NO. 20050368	SCALE NONE
DATE SEPTEMBER 2005	SHEET NO. 1 OF 2

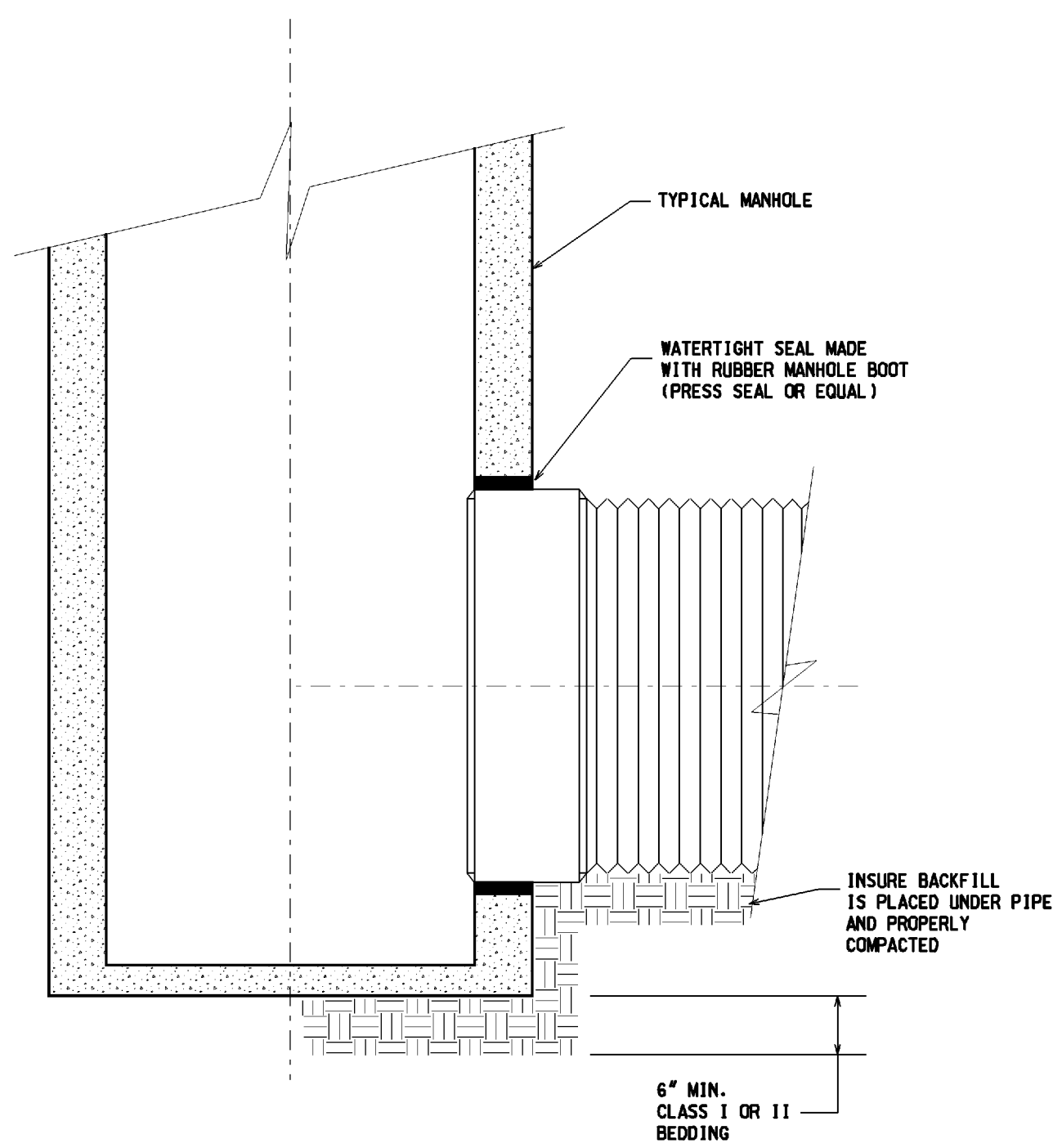
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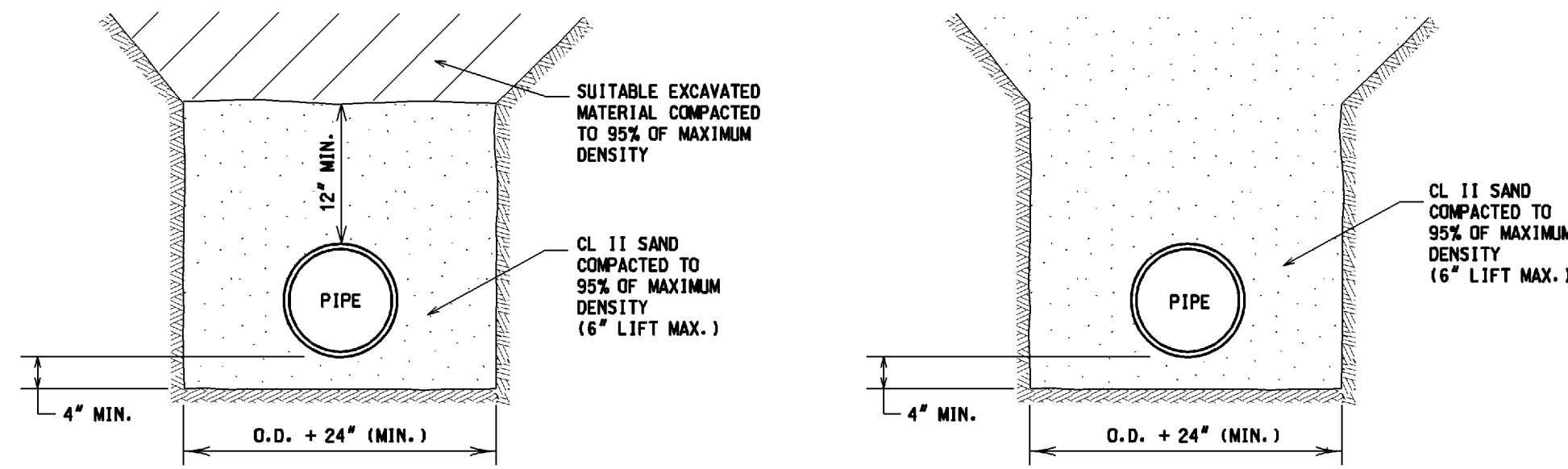
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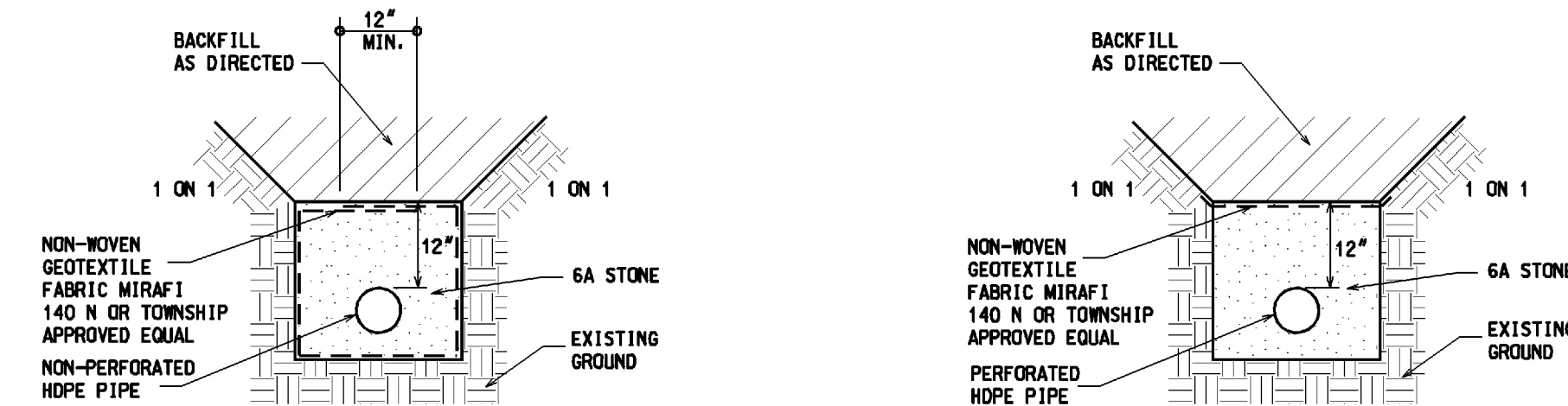
**WATERTIGHT MANHOLE CONNECTION  
HDPE TO CONCRETE DETAIL**



**BEDDING DETAIL - TRENCH B**

**BEDDING DETAIL - TRENCH A**

(REQUIRED FOR INSTALLATION UNDER PAVEMENT OR WITHIN THE INFLUENCE OF ROAD BED.)

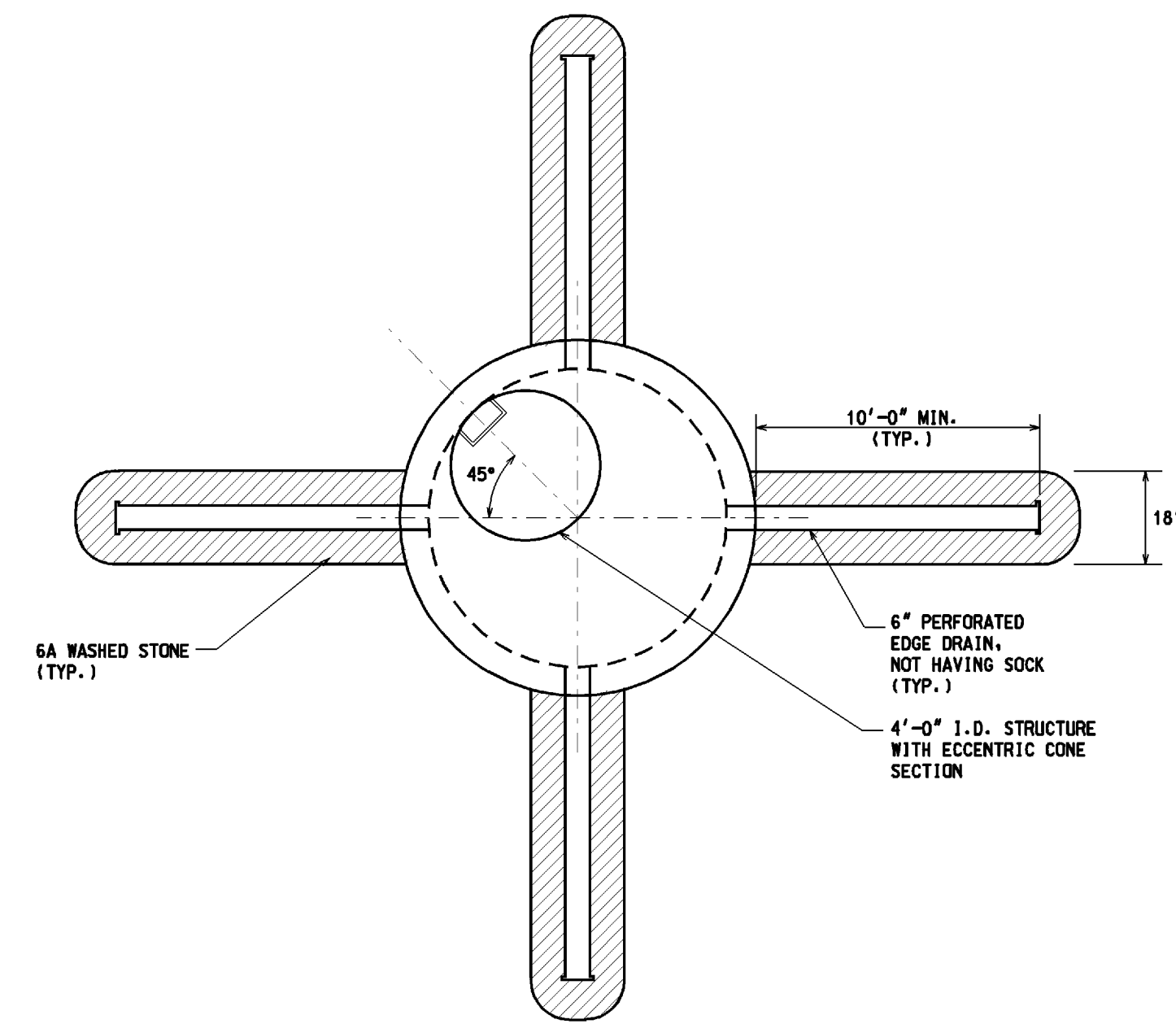


**HDPE PIPE TRENCH DETAIL  
FOR DETENTION SYSTEMS  
WITHOUT GROUNDWATER  
RECHARGE**

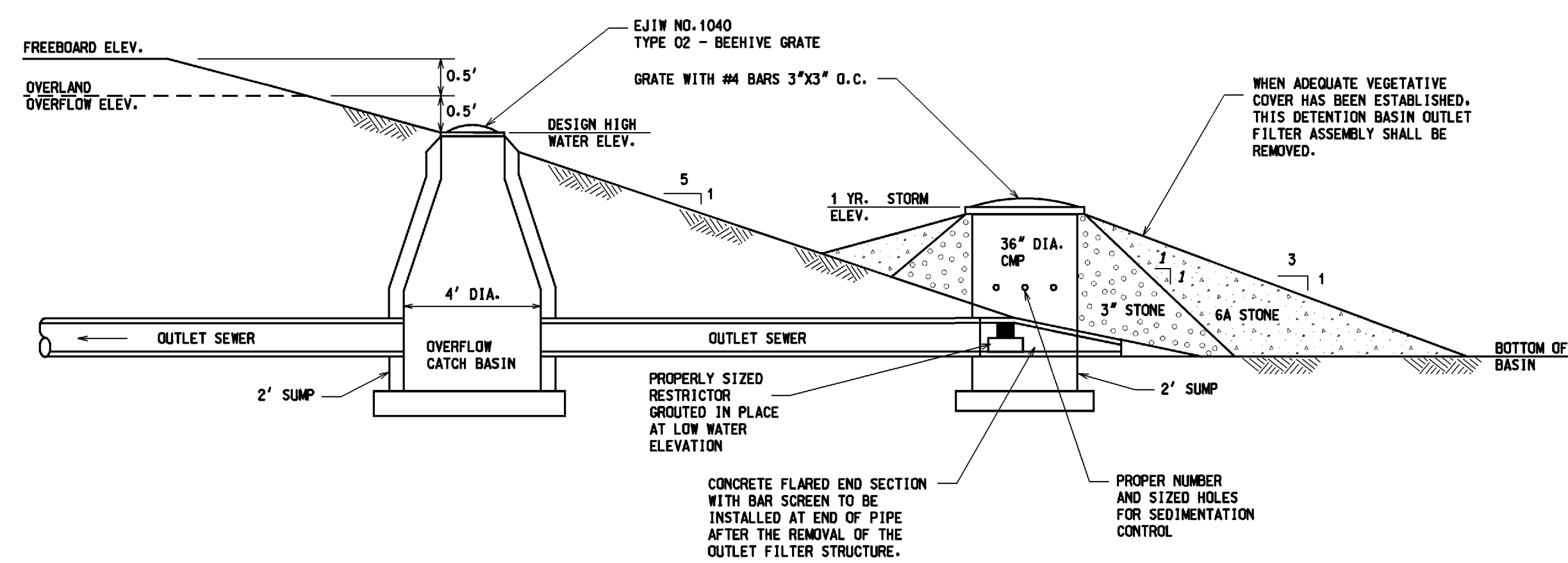
**HDPE PIPE TRENCH DETAIL  
FOR DETENTION/RETENTION SYSTEMS  
WITH GROUNDWATER  
RECHARGE**

**NOTES:**

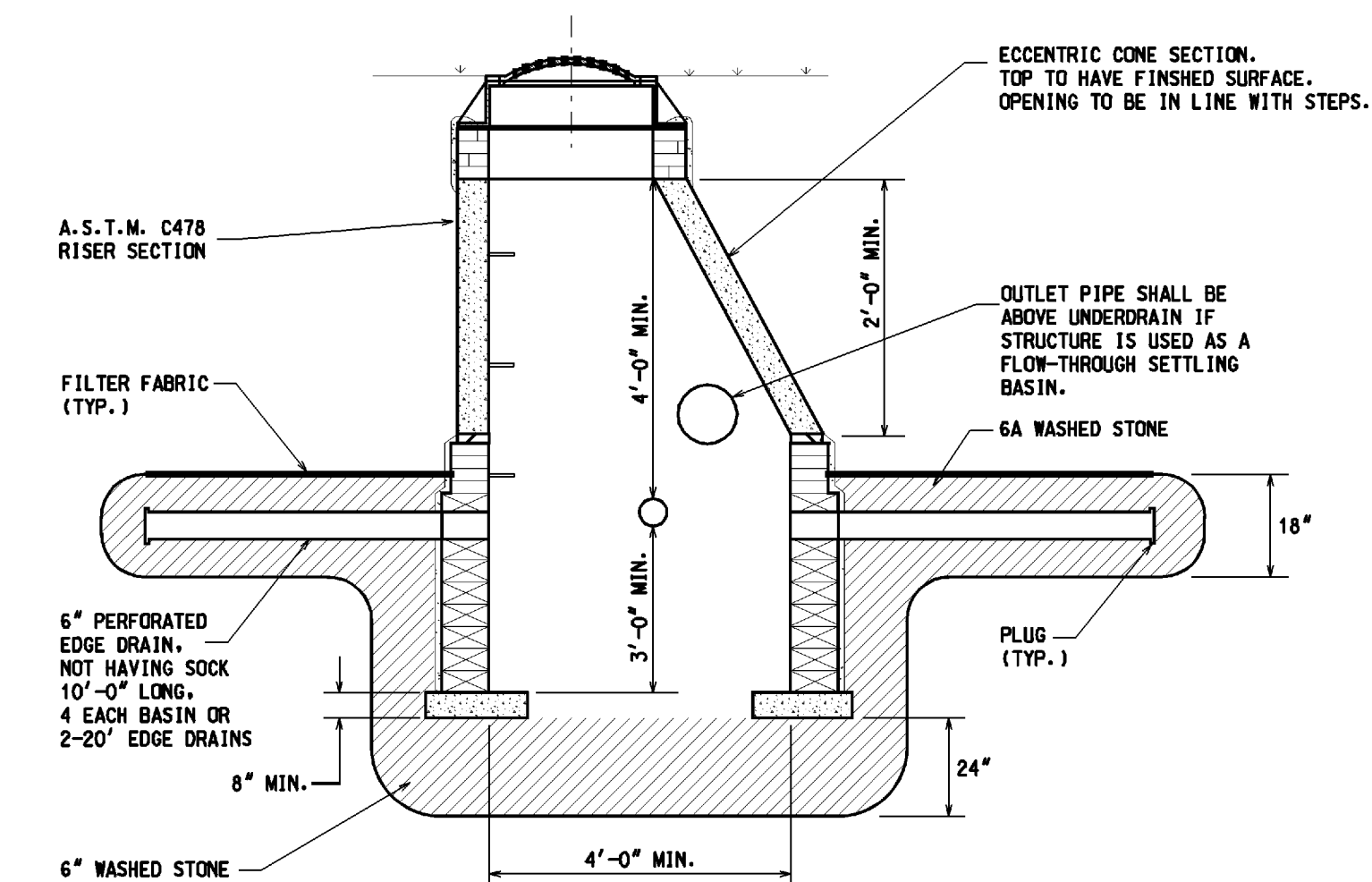
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11. DOUBLE WALLED HDPE MEETING THE REQUIREMENTS OF ASTM F2306.



**PLAN VIEW**



**DETENTION POND OUTLET STRUCTURE DETAIL**



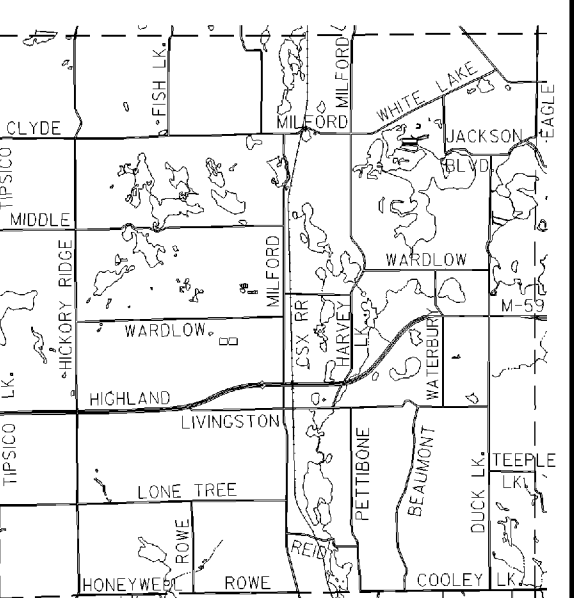
**SECTION  
STANDARD LEACHING BASIN**



**Hubbell, Roth & Clark, Inc.**  
CONSULTING ENGINEERS  
105 W. GRAND RIVER AVE.  
HOWELL, MICHIGAN 48843  
PHONE: (248) 454-6300  
DIRECT PHONE: (517) 552-9199  
FAX: (517) 552-6098  
WEB SITE: <http://www.hrc-anr.com>

DATE	ADDITIONS AND/OR REVISIONS
DESIGNED	M.P.D.
DRAWN	T.E.W.
CHECKED	J.B.
APPROVED	G.E.H.

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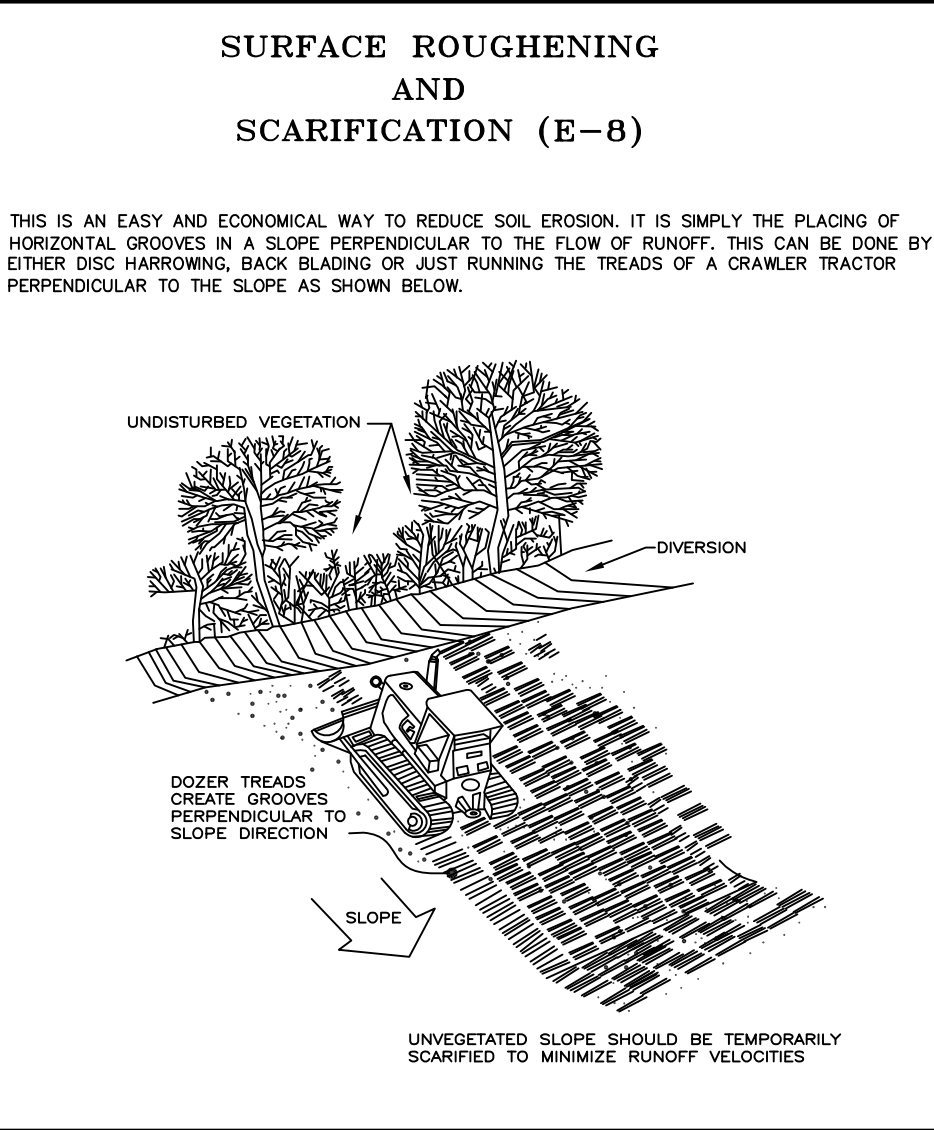
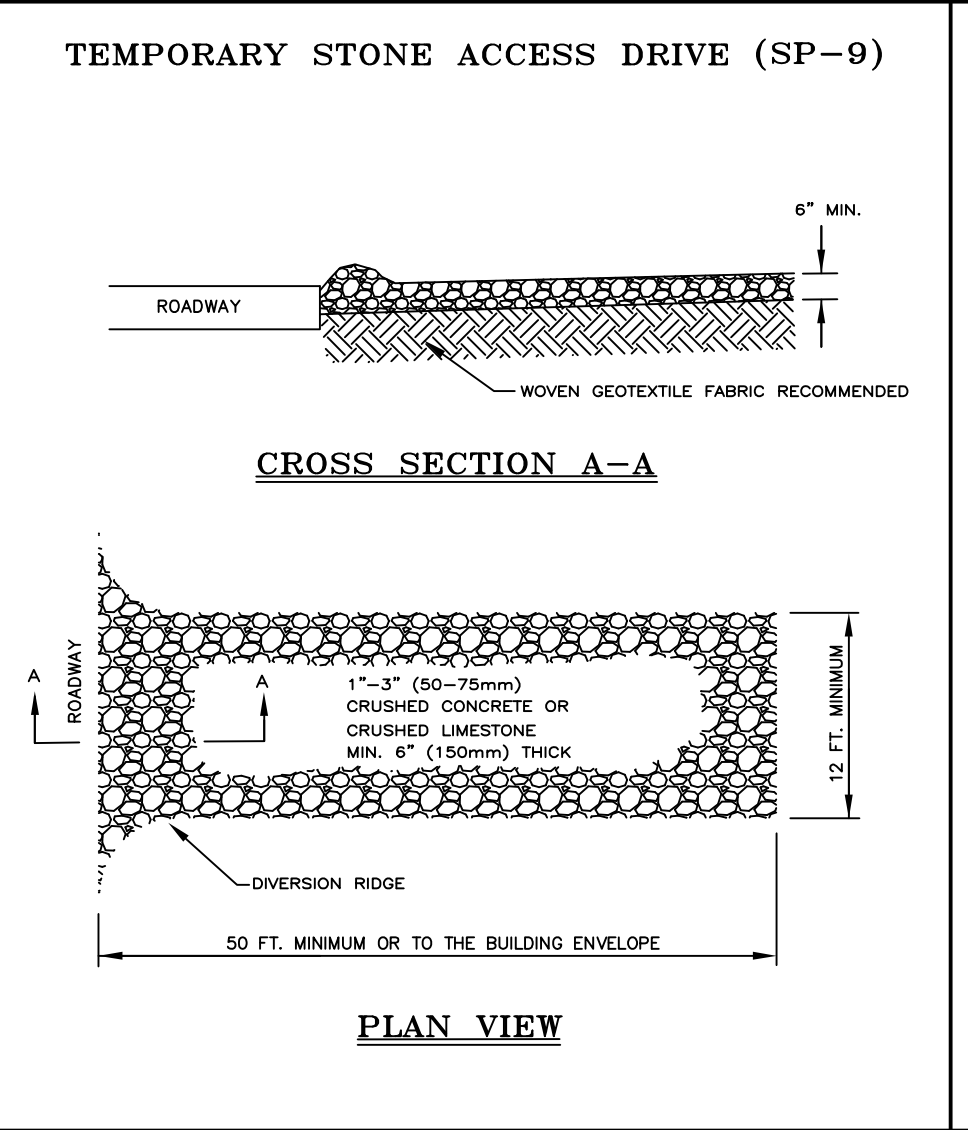
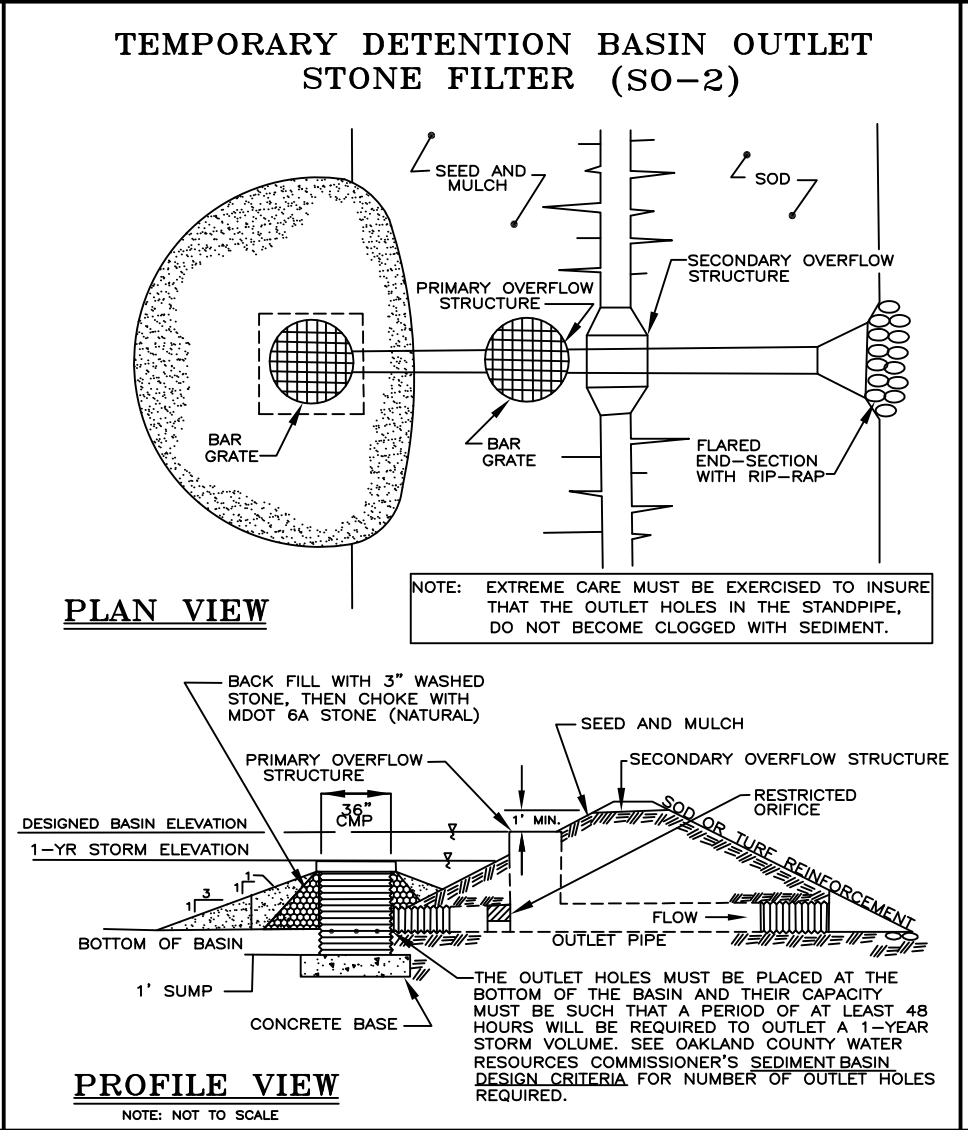
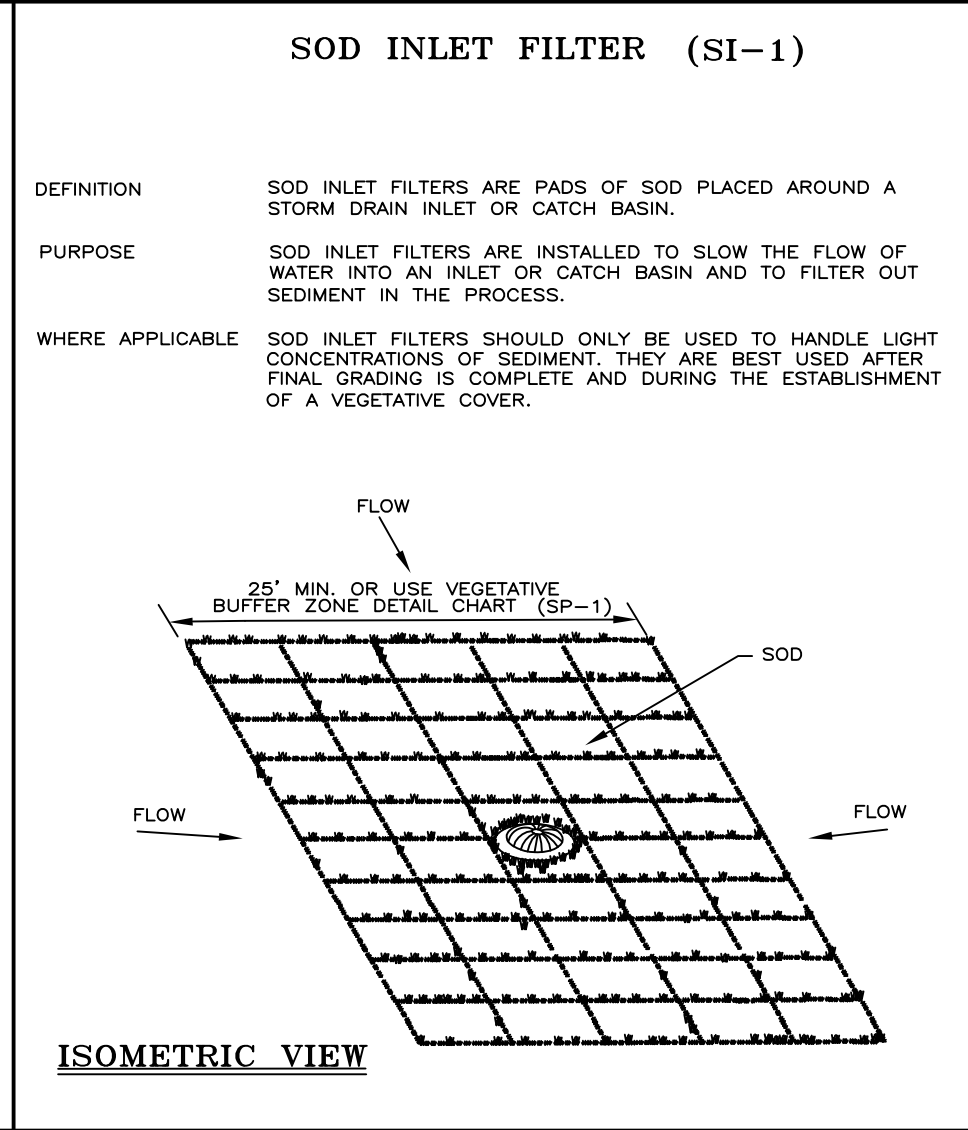
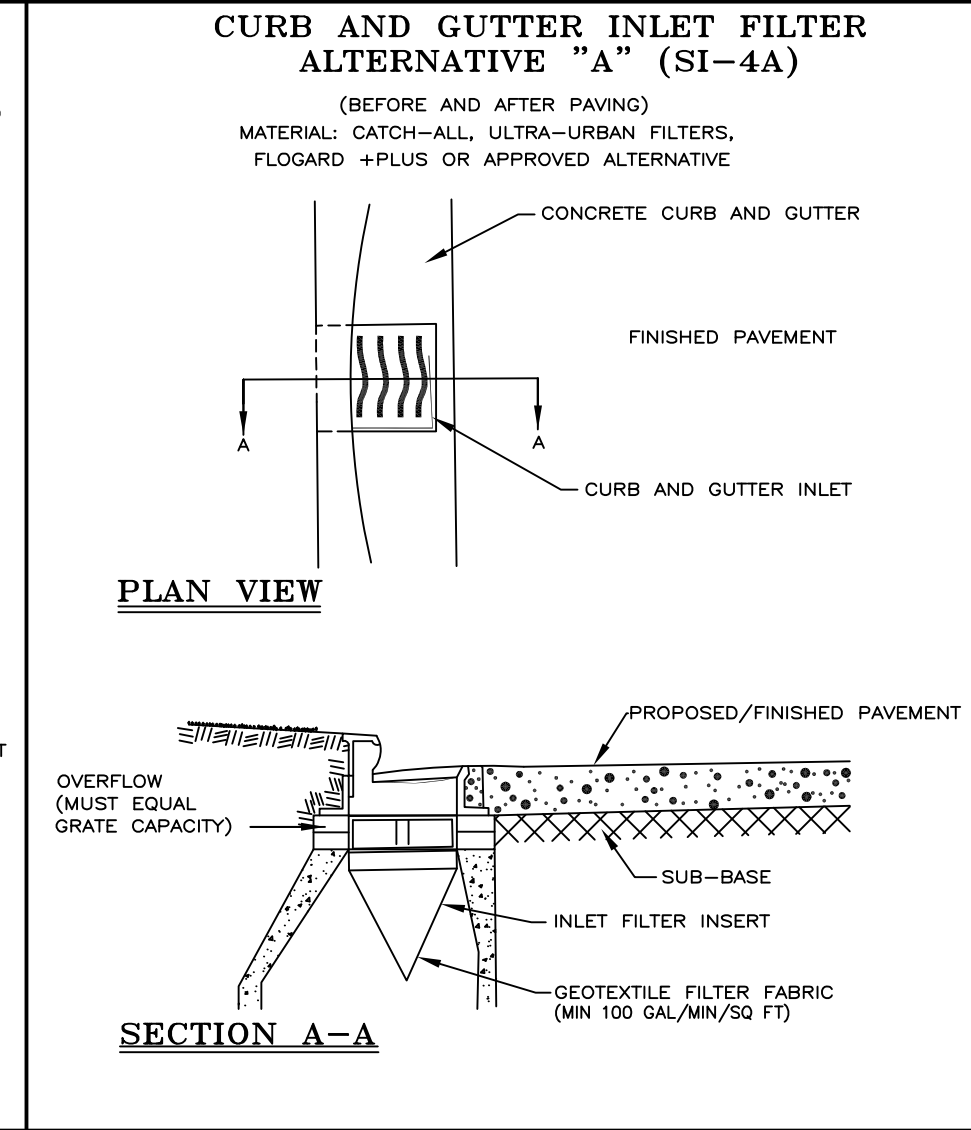
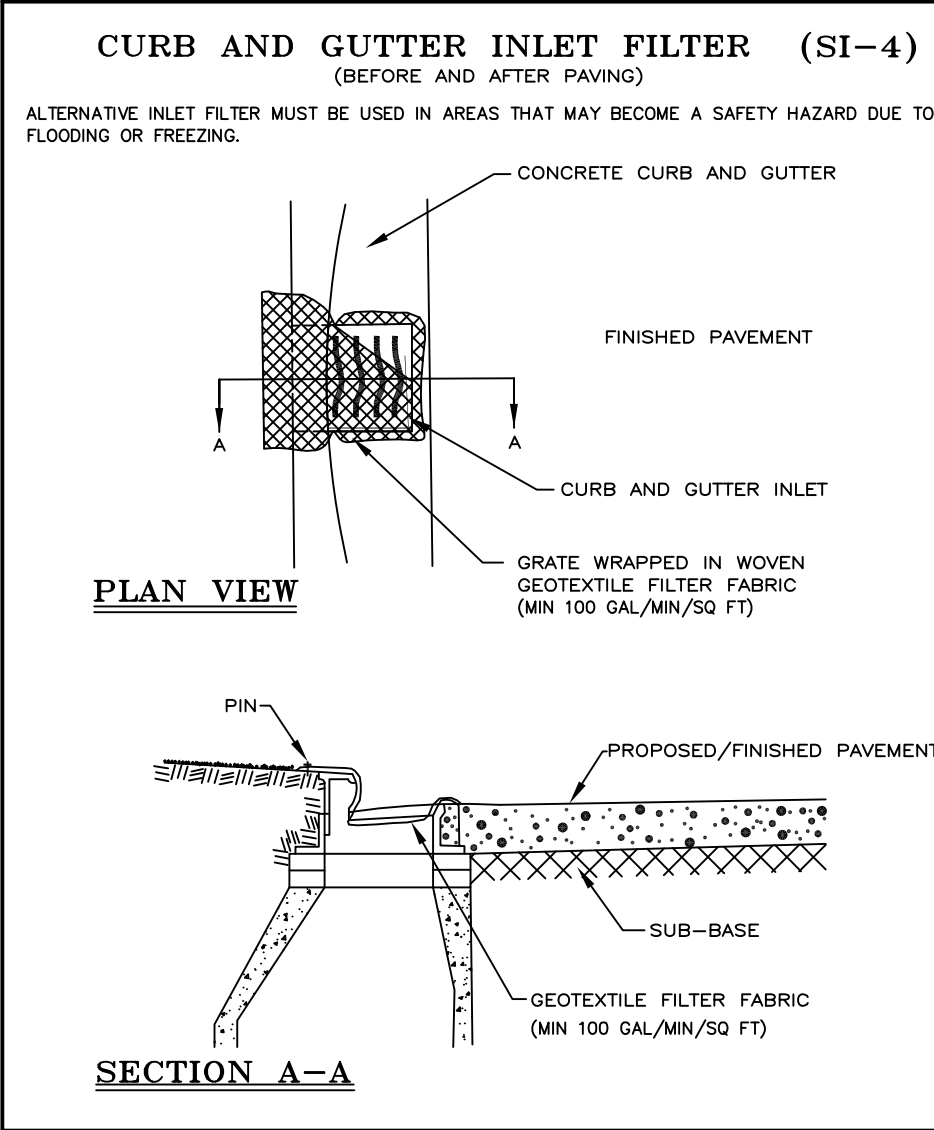
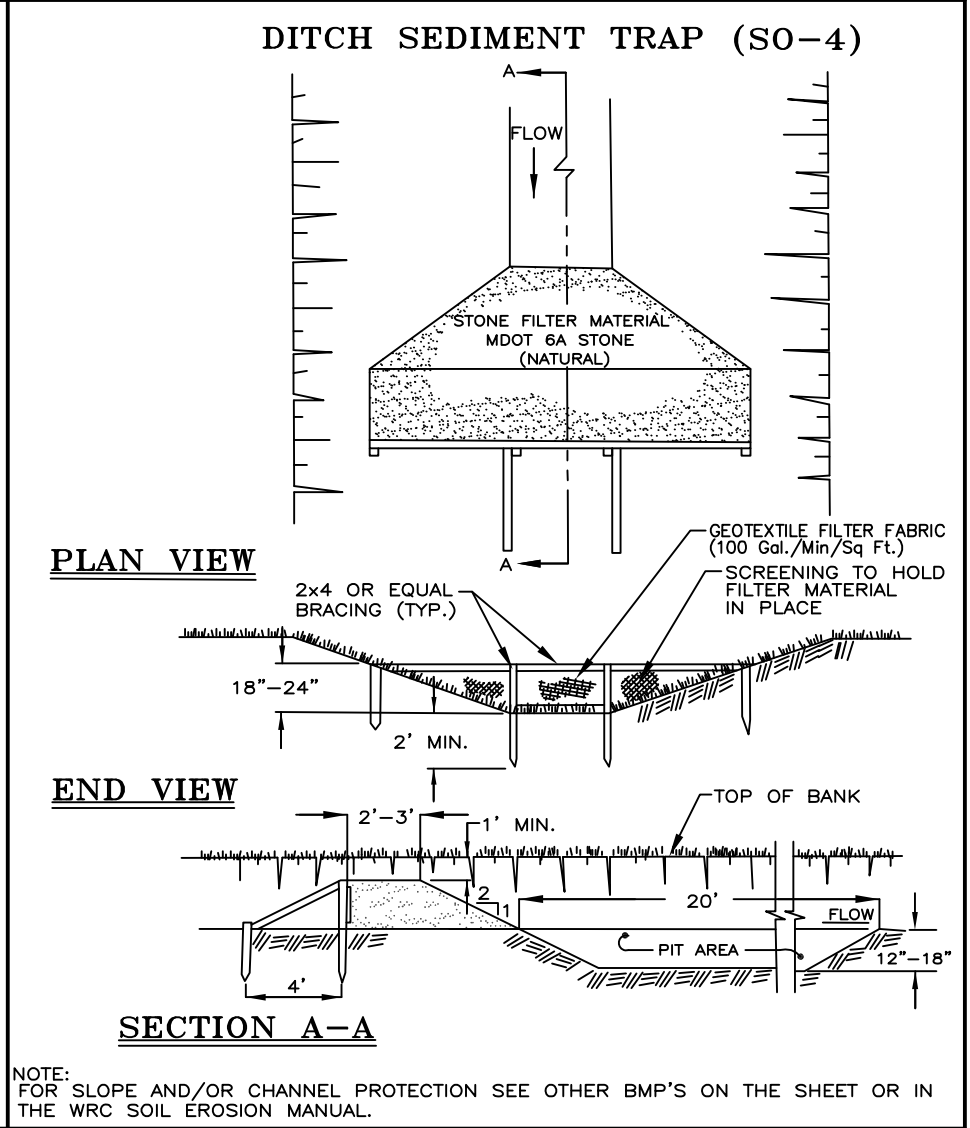
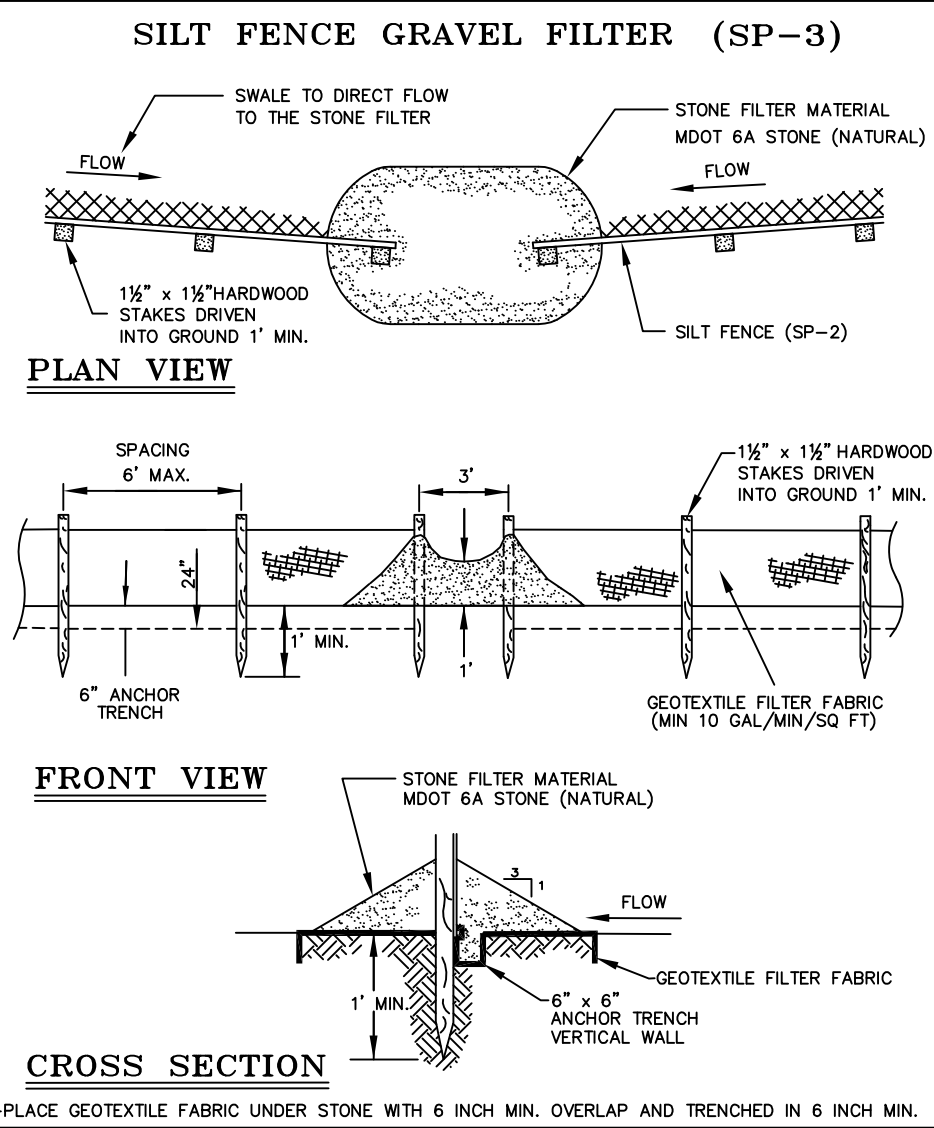
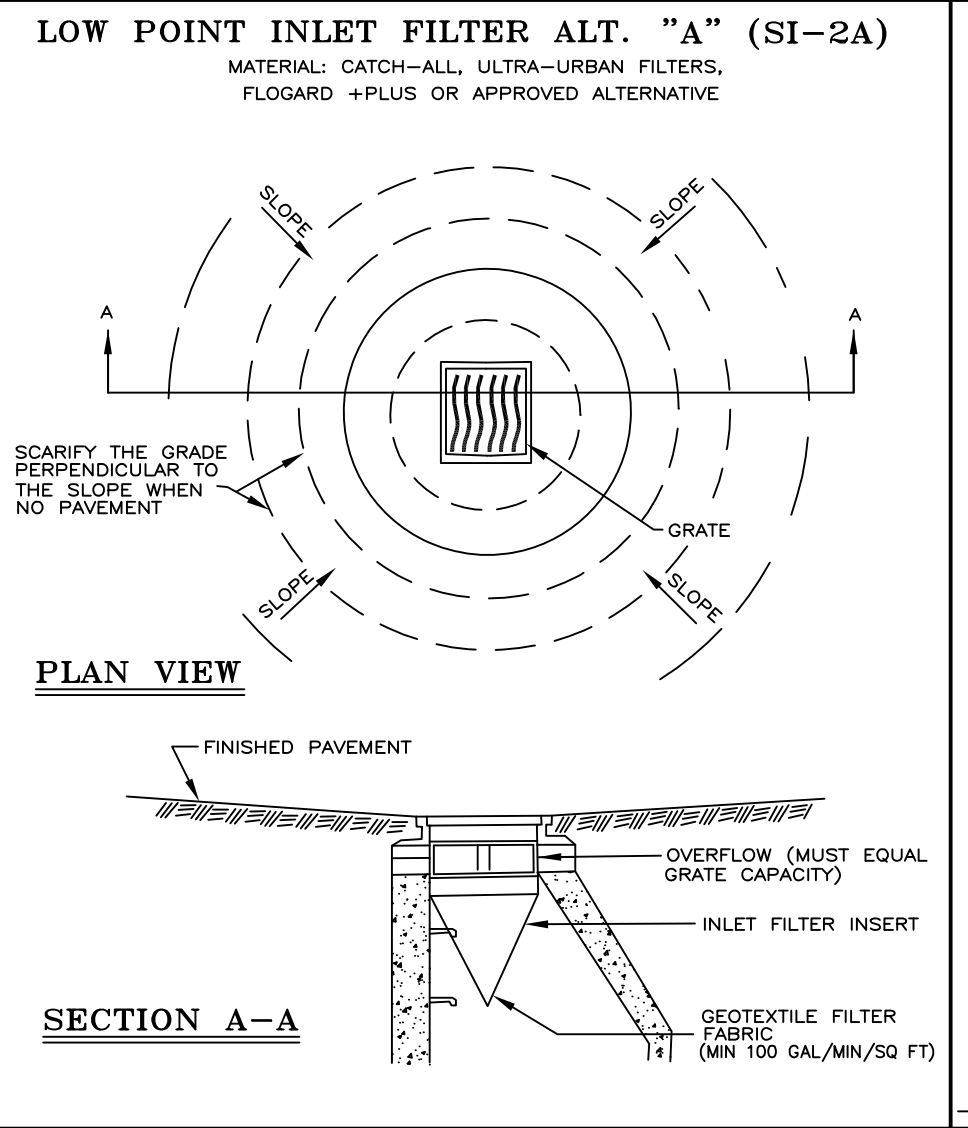
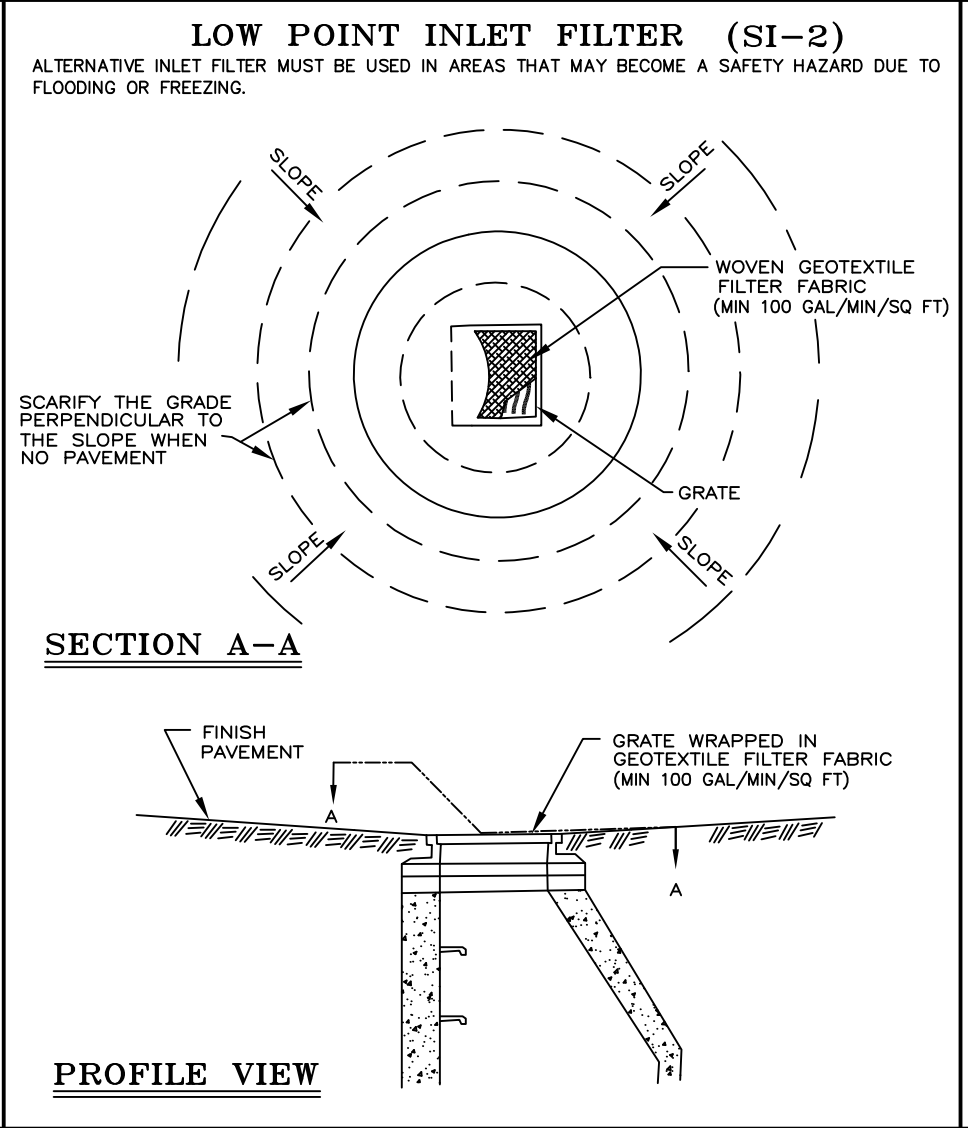
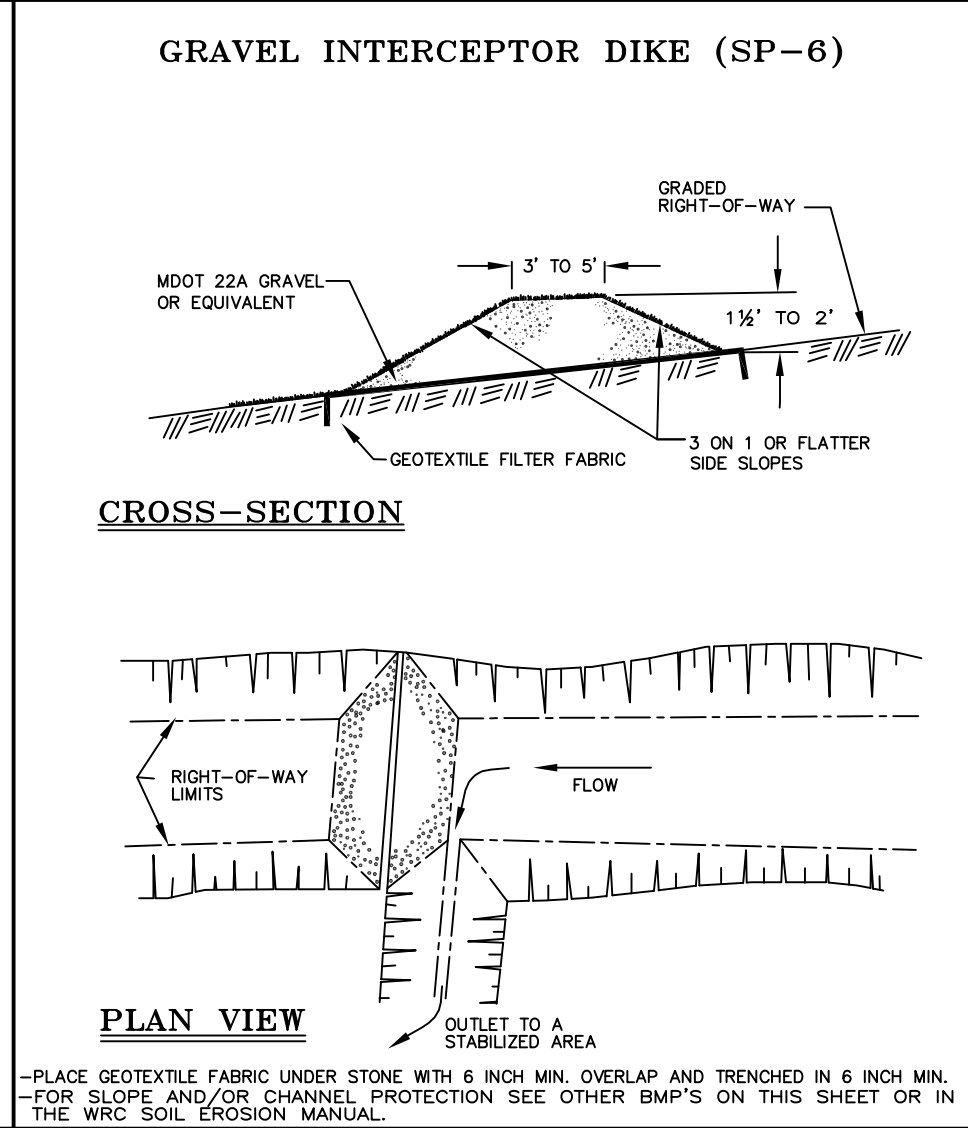
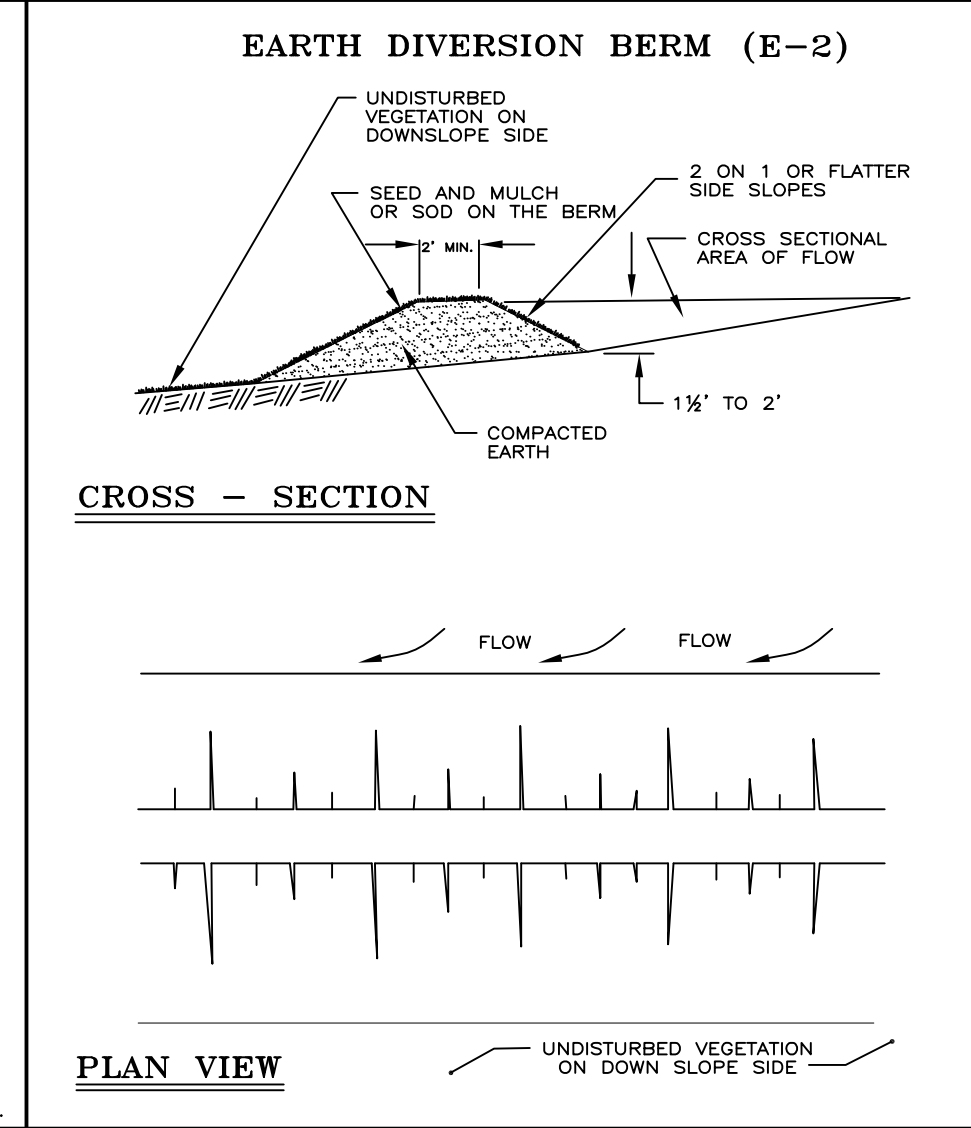
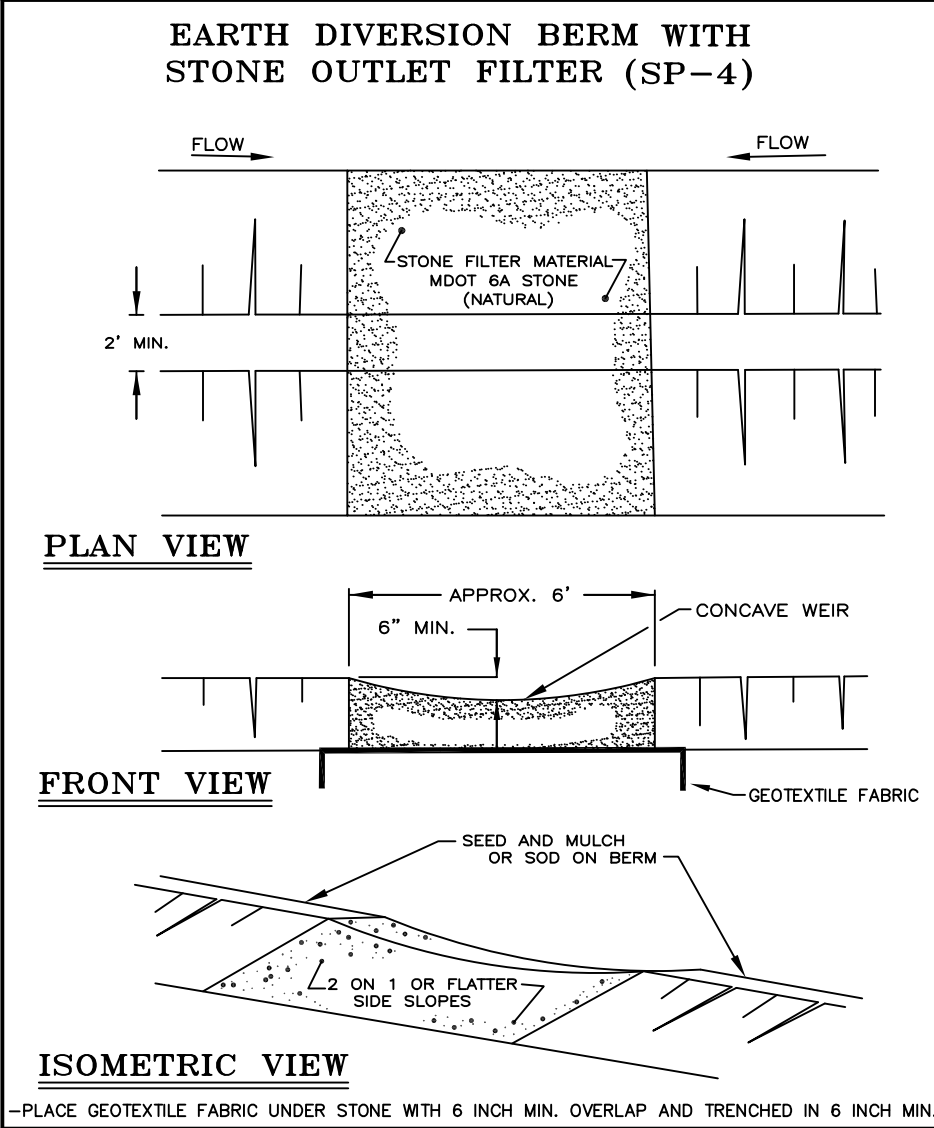
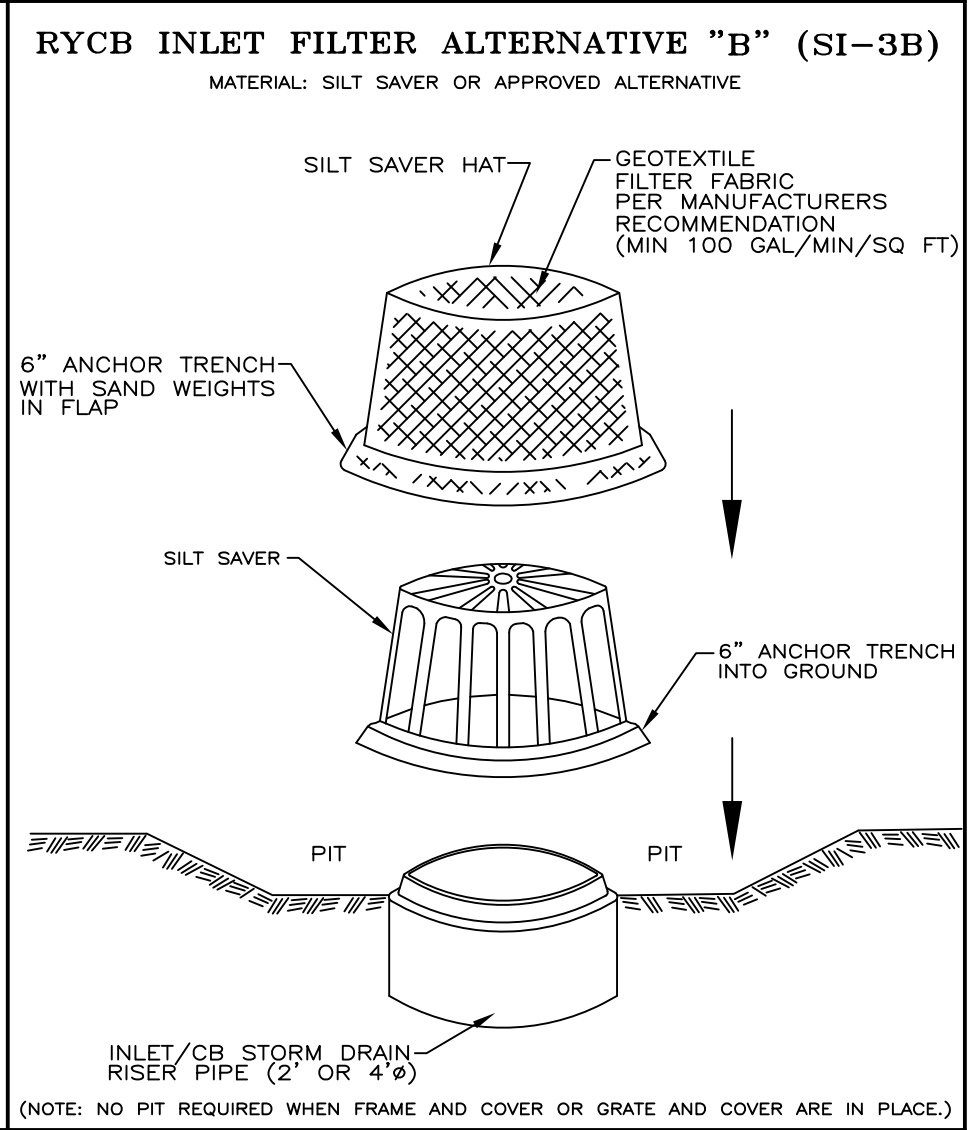
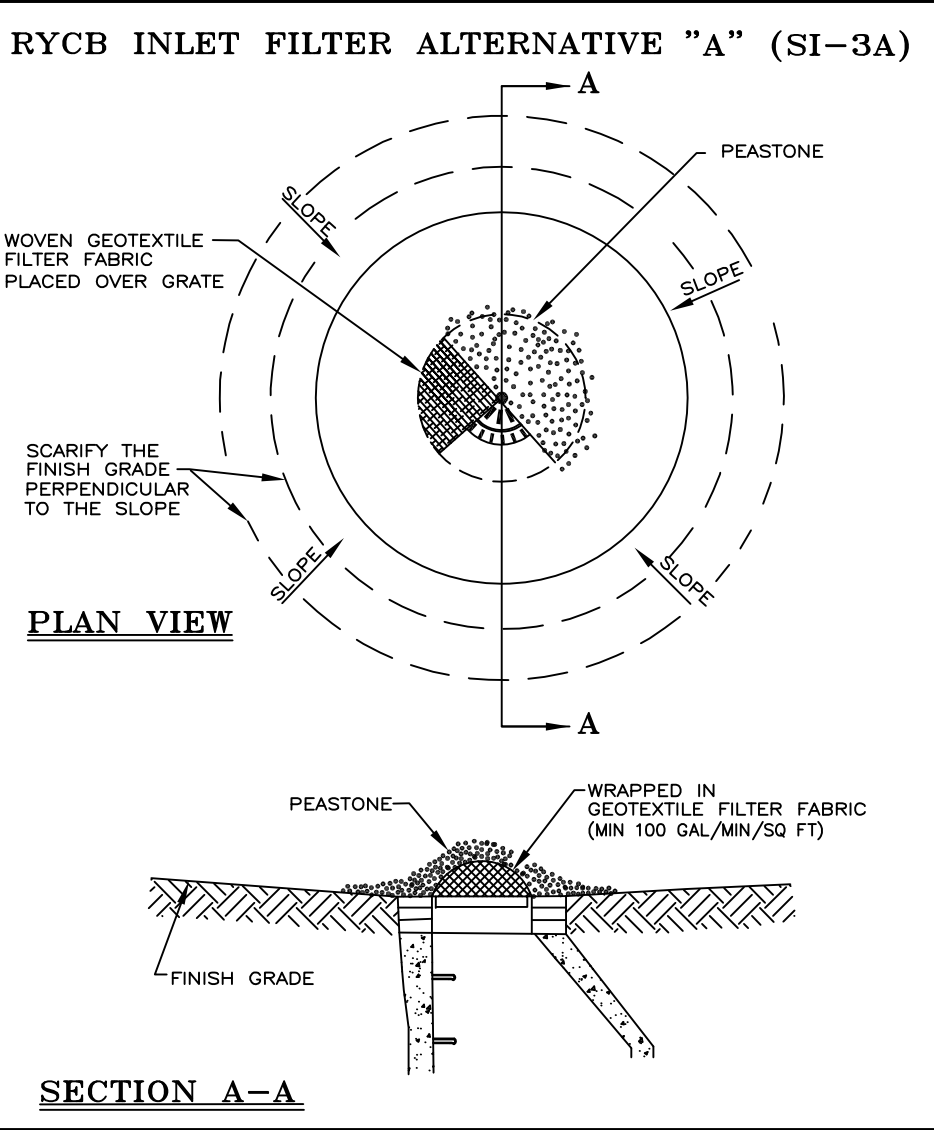
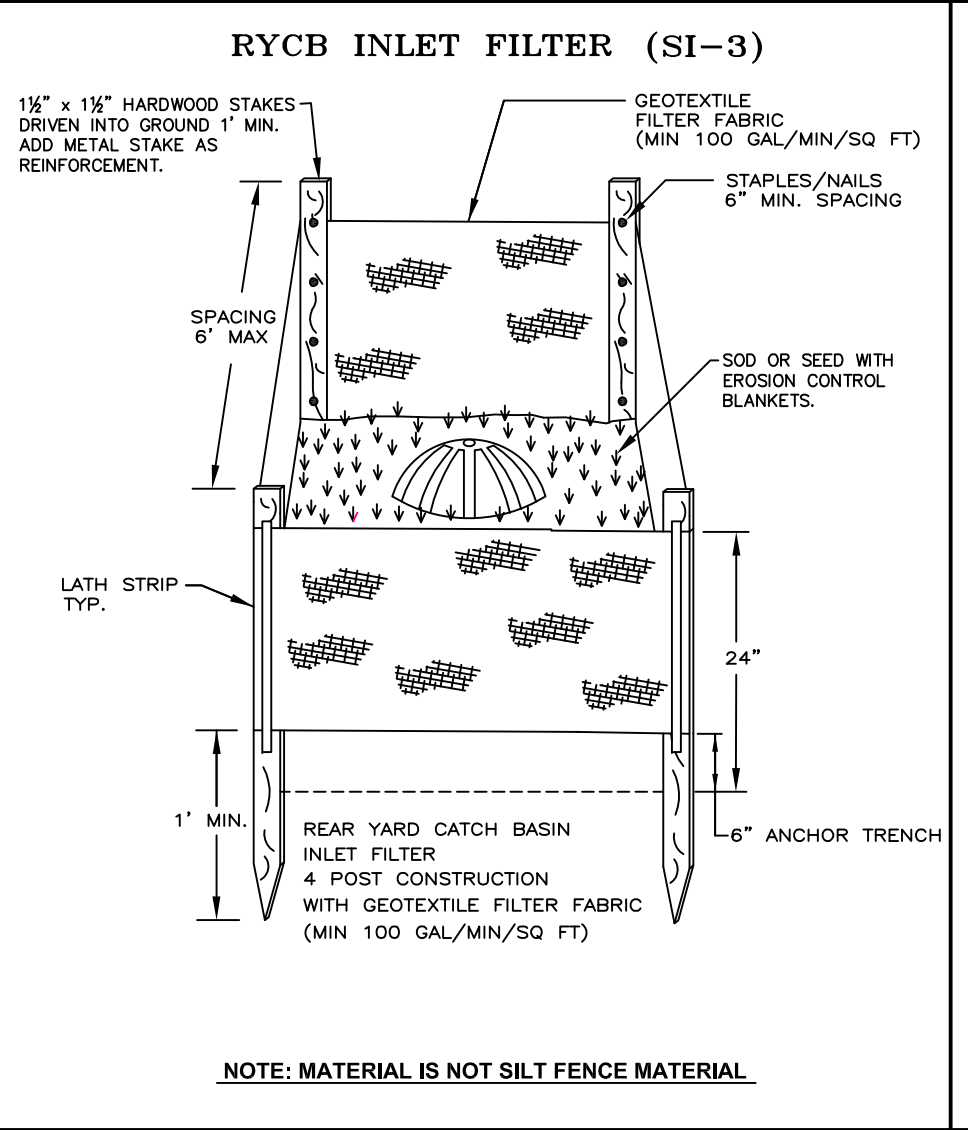
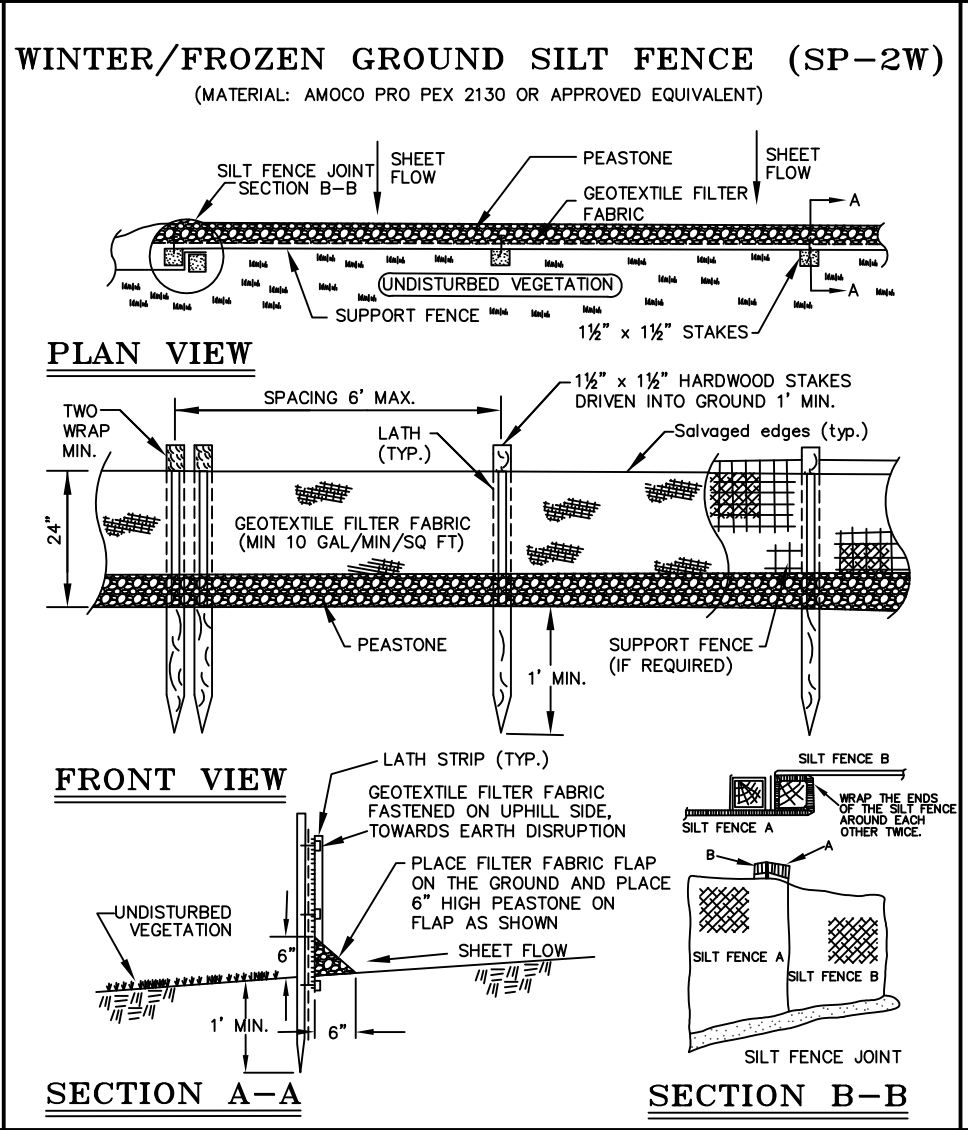
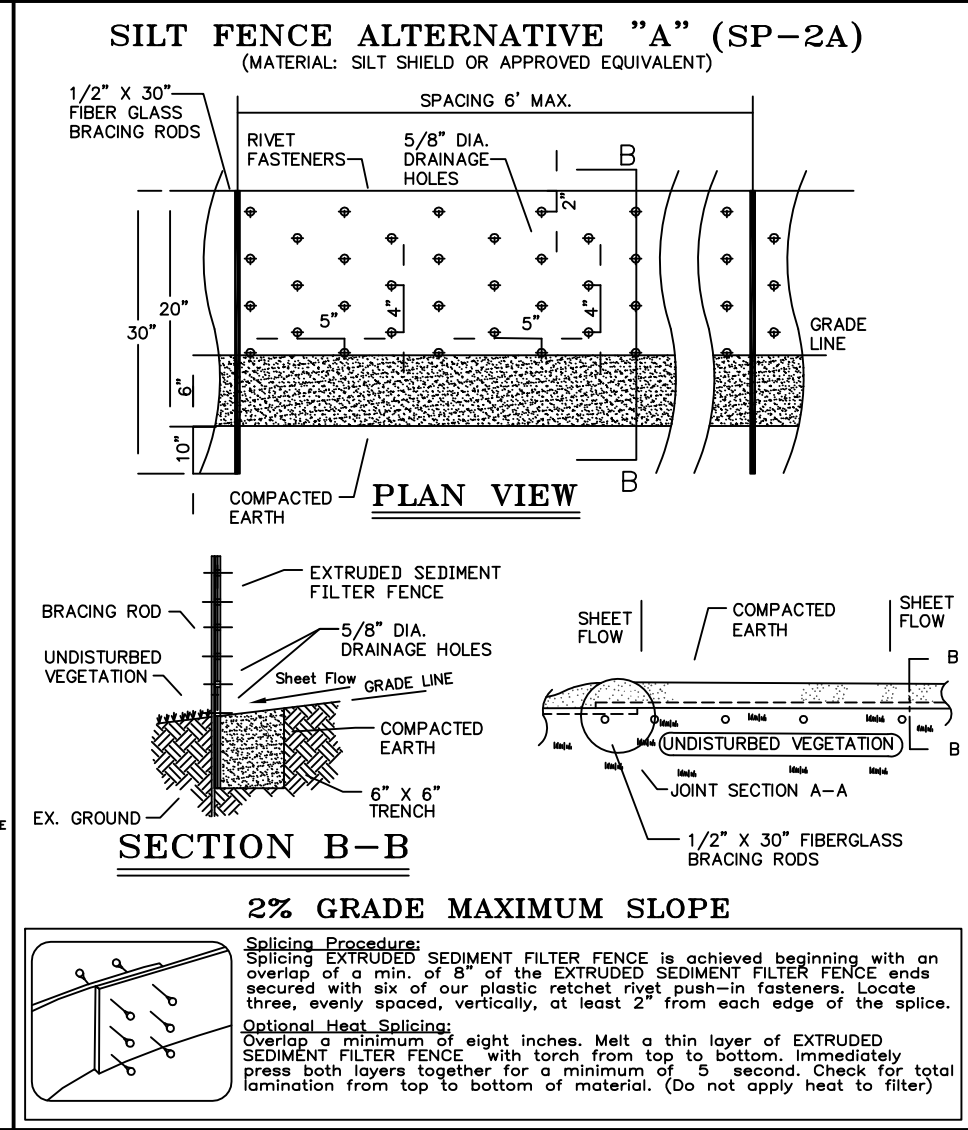
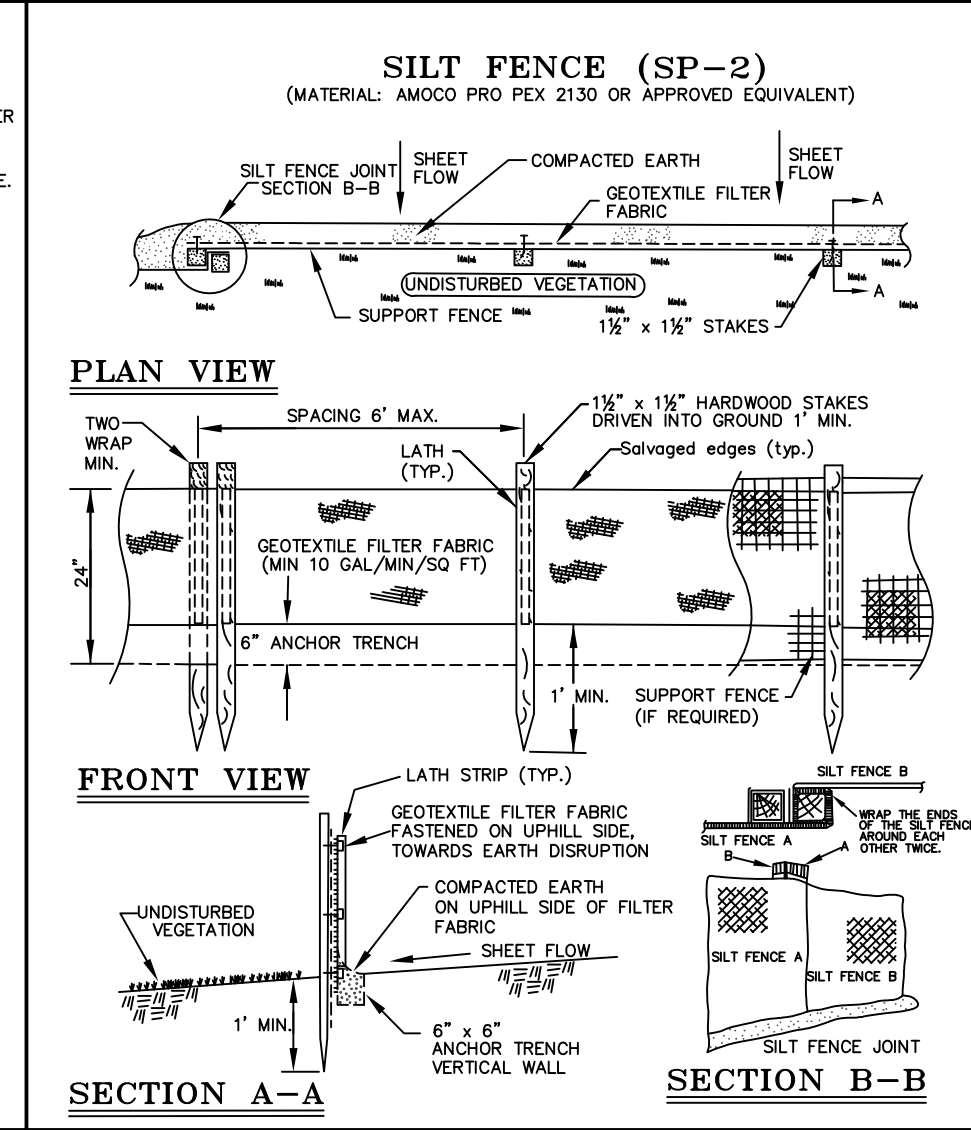
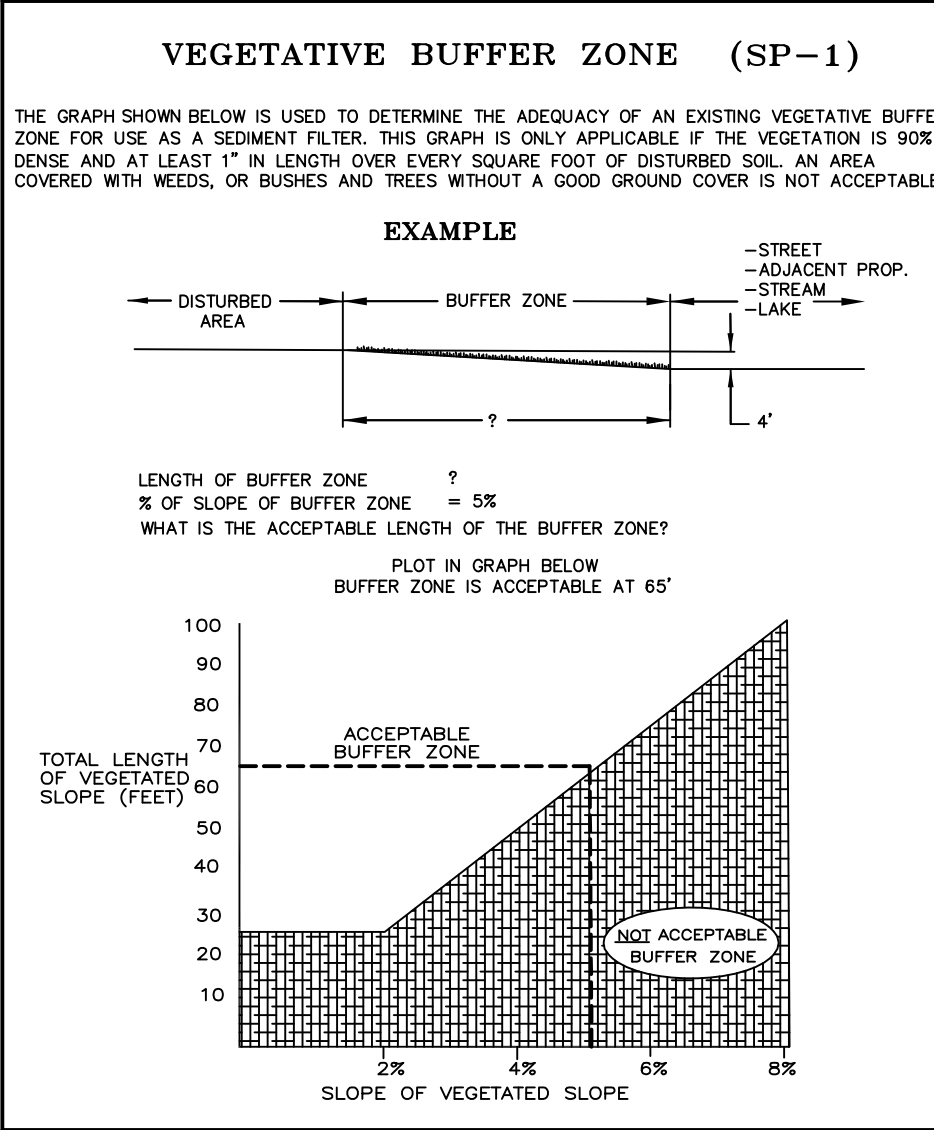
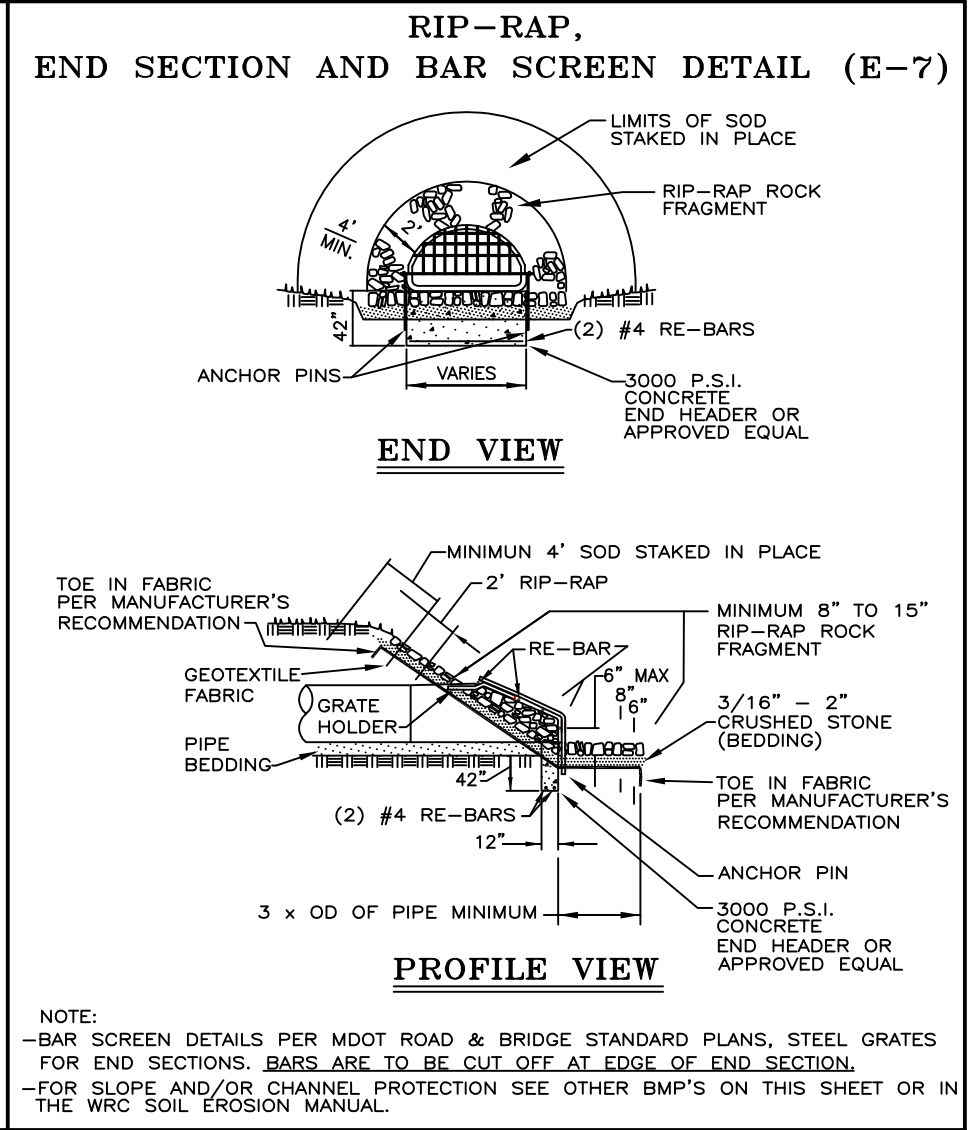
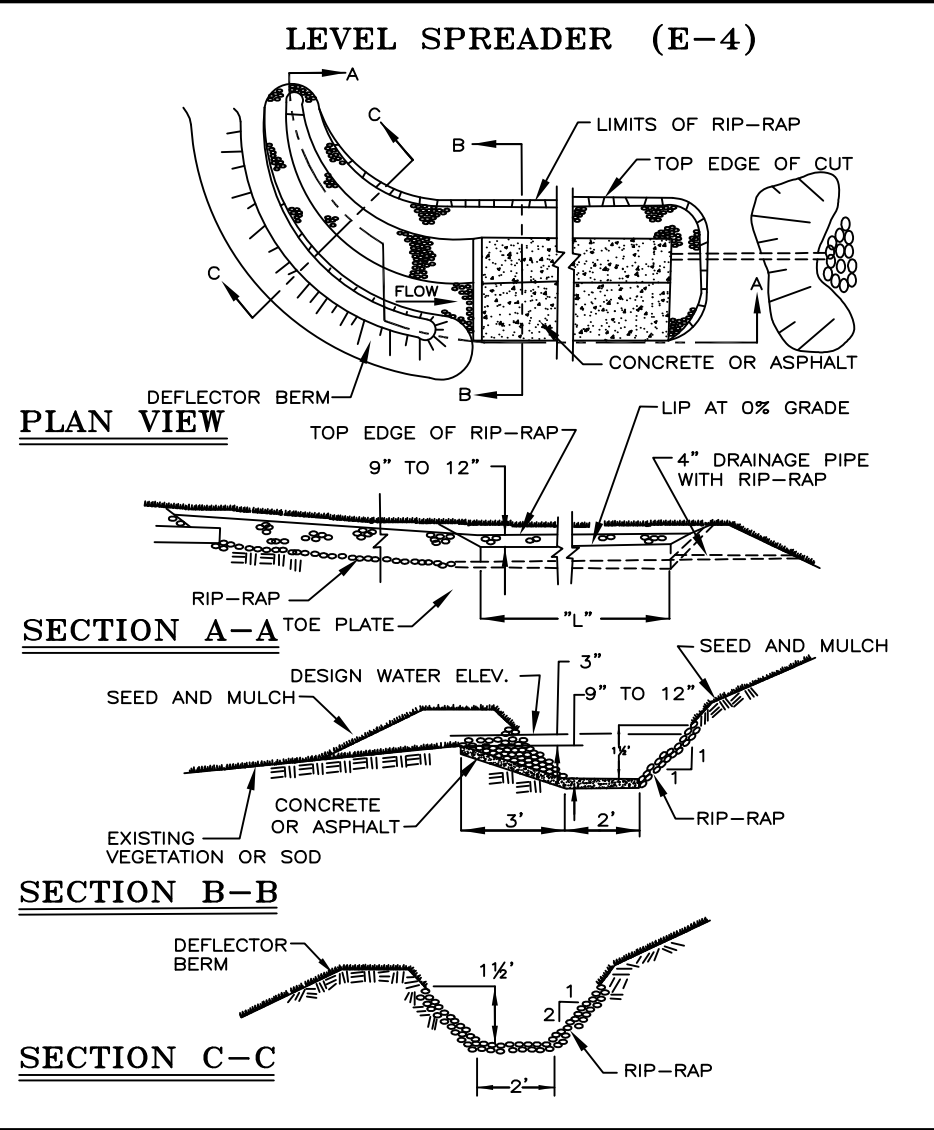
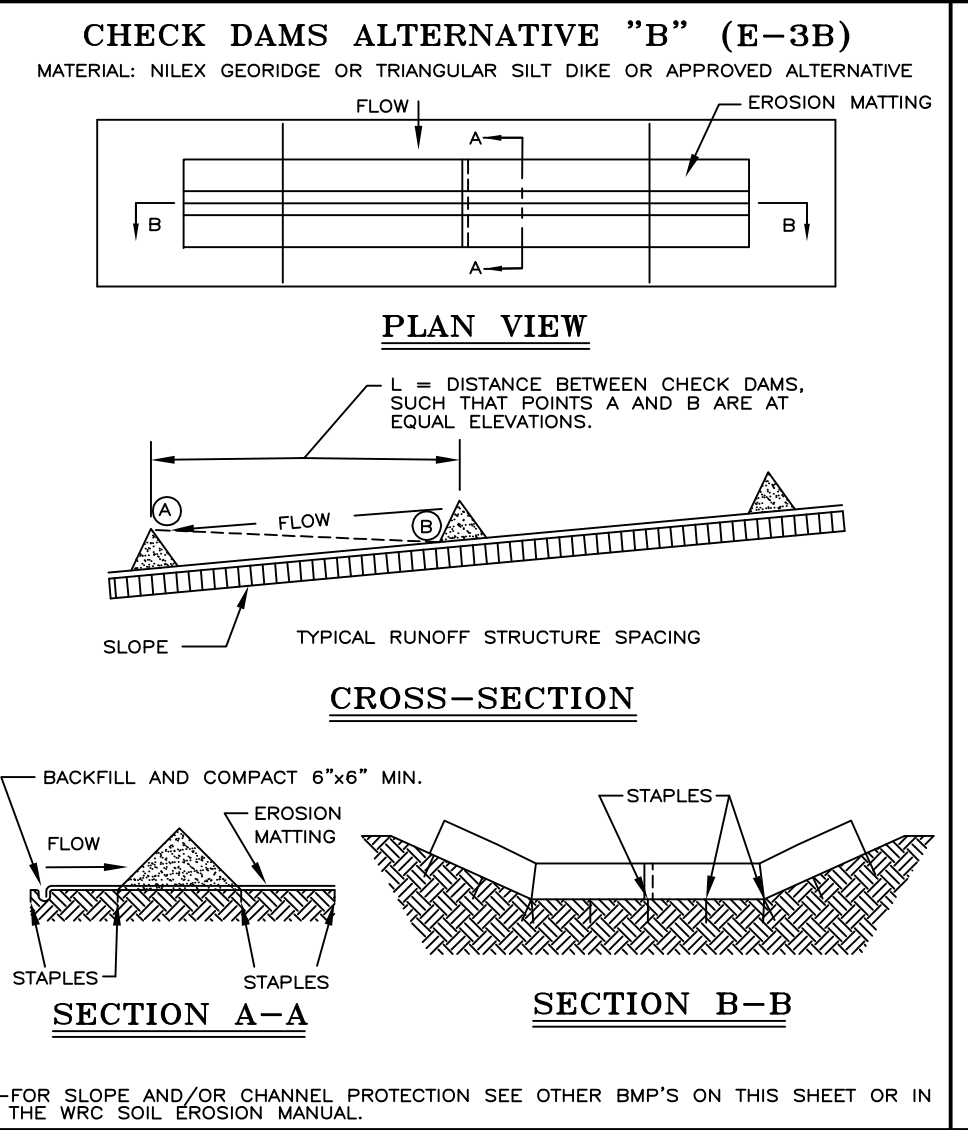
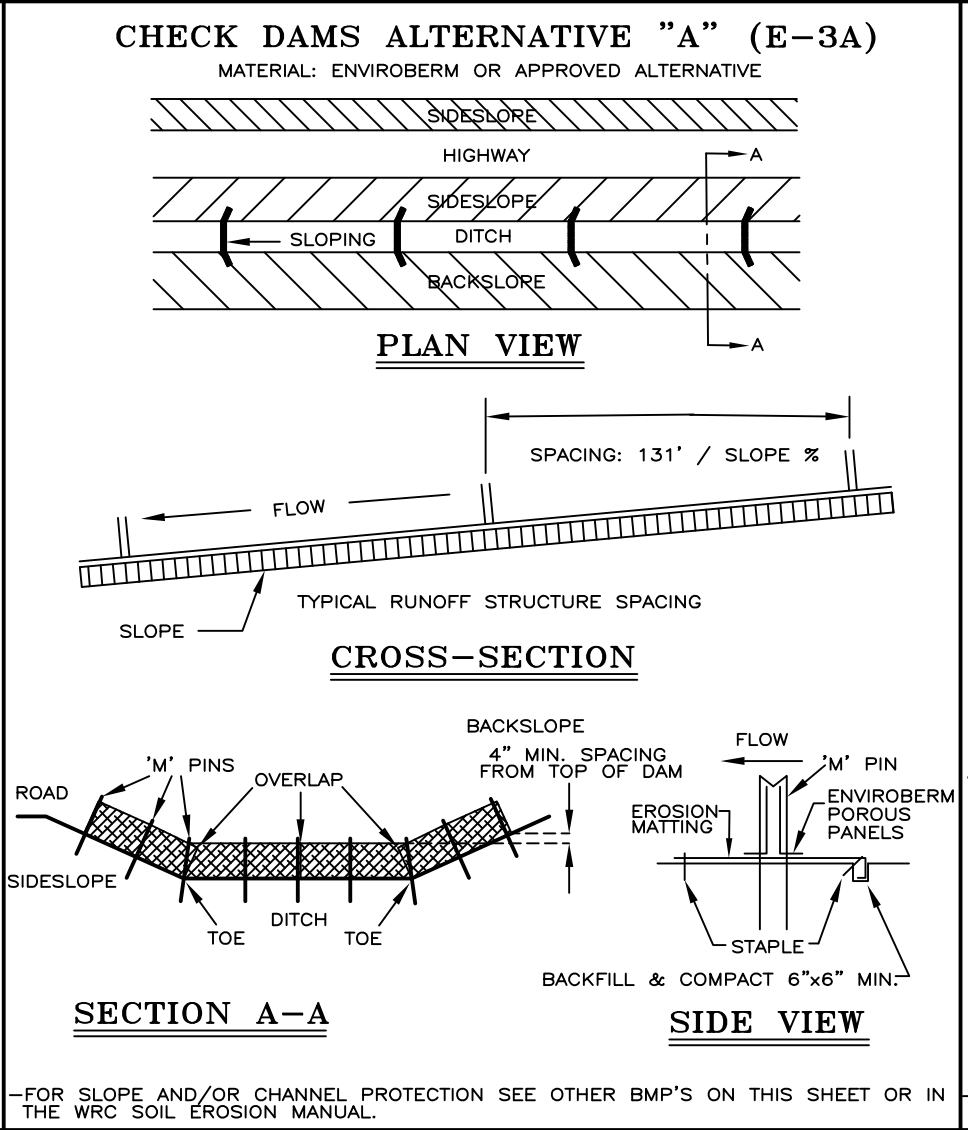
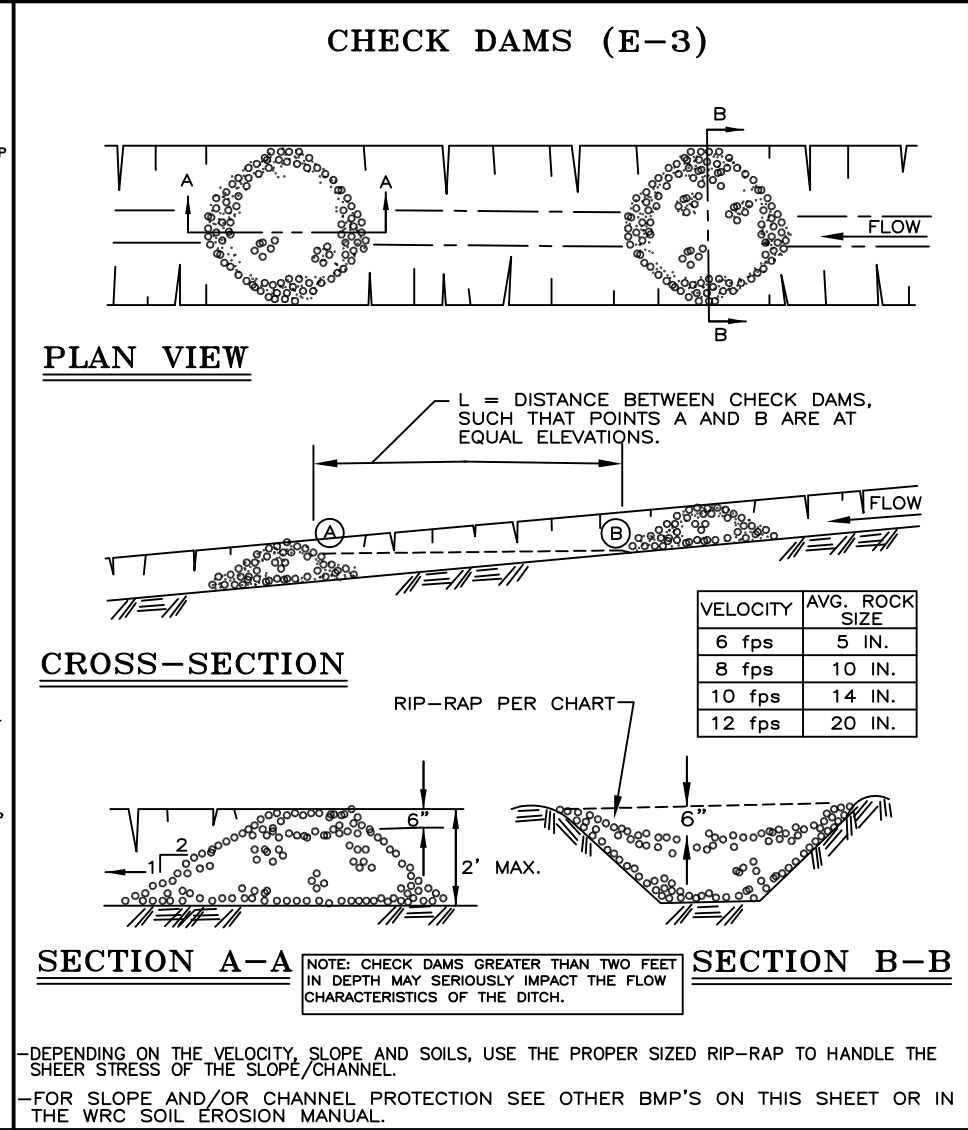
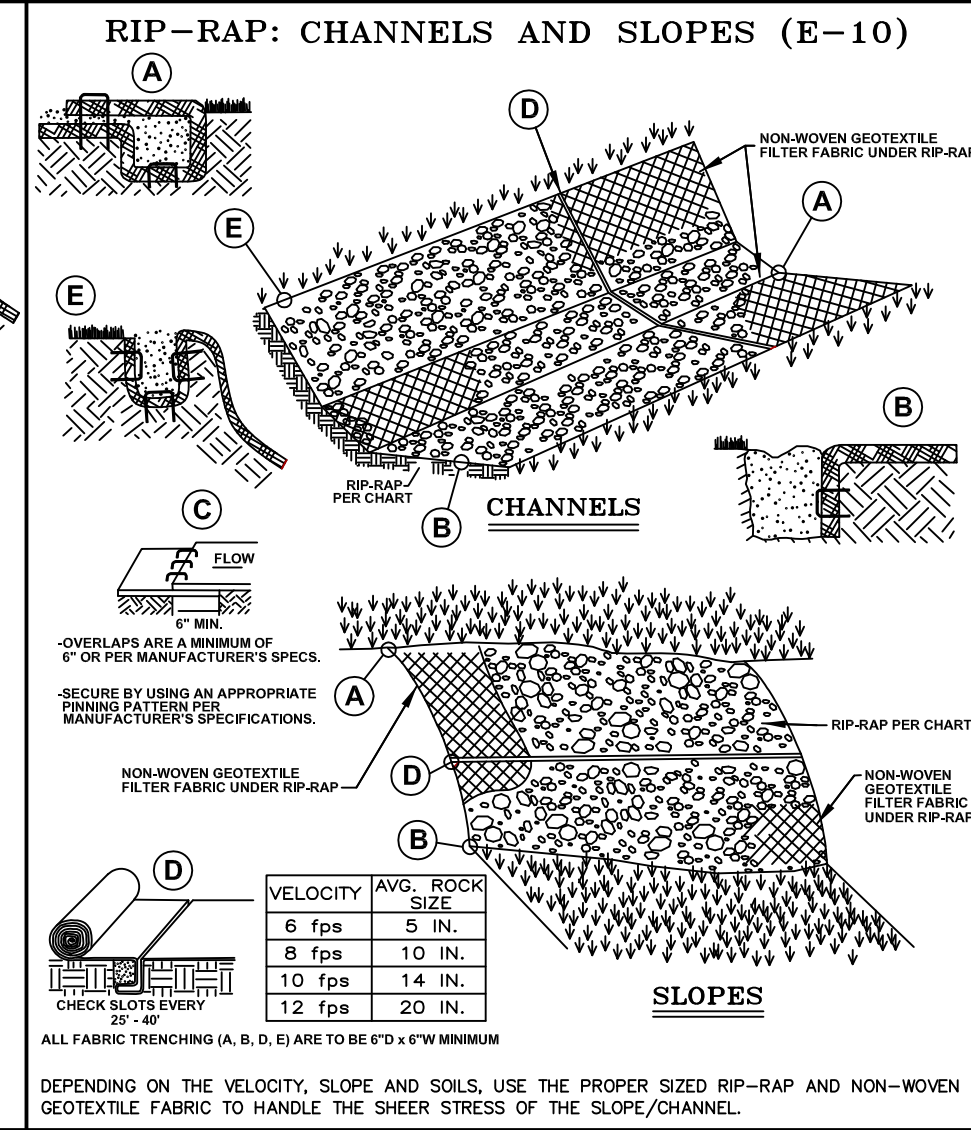
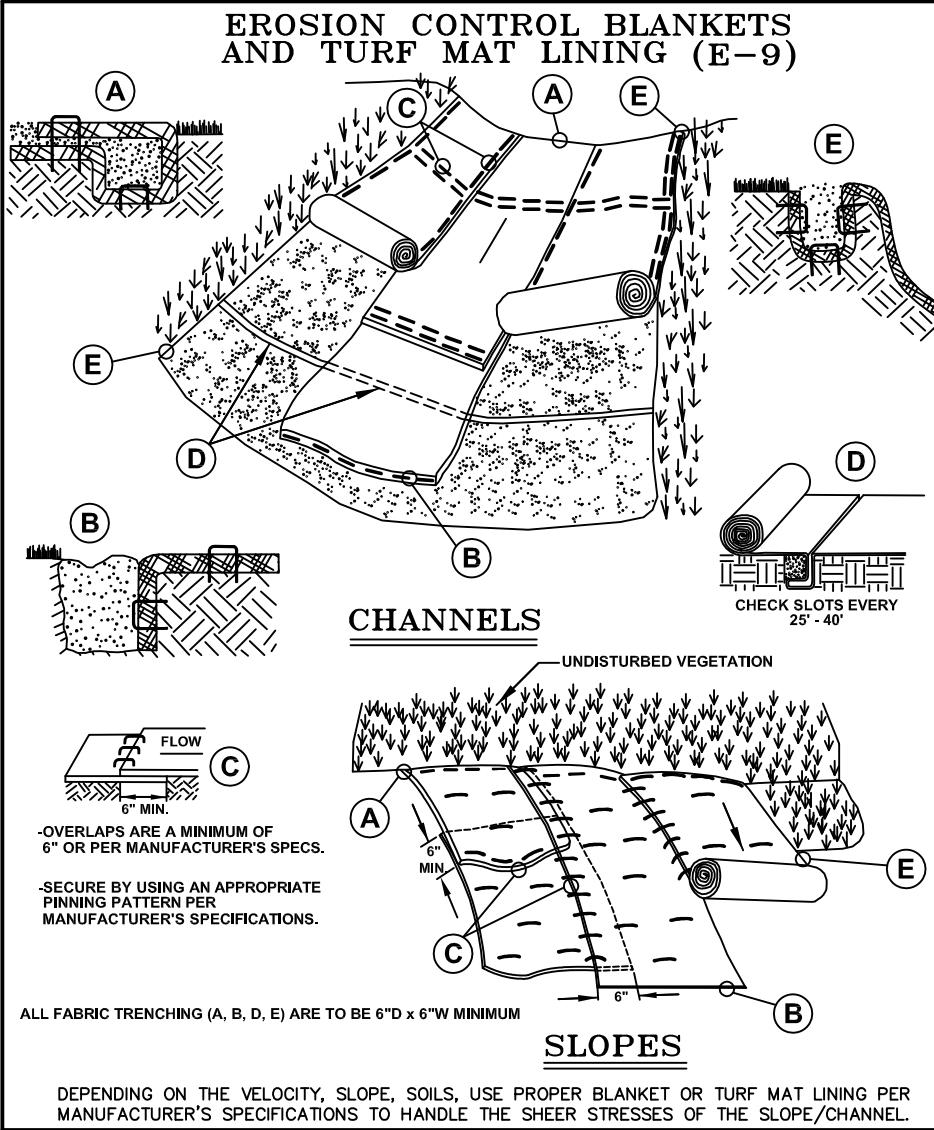


HIGHLAND TOWNSHIP

**HIGHLAND TOWNSHIP  
DESIGN STANDARDS**

**STORM SEWER DETAILS**

HRC JOB NO. 20050368	SCALE NONE
DATE SEPTEMBER 2005	SHEET NO. 2 OF 2



**NOTE:**

WHILE PERFORMING WORK INVOLVING GROUNDS MAINTENANCE AND/OR THE CONSTRUCTION/MAINTENANCE OF ANY INFRASTRUCTURE, INCLUDING ROADS, WATER MAINS, SANITARY SEWERS, STORM DRAINS AND STORM WATER BEST MANAGEMENT PRACTICES (BMPs), CONTRACTORS SHALL MINIMIZE POLLUTION FROM STORM WATER RUNOFF THAT CAN AFFECT WATER QUALITY RELATED TO WORK ACTIVITIES. POLLUTANTS THAT COULD IMPAIR WATER QUALITY MAY INCLUDE FUEL, GREASE AND OIL, NUTRIENTS, BACTERIA AND PATHOGENS, LITTER AND DEBRIS, AND SOIL EROSION AND SEDIMENTATION. APPLICABLE BMPs SHALL BE IMPLEMENTED BY THE CONTRACTOR TO THE MAXIMUM EXTENT PRACTICABLE TO PROTECT WATER QUALITY AND WILDLIFE HABITAT.

### SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

REV.	DATE	DESCRIPTION
1	01/01/01	PROPOSED DETAIL REVISED
2	03/08/01	FOR CONSTRUCTION APPROVAL, NAME CHANGES
3	03/08/01	FOR CONSTRUCTION APPROVAL, NAME CHANGES
4	03/08/01	FOR CONSTRUCTION APPROVAL, NAME CHANGES

ORIG. DATE: 01/01/01

SCALE: NONE

DESIGNED BY: WRC

DRAWN BY: Mapping

**WRC**  
WATER RESOURCES COMMISSIONER

ONE PUBLIC WORKS DRIVE, BLDG 95 WEST WATERFORD MICHIGAN 48320-1907

SHEET NO.: 1 of 1

**GENERAL NOTES:**

Plant material shall be nursery grown and be either balled and bur-lapped or container grown. Sizes and spreads on plant list represent minimum requirements.

The requirements for measurement, branching and ball size shall conform to the latest addition of ANSI Z60.1, AMERICAN STANDARD OF NURSERY STOCK by the American Nursery & Landscape Association.

Any materials with damaged or crooked/disfigured leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump (cl.).

If any mistakes, omissions, or discrepancies are found to exist with the work product, the Landscape Architect shall be promptly notified so that they have the opportunity to take any steps necessary to resolve the issue. Failure to promptly notify the Landscape Architect and the Owner of such conditions shall absolve them from any responsibility for the consequences of such failure.

Under no circumstances should these plans be used for construction purposes without examining actual locations of utilities on site, and reviewing all related documents mentioned herein, including related documents prepared by the project Civil Engineer and Architect.

Civil Engineering or Architectural base information has been provided by others. The location of various site improvements on this set of drawings is only illustrative and should not be relied upon for construction purposes.

Quantity lists are supplied as a convenience. However, Bidders and the Installing Contractor should verify all quantities. The drawings shall take precedence over the lists. Any discrepancies shall be reported to the Landscape Architect.

Actions taken without the knowledge and consent of the Owner and the Landscape Architect or in contradiction to the Owner and the Landscape Architect's work product or recommendations, shall become the responsibility not of the Owner and the Landscape Architect, but for the parties responsible for the taking of such action.

Refer to Civil Engineering documents for detailed information regarding size, location, depth and type of utilities, as well as locations of other site improvements, other than landscape improvements.

Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation.

All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Village, Landscape Architect and Owner.

The Landscape Contractor shall verify location of all underground utilities prior to digging by calling "J.U.L.I.E." (Joint Utility Location for Excavators) 1-800-892-0123 and any other public or private agency necessary for utility location.

All bed lines and tree saucers shall require a hand spaded edge between lawn and mulched areas.

Grading shall provide slopes which are smooth and continuous. Positive drainage shall be provided in all areas.

Sod shall be mineral base only.

All plant material shall be guaranteed for two (2) years from the date of acceptance.

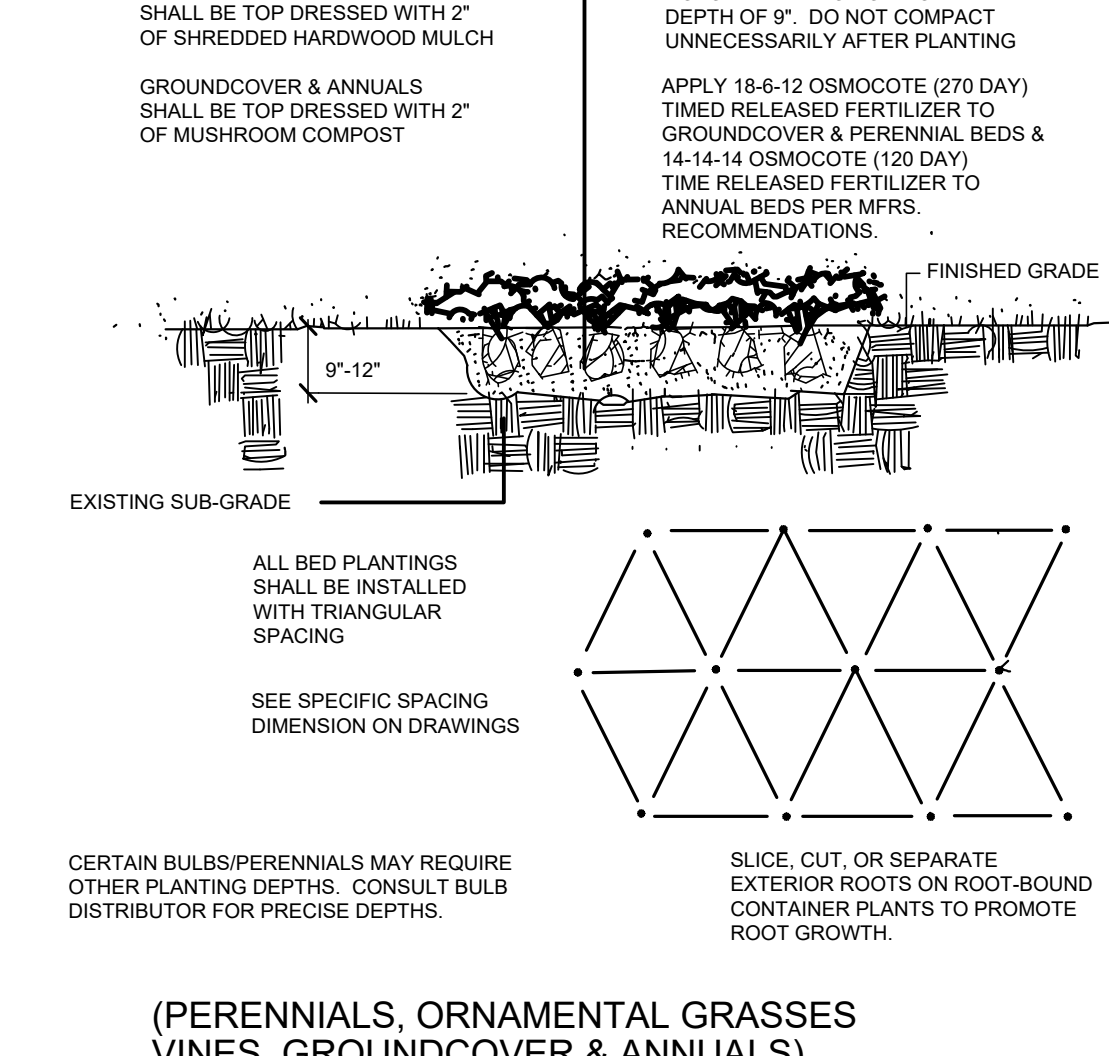
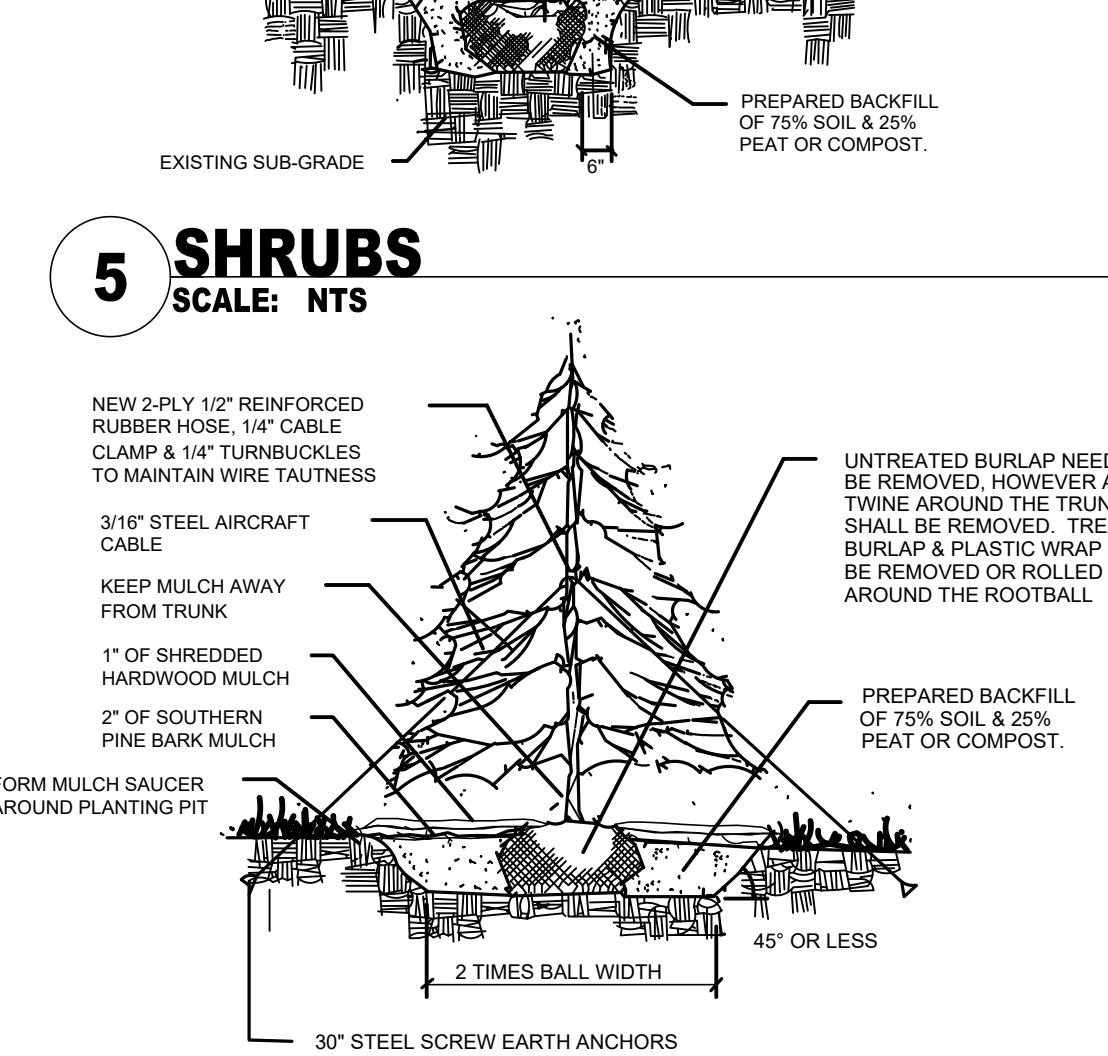
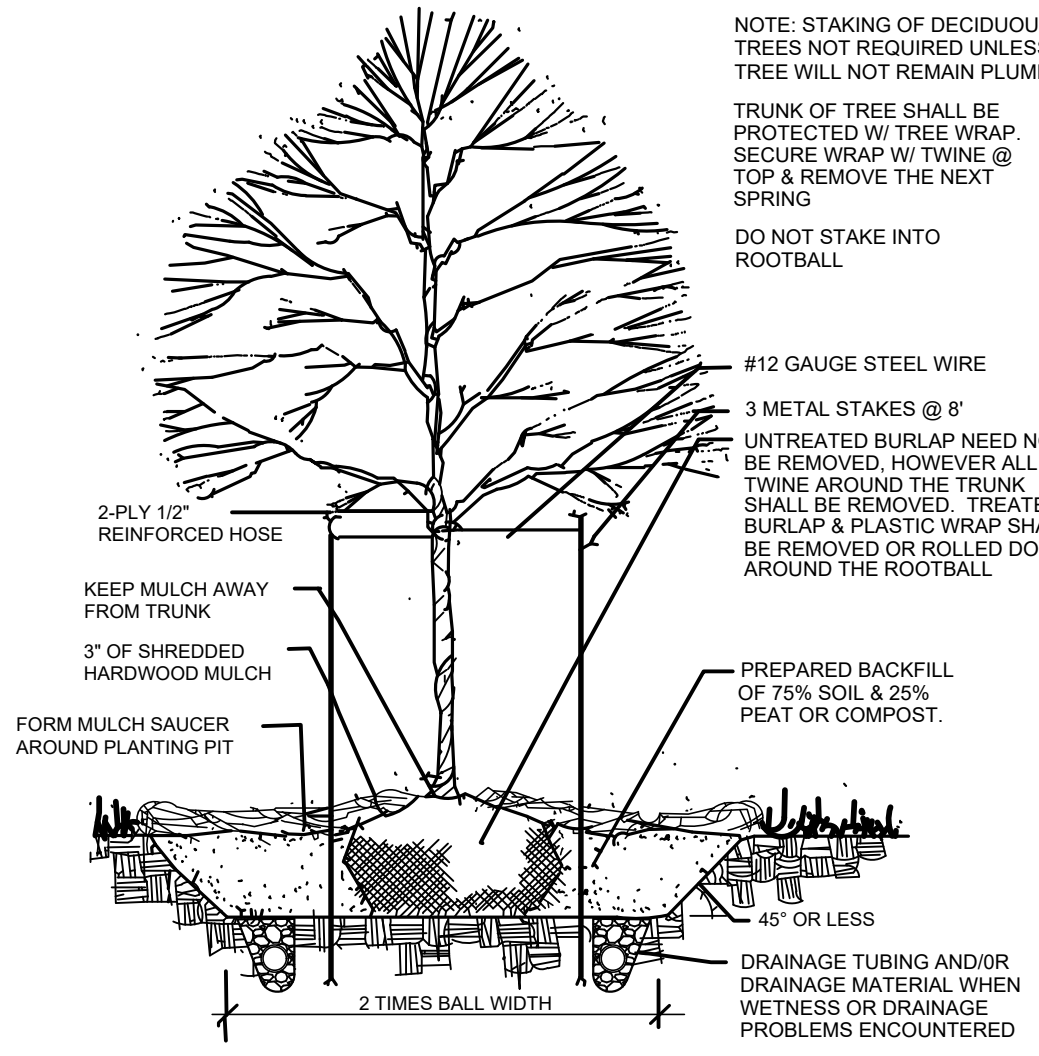
All completed planting beds and tree saucers, except for groundcover beds, shall be mulched with three (3) inches of un-dyed shredded hardwood bark. All groundcover beds shall be mulched with three (3) inches of pine bark fines.

**LANDSCAPING MAINTENANCE:**

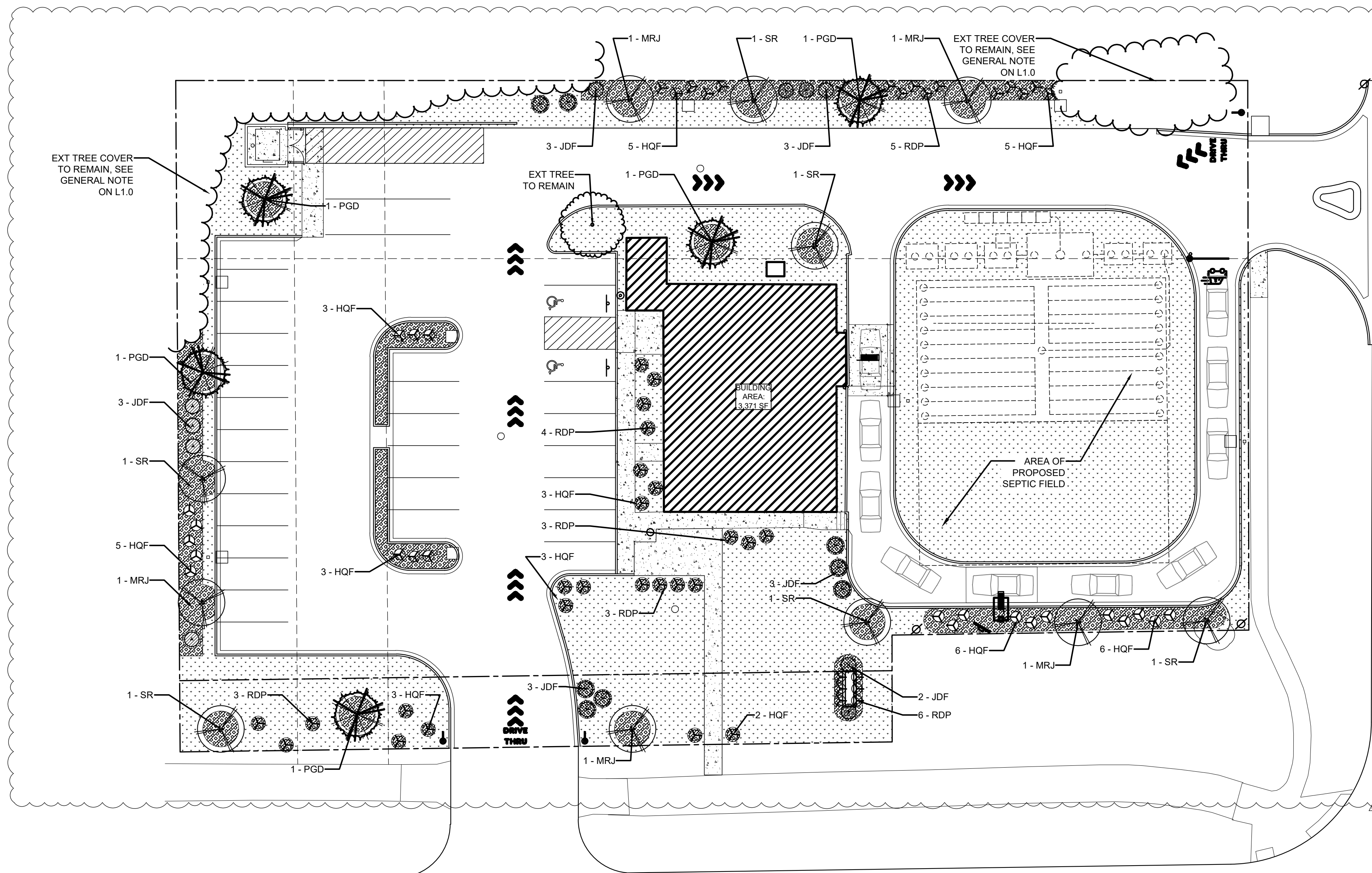
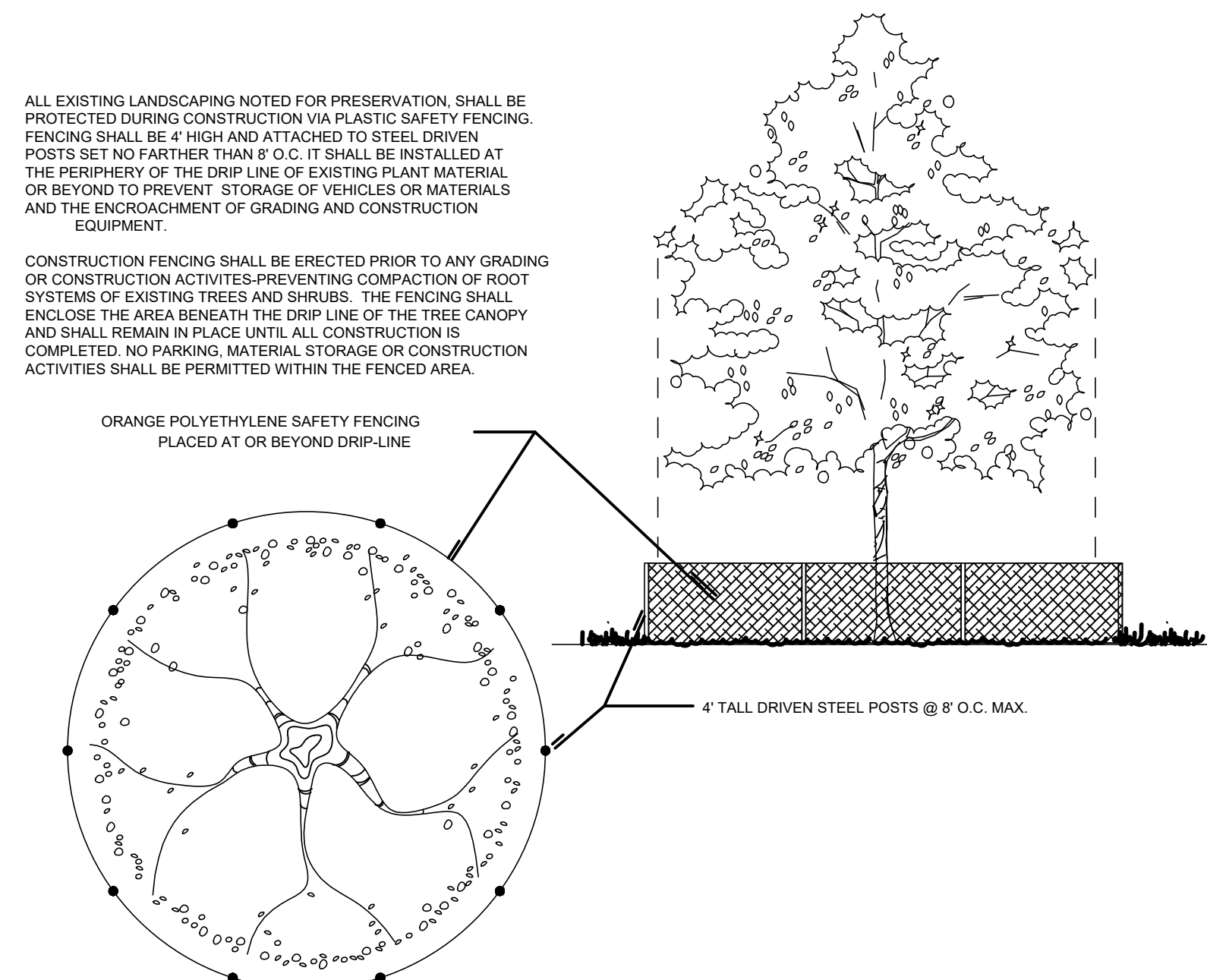
Per Section 12.03.B.6.c, landscaping shall be maintained in a reasonably healthy condition, free from refuse and debris. All unhealthy and dead material shall be replaced within one (1) year of damage or death or the next appropriate planting period, whichever comes first.

**EXISTING TREE COVER GENERAL NOTE:**

In areas noted, existing trees and shrubs are to remain. Selective clearing is to be done, especially of invasive species. If replacement of shrubs is necessary, replacement shrubs are to be of a similar type from the plant list below.



PLANT LIST: JJ & DKN - HIGHLAND, MI				
DECIDUOUS ORNAMENTAL TREES				
KEY	#	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / TYPE
MRJ	5	MALUS 'RED JEWEL'	RED JEWEL CRABAPPLE	1.5' BB
SR	5	SYRINGA RETICULATA	JAP TREE LILAC	
EVERGREEN TREES				
KEY	#	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / TYPE
PGD	5	PICEA G. 'DENSATA'	BLACK HILLS SPRUCE	4' BB
DECIDUOUS SHRUBS				
KEY	#	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / TYPE
HQF	31	HYDRANGEA P. 'SMNHPM'	QUICK FIRE FAB HYD	#5
RDP	33	ROSA 'MELOCOS'	PINK DRIFT ROSE	#3
EVERGREEN SHRUBS				
KEY	#	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / TYPE
JDF	28	JUNIPERUS C. 'KALLAY'S COMPACT'	KALLAY'S COMPACT JUNIPER	#5
GROUNDCOVER				
SOD				
MULCH**				
SIZE OF BEDDED AND MUCH AREAS FOR EACH PLANTING TO BE DETERMINED BASED ON DETAILS 3-6 ON L1.0.				



BRAND PARTNER / CLIENT: OM GROUP  
 BRAND COORDINATORS: JIMMY JOHN'S, DUNKIN'  
 MEP ENGINEER:  
 DEVELOPER:  
 ARCHITECT:  
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EXP: 05/24/2026 SIGNED: 03/12/2025

PROJECT: **HIGHLAND RESTAURANTS**  
**JIMMY JOHN'S & DUNKIN'**  
 140 HIGHLAND RD  
 HIGHLAND CHARTER TOWNSHIP, MI 48357  
 DUNKIN' PC # 365060

DRAWING ISSUE	DATE
FOR PERMIT	03/12/2025
TWP COMMENTS	06/17/2025
PHOTOMETRICS UPDATE	07/25/2025
SITE PLAN COMMENTS	08/08/2025
SITE PLAN COMMENTS	10/24/2025
SITE PLAN UPDATE	01/28/2026
LANDSCAPE UPDATE	05/11/2026

DRAWN BY: KR, VV  
 CHECKED BY:  
 SHEET TITLE: **LANDSCAPE SITE PLAN**  
 SHEET NO.: **L1.0**  
 Kolbrook Job No. 1502.166 (JIMMY JOHN'S), 1502.147 (DUNKIN')



