



MEMORANDUM

To: Zoning Board of Appeals
From: Kariline P. Littlebear, Zoning Administrator
Date: May 21, 2025
Re: ZBA25-10
3569 Woodland Dr
11-12-407-014
Applicant: Black Wolf Custom Builders – Brian Slating
Owner: Thomas Cullen

The subject parcel is zoned LV – Lake and Village Single-Family Residential District. The total parcel size is approximately 0.336 acres with approximately 0.234 acres of land not underwater (~10,200 sq ft).

The required setbacks for this parcel are as follows:

Front yard (from property line not road edge): 34 ft

Ordinary High-water mark: 37 ft

Side yards: 10 ft minimum for the smallest side yard with a total of 30 ft minimum when both side yards are added together.

This variance request is for a 19-foot variance from the calculated 34-foot front yard setback to 15-feet provided for the construction of a covered front porch, a 16-foot variance from the calculated 34-foot front yard setback to 18-feet provided for the renovation of the existing residence and for the construction of a second story addition, and a 15-foot 6-inch variance from the calculated 37-foot ordinary high-water mark setback to 21-feet 6-inches provided for the renovation of the existing residence and for the construction of a second story addition and rear deck. This request is for a variance from Section 9.02.B.a. and 9.02.D. of the Zoning Ordinance.

For the variance request, the applicant has provided a scaled site plan, construction drawings, and well and septic information. Staff has supplied assessing records, a zoning map, aerial approximations of the property, and Section 9.02. of the Zoning Ordinance.

Case #

25-10

Hearing Date

5/21/25

CHARTER TOWNSHIP OF HIGHLAND ZONING BOARD OF APPEALS
APPLICATION FOR APPEAL

APPLICANT

NAME: Black Wolf Custom Builders
ADDRESS: 12240 Dentonview
Fenton MI 48430
PHONE: 248.600.9358
EMAIL: blackwolfbuilders@gmail.com

OWNER

NAME: Thomas Cullen
ADDRESS: 408 Stone Wood Ct
Milford MI 48381
PHONE: 248.249.0654
EMAIL: _____

PROPERTY ADDRESS: 3569 Woodland Dr.ZONING: LV PROPERTY TAX ID NO: 11-12-407-014ORDINANCE SECTIONS BEING APPEALED: 9.02.B.a., 9.02.D.

VARIANCES REQUESTED: 19' Variance From 34' Front to 15' For Front porch,
16' Variance From 34' Front to 18' For reno and 2nd story,
15' 6" Variance From 37' high-water to 21' 6" provided for the
reno, second story, and rear deck

DESCRIBE THE NATURE OF YOUR PRACTICAL DIFFICULTY: adding an addition - 2nd story
only - Current home already outside of current ordinances. Due
to topography, water table being canal front & engineered septic
in place and when current home was constructed being before
ordinance changes

I certify that all required information is shown on the attached plan and included on this form. I acknowledge that by signing this application, I am granting the right of the Zoning Board of appeals members, inspectors and administrators to conduct a site inspection of the subject property. All statements are true to the best of my knowledge.

SIGNATURE OF OWNER: Jennifer Cullen DATE: 4/11/25SIGNATURE OF APPLICANT: B. Stalig DATE: 4-11-25

Signature of applicant must be notarized.

Subscribed and sworn to before me this

11 day of April, 2025Wendy Maertens Notary PublicMy Commission expires 11/30/2029

Wendy Maertens

NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF GENESEE

My Commission Expires 11/30/2029

Acting in the County of OaklandAPPLICATION FEE: 275.00Receipt# 1062391 Date Paid 4/11/25Received by [Signature]

Form revised 12/21/2015

S:\Planning Department New Folder\Zoning Board of
Appeals\forms\ZBA Application form

CHARTER TOWNSHIP OF HIGHLAND
ZONING BOARD OF APPEALS
WORKSHEET

The worksheet is designed to help you understand the appeal process and to help you submit a complete application for review by the Zoning Board of Appeals. If you have any questions after reading this worksheet you may contact the Planning and Zoning Department for assistance.

HAVE YOU MET ALL OF THE FOLLOWING CRITERIA?

- 1) Do the characteristics of the property include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation or other similar characteristics? If so, please describe here.

Yes, lot is exceptionally shallow, part of which is submerged
under water by the canal. Engineered septic field done in 2009
takes up the west portion of lot.

- 2) Can the project be redesigned to meet the zoning requirements without the need for a variance?

No. Original home ~~is~~ was built prior to current
set backs/requirements, therefore is already against
current variance requirements. Addition requested
will be a second story, not expanding outward.

- 3) Is the reason for a variance request of a personal nature? (for example: financial impact, physical and/or mental characteristics of the household members, inconvenience, etc.)

No.

- 4) Has the difficulty been created by the current or previous owner?

No.

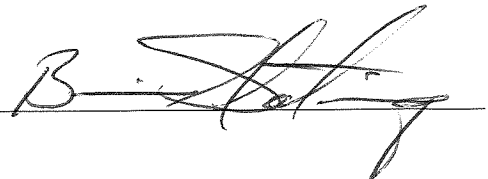
- 5) Will the proposed variance be harmful to or alter the essential character of the area in which the property is located?

No.

- 6) Will the proposed variance be the minimum necessary?

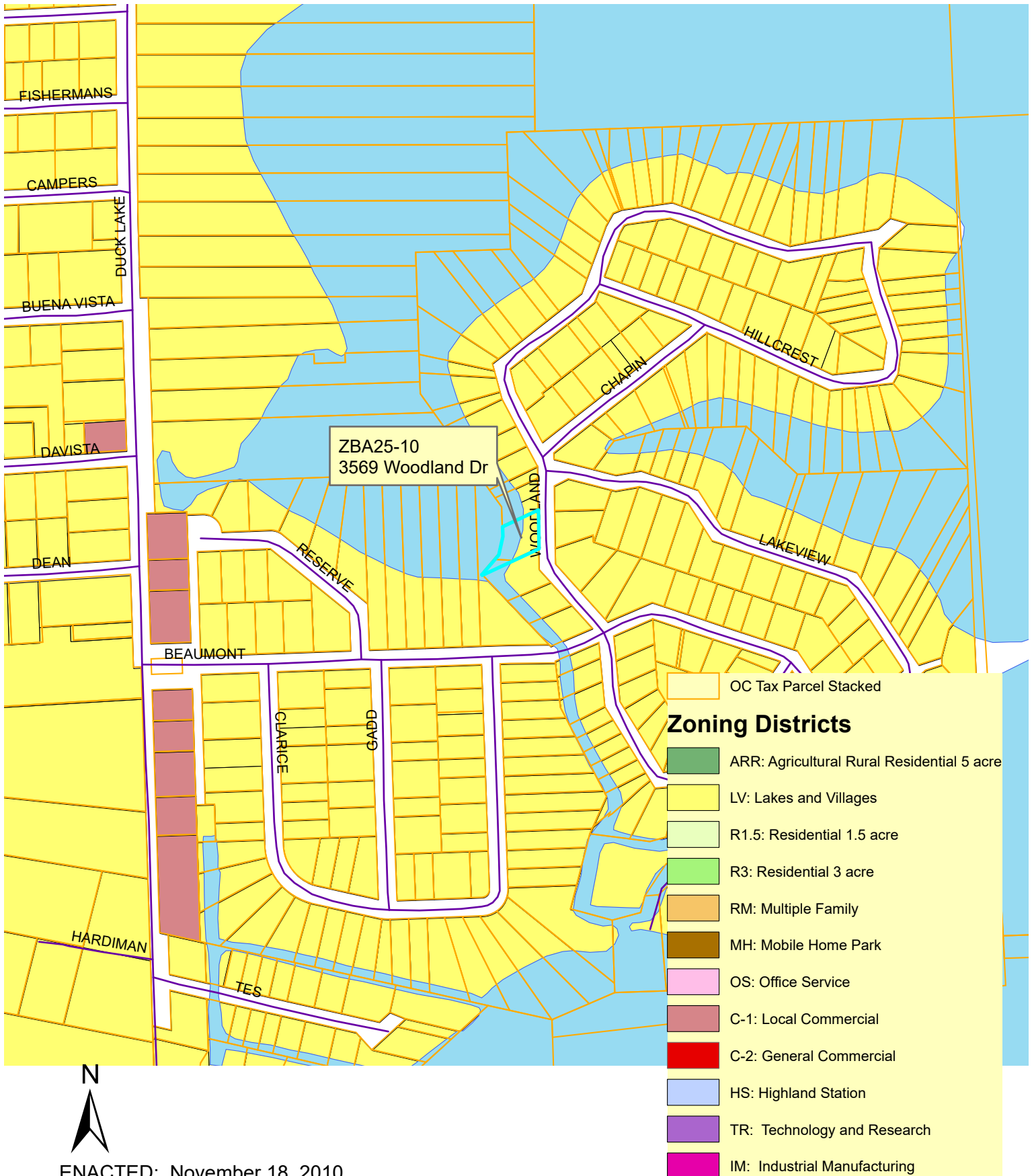
Yes.

Signature

A handwritten signature in black ink, appearing to be "B. Stelling", written over a horizontal line.

CHARTER TOWNSHIP OF HIGHLAND

ZONING MAP



SUPERVISOR'S PLAT NO 6 (HIGHLAND)

11-12-401-001

11-12-401-002

11-12-401-003

11-12-401-004

11-12-401-005

11-12-401-006

11-12-401-007

11-12-404-003

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11-12-406-003

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11-12-407-014

11-12-407-015

11-12-428-001

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11-12-428-008

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11-12-432-020

11-12-456-001

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11-12-478-175

11-12



OAKLAND
COUNTY MICHIGAN
Economic Development & Community Affairs



1 inch = 200 feet

3569 Woodland Dr aerial no prop lines



- 2 Foot Contours
- 5 Foot Contours
- FEMA Base Flood Elevations
- FEMA Cross Sections
- 100 yr - FEMA Floodplain
- 100 yr (detailed) - FEMA Floodplain
- 500 yr - FEMA Floodplain
- FLOODWAY - FEMA Floodplain

Disclaimer: The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise. FEMA Floodplain data may not always be present on the map.



David Coulter
Oakland County Executive

Date Created: 4/15/2025
 NORTH
1 inch = 100 feet

3569 Woodland Dr



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- 5 Foot Contours
- FEMA Base Flood Elevations
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Oakland County Executive

Date Created: 3/3/2025

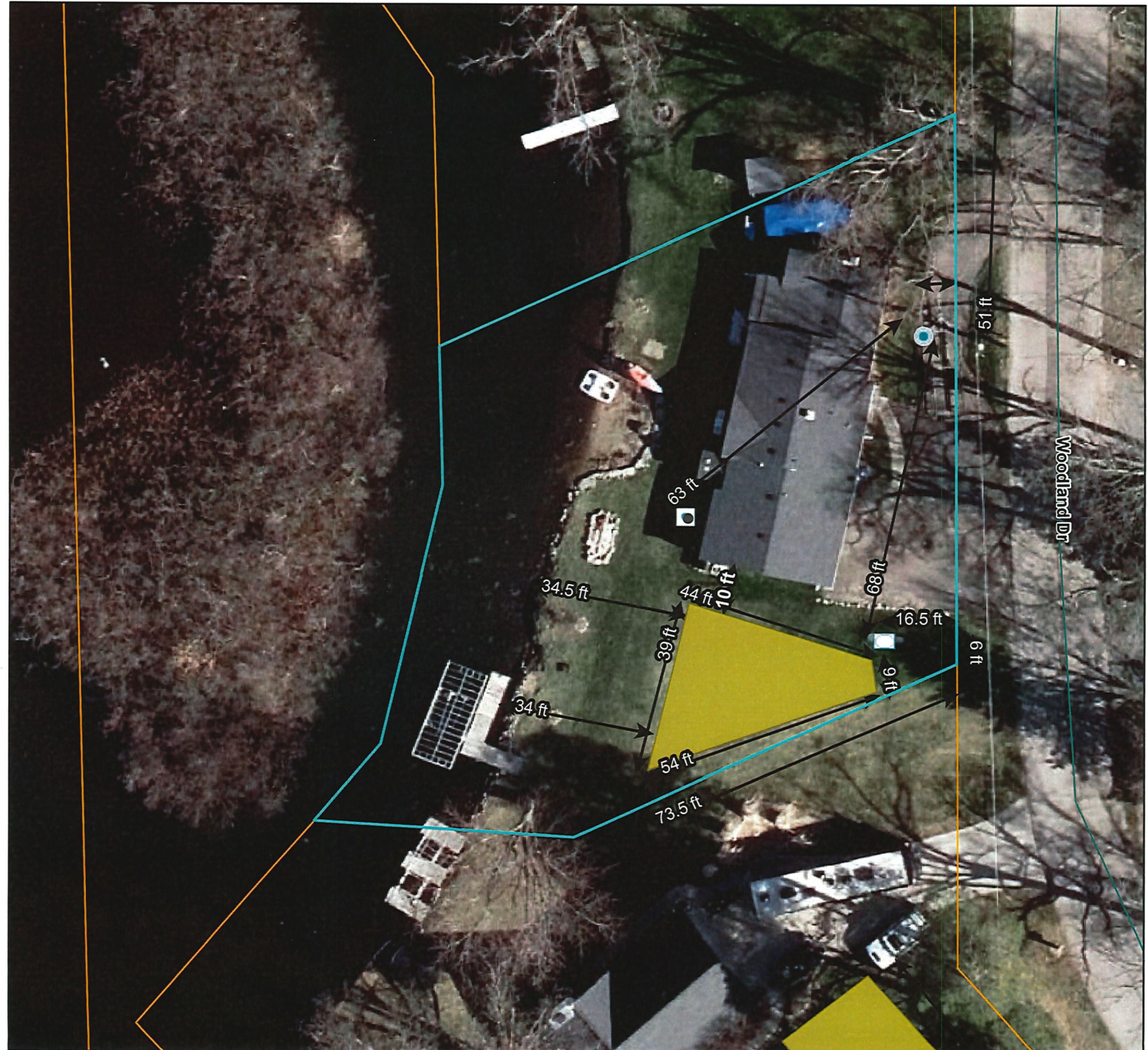


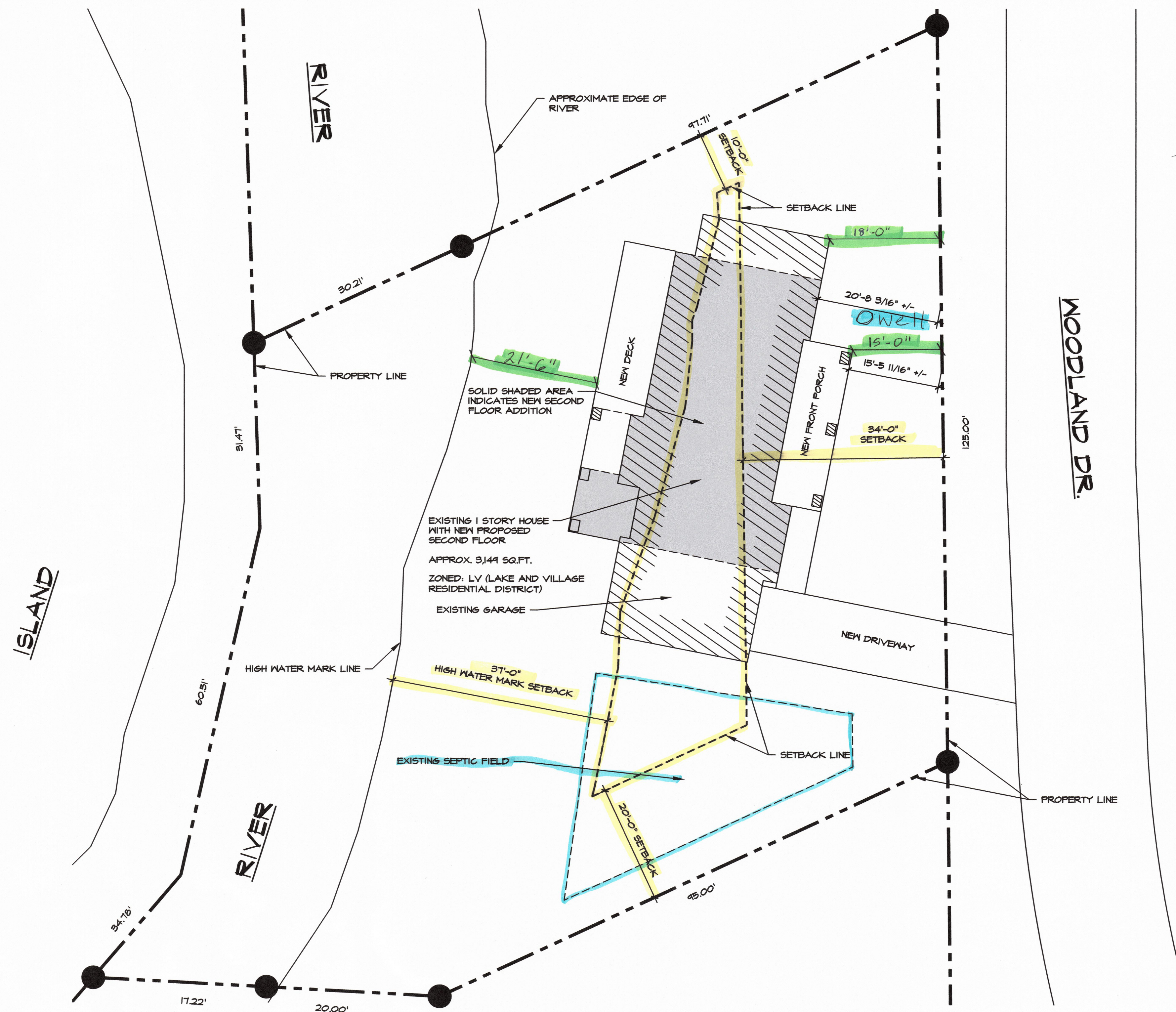
1 inch = 50 feet

Final Sketch PIN 11-12-407-014

Legend

- GPS Well
- GPS Septic Tanks
 - Septic Lid
 - Alternative Treatment Unit
 - GPS Septic Field
- Dimension Line - Applicant
- Dimension Line - Final
- OC Tax Parcel





SITE PLAN
3/32" = 1'-0"
NORTH

Legend

- Building Envelope/Setbacks
- Variance Requests
- Well & Septic



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Seal	
Project: CULLEN RESIDENCE	
Drawing Title: SITE PLAN	
Project Number: 24-208	
Drawn:	KJM
Checked:	DJS
Scale:	3/32" = 1'-0"
Dwg:	CULLEN RESIDENCE
Issued for:	Date By
OWNER REVIEW	3-20-25 DJS
OWNER REVIEW	4-14-25 DJS
OWNER REVIEW	4-21-25 DJS
Sheet Number: SITE	
of 1	

3596 WOODLAND DR.
HIGHLAND CHARTER TWP. MI 48356

CULLEN RESIDENCE

3596 WOODLAND DR.
HIGHLAND CHARTER TWP. MI 48356

DRAWING INDEX

G-001	COVER SHEET
G-002	FOUNDATION AND WALL CONSTRUCTION CODE REQUIREMENTS
G-003	ROOF FRAMING CODE REQUIREMENTS
G-004	ROOF, ADHERED MASONRY VENEER, ACCESS HATCHES AND DOOR CODE REQUIREMENTS
A-101	FOUNDATION PLAN
A-102	FIRST FLOOR - FLOOR PLAN, FIRST FLOOR - FLOOR FRAMING PLAN
A-103	SECOND FLOOR - FLOOR PLAN SECOND FLOOR - FLOOR FRAMING PLAN
A-104	FIRST FLOOR - ROOF FRAMING PLAN SECOND FLOOR - ROOF FRAMING PLAN
A-105	ROOF PLAN
A-201	ELEVATIONS
A-202	ELEVATIONS
A-301	BUILDING SECTIONS
A-401	WALL SECTIONS

CULLEN RESIDENCE RENDERINGS



GENERAL CONSTRUCTION LEGEND	
INTERIOR	INTERIOR WALLS ARE 2X4 WOOD STUDS AT 16" O.C. WITH 1/2" GYPSUM BOARD EACH SIDE.
EXTERIOR	EXTERIOR WALLS ARE EXISTING 2X4 STUD WALL BEING PACKED OUT NEW 2X 1/2" STUD CAVITY FOR NEW R-21 MIN. BATT. INSULATION. EXTERIOR SIDE OF STUDS TO HAVE 1/16" EXTERIOR SHEATHING, WEATHER BARRIER AND FINISHED SIDING. ON THE INTERIOR SIDE OF STUDS TO HAVE 1/2" GYPSUM BOARD.
GARAGE	EXTERIOR WALLS ARE EXISTING 2X4 STUD WALL BEING PACKED OUT NEW 2X 1/2" STUD CAVITY FOR NEW R-21 MIN. BATT. INSULATION. EXTERIOR SIDE OF STUDS TO HAVE 1/16" EXTERIOR SHEATHING, WEATHER BARRIER AND FINISHED SIDING. ON THE INTERIOR SIDE OF STUDS TO HAVE 1/2" GYPSUM BOARD.
INTERIOR BEARING WALL	INTERIOR BEARING WALL ARE 2X6 WOOD STUDS AT 16" O.C. WITH 1/2" GYPSUM BOARD EACH SIDE.
ARCHITECT	
DS ARCHITECTS, INC. ATTN: DEREK SLUPKA 1300 DIXIE HWY, SUITE 600 CLARKSTON, MI 48346 PHONE: 1-248-605-2030 FAX: 1-248-605-2030 CELL: 1-248-910-3844 EMAIL: DEREK@DSARCHITECTS.COM	
CONTRACTOR	
BLACK WOLF CUSTOM BUILDERS ATTN: BRIAN SLATING HIGHLAND, MI CELL: 1-248-600-4358 EMAIL: BLACKWOLFBUILDERS@GMAIL.COM	
OWNER	
JENNY CULLEN 3596 WOODLAND RD. HIGHLAND CHARTER TWP. MI 48356	
SQUARE FOOTAGE	
FIRST FLOOR = 1,328 S.F. GARAGE = 345 S.F. SECOND FLOOR = 1,426 S.F. TOTAL S.F. = 3,149 S.F.	

CODE INFORMATION AND DESIGN LOADS	
BUILDING CODE: 2015 MICHIGAN RESIDENTIAL CODE	
FLOOR LOADS LIVING AREAS DEAD LOAD: 20 PSF LIVE LOAD: 40 PSF SLEEPING AREAS DEAD LOAD: 20 PSF LIVE LOAD: 30 PSF	ROOF LOADS DEAD LOAD: 20 PSF SNOW LOAD: 25 PSF WIND LOADS: 3 SECONDS GUST WIND SPEED 115 MPH EXPOSURE= D

FOUNDATION NOTES	
1. THE MINIMUM ALLOWABLE SOIL BEARING VALUE IS 2500 PSI FOR FOOTINGS. 2. THE MINIMUM FROST LINE DEPTH IS 42" DEPTH. VERIFY ALL LOCAL REQUIREMENTS. 3. BACKFILL SHALL BE COMPLETED WITH CLEAN FILL FREE OF DEBRIS, ORGANIC MATTER AND FROZEN GROUND. 4. FINAL GRADE SHALL BE MINIMUM 8" BELOW FINISHED SIDING WITH A 6" FALL WITHIN THE FIRST 10' FROM THE FOUNDATION OR 5%, 2% MINIMUM SLOPE WHEN GREATER THAN 10' FROM FOUNDATION. 5. TREATED LUMBER TO BE USED FOR ALL WOOD IN CONTACT WITH CONCRETE INCLUDING MIDSILL. 6. VERIFY AND PROVIDE REQUIRED SLEEVES FOR MECHANICAL, ELECTRICAL AND PLUMBING.	
CONCRETE NOTES	
1. ALL CONCRETE SHALL BE DESIGNED AND TESTED AS OUTLINED IN THE ACI SPECIFICATIONS. 2. ALL FOOTING CONCRETE, MIN. 3,000 PSI COMP. STRENGTH AT 28 DAYS. 6" MAX. SLUMP, AGGREGATE - 1 1/2" MINUS. NOT LESS THAN 3/4". 3. ALL SLAB CONCRETE, MIN. 3,000 PSI COMP. STRENGTH AT 28 DAYS. 6" MAX. SLUMP, AGGREGATE - 3/4" MINUS, 5% AIR ENTRAINING ON ALL GARAGE FLOORS, STOOPS AND SIDEWALKS. 4. ALL WALL CONCRETE, MIN. 3,000 PSI COMP. STRENGTH AT 28 DAYS. 6" MAX. SLUMP, AGGREGATE - 3/4" MINUS, 5% AIR ENTRAINING ON ALL WALLS. 5. MAINTAIN SUBGRADE AND FILL MOISTURE CONTENT UNTIL FOUNDATIONS ARE PLACED. 6. DO NOT PLACE FOOTINGS OR SLABS AGAINST SUBGRADE CONTAINING FREE WATER, FROST OR ICE. 7. MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION TO ENSURE SURFACE RUNOFF AWAY FROM STRUCTURES AND TO PREVENT PONDING F SURFACE RUNOFF NEAR THE STRUCTURES. 8. MAINTAIN THE FOLLOWING CONCRETE COVERAGE FOR REINFORCING STEEL UNLESS OTHERWISE NOTED: 8.1. CONCRETE CAST AGAINST EARTH: 3 INCHES 8.2. CONCRETE EXPOSED TO WEATHER NO. 6 AND LARGER: 2 INCHES NO. 5 AND SMALLER: 1 1/2 INCHES 8.3. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND: SLABS AND WALLS NO. 14 AND NO. 18: 1 1/2 INCHES NO. 11 AND SMALLER: 3/4 INCHES 9. CONCRETE SHALL HAVE THE INDICATED VALUES MINIMUM: FOOTINGS 3,000 PSI FOUNDATION WALLS 3,000 PSI FLOOR SLABS 3,000 PS	
LUMBER NOTES	
1. LATERAL SUPPORT OF BEAMS IS REQUIRED AT BEARING LOCATIONS. 2. ALL FLOOR JOISTS AND FLOOR TRUSSES SHALL ALIGN OVER WALL STUD. 3. ALL LVLS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. 4. ALL PARALLAM COLUMNS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. 5. SEE LVL MANUFACTURER'S REQUIREMENTS FOR MULTIPLE FLY LVLS FASTENERS. 6. SEE CONNECTOR MANUFACTURER'S REQUIREMENTS FOR SIZE AND NUMBER OF FASTENERS. 7. ALL STUDS SHALL BE DOUGLAS FIR LARCH #3 OR BETTER. 8. ALL JOISTS HANGERS BY SIMPSON STRONG-TIE OR EQUAL. 9. LAMINATED VENEER LUMBER SHALL PROVIDE VALUES EQUAL TO OR EXCEEDING THE FOLLOWING: Fb = 2600 PSI, Fv = 285 PSI, E= 1,800,000 PSI	
STAIR / HANDRAIL NOTES	
1. STAIRS: 8 1/4" MAX. RISER, 9" MIN. TREAD W / 1" MIN. NOSING. 2. HANDRAIL GRIP SIZE: HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A MAXIMUM CROSS SECTION DIMENSION OF 2 1/4". 3. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.	
MISC. NOTES	
1. PROVIDE THE FOLLOW MINIMUM INSULATION R VALUES 1.1. ROOF: R-38 1.2. WALLS: R-21 1.3. CRAWL SPACE WALLS: R-13 PLUS R-5 MIN. RIGID 1.4. CONCRETE SLAB: R-10 FOR 2" DEPTH 1.5. PENESTRATION U-FACTORS: 0.32 OR LOWER 2. ALL INTERIOR PREHUNG DOORS TO BE OFFSET 3" FROM INSIDE OF CORNERS OF A ROOM TO START OF DOOR OPENING UNLESS OTHERWISE NOTED BY DIMENSIONS. 3. HOUSEWRAP TO BE USED AS EXTERIOR WIND WALL BARRIER AND SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE RAFTER OR TRUSS TOP CHORD. ALL SEAMS MUST BE SEALED. ALL EXTERIOR WALL SHEATHING PENETRATIONS MUST BE SEALED. 4. ALL INTERIOR AND EXTERIOR PREHUNG DOORS TO BE 6'-8" A.F.F., UNLESS OTHERWISE NOTED. 5. ALL WINDOW AND DOOR HEADERS TO BE (2) 2X6 HEADERS, UNLESS NOTED OTHERWISE.	

ARCHITECTS
DS
INC

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Seal

Project
CULLEN RESIDENCE
3596 WOODLAND DR.
HIGHLAND CHARTER TWP. MI 48356

Drawing Title
COVER SHEET

Project Number
24-208

Drawn KJM

Checked DJS

Scale N/A

Dwg. CULLEN RESIDENCE

Issued for Date By
OWNER REVIEW 2-11-25 DJS
PERMIT 2-18-25 DJS
PERMIT 3-11-25 DJS

Sheet Number
G-001
of
13



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Seal

Project **CULLEN RESIDENCE**

3596 WOODLAND DR.
HIGHLAND CHAPTER TWP. MI 48356

Drawing Title

ELEVATIONS

Project Number

24-208

Drawn

KJM

Checked

DJS

Scale

1/4" = 1'-0"

Dwg.

CULLEN RESIDENCE

Issued for

Date

By

OWNER REVIEW

2-11-25 DJS

PERMIT

2-18-25 DJS

PERMIT

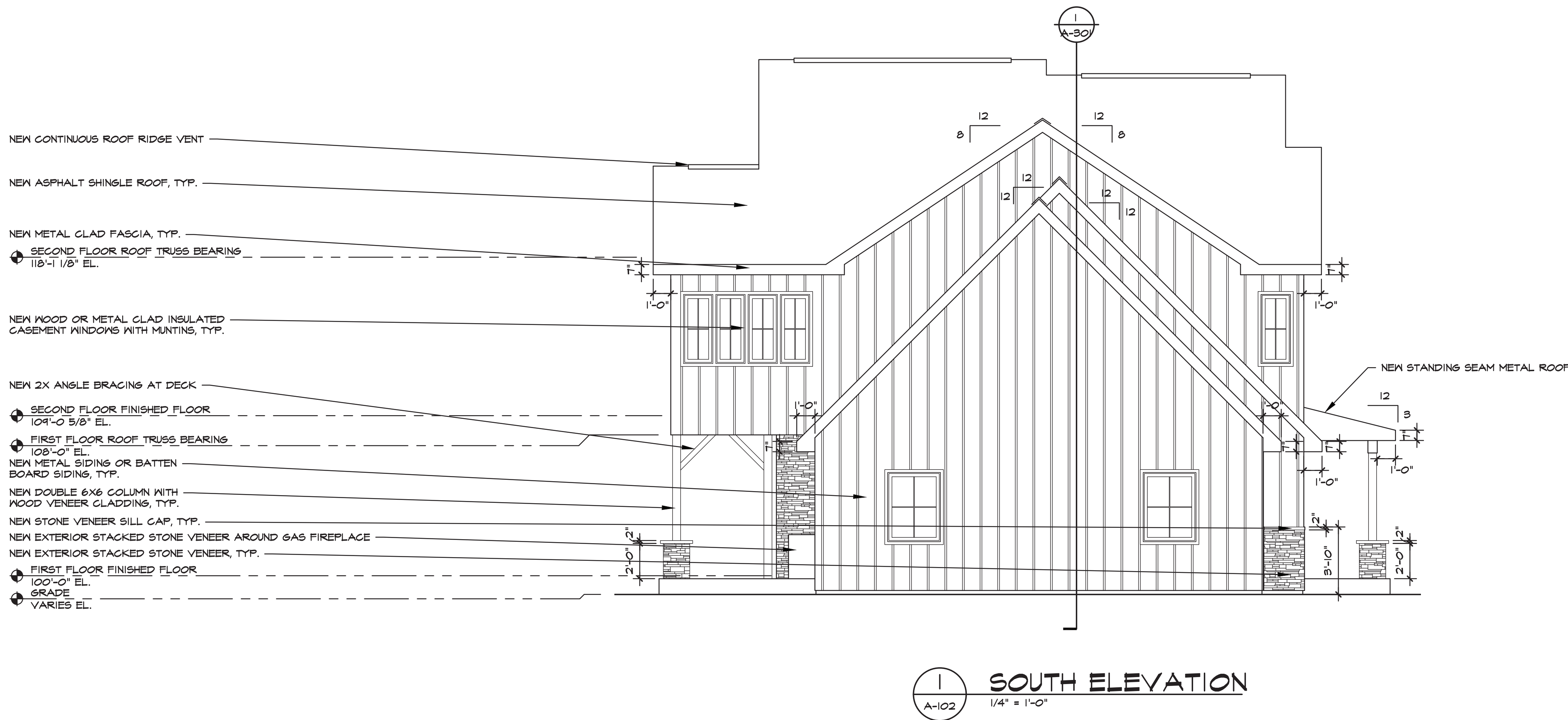
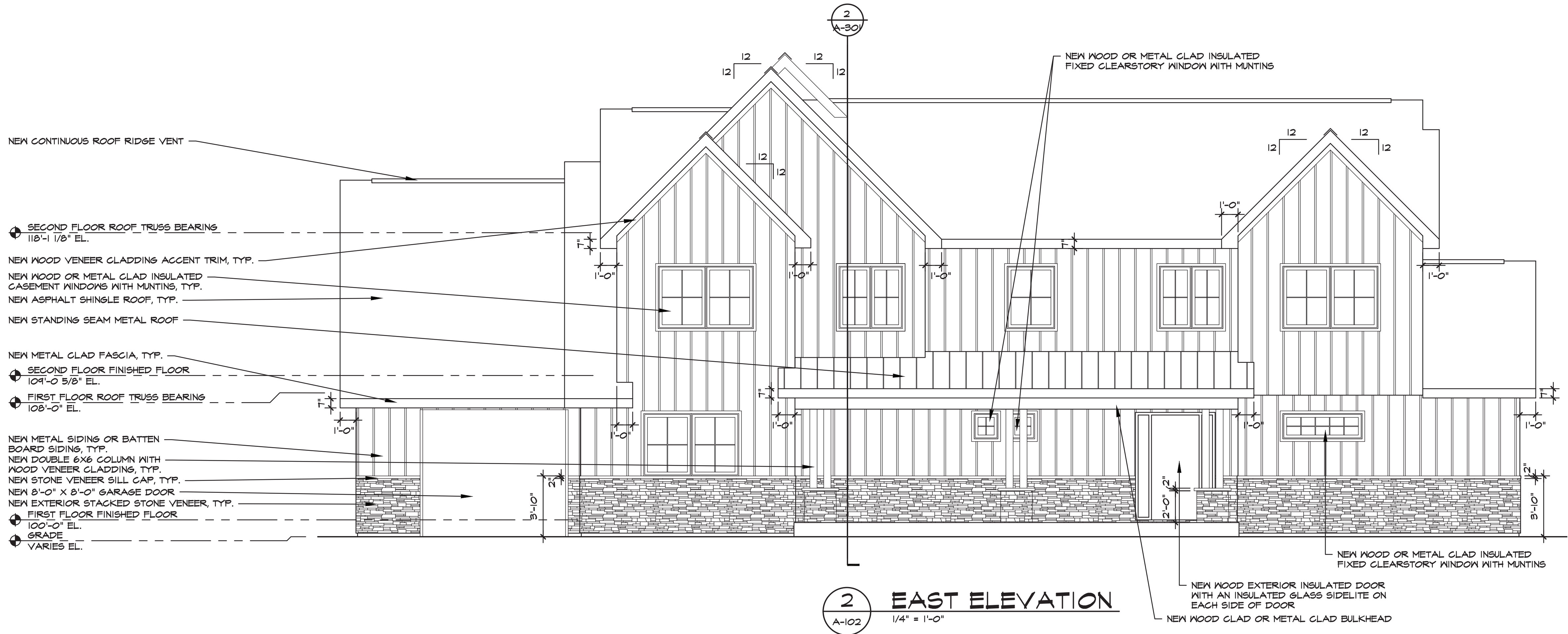
3-11-25 DJS

Sheet Number

A-201

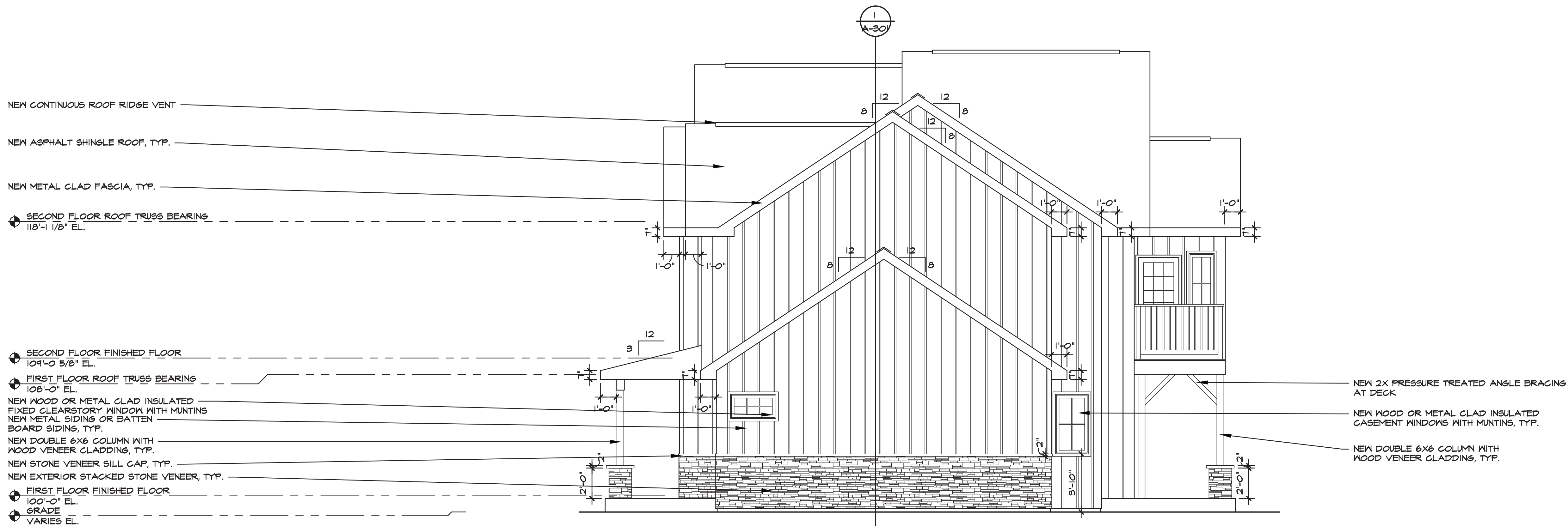
of

13





2 WEST ELEVATION
A-102 1/4" = 1'-0"



1 NORTH ELEVATION
A-102 1/4" = 1'-0"



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Sheet Number
A-202
of
13



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Seal

CULLEN RESIDENCE

3596 WOODLAND DR.
HIGHLAND CHARTER TWP, MI 48356

Drawing Title

FIRST FLOOR - FLOOR PLAN
FIRST FLOOR - FLOOR
FRAMING PLAN

Project Number

24-208

Drawn

KJM

Checked

DJS

Scale

1/4" = 1'-0"

Dwg.

CULLEN RESIDENCE

Issued for

Date

By

OWNER REVIEW	2-11-25	DJS
PERMIT	2-18-25	DJS
PERMIT	3-11-25	DJS

Sheet Number

A-102

of

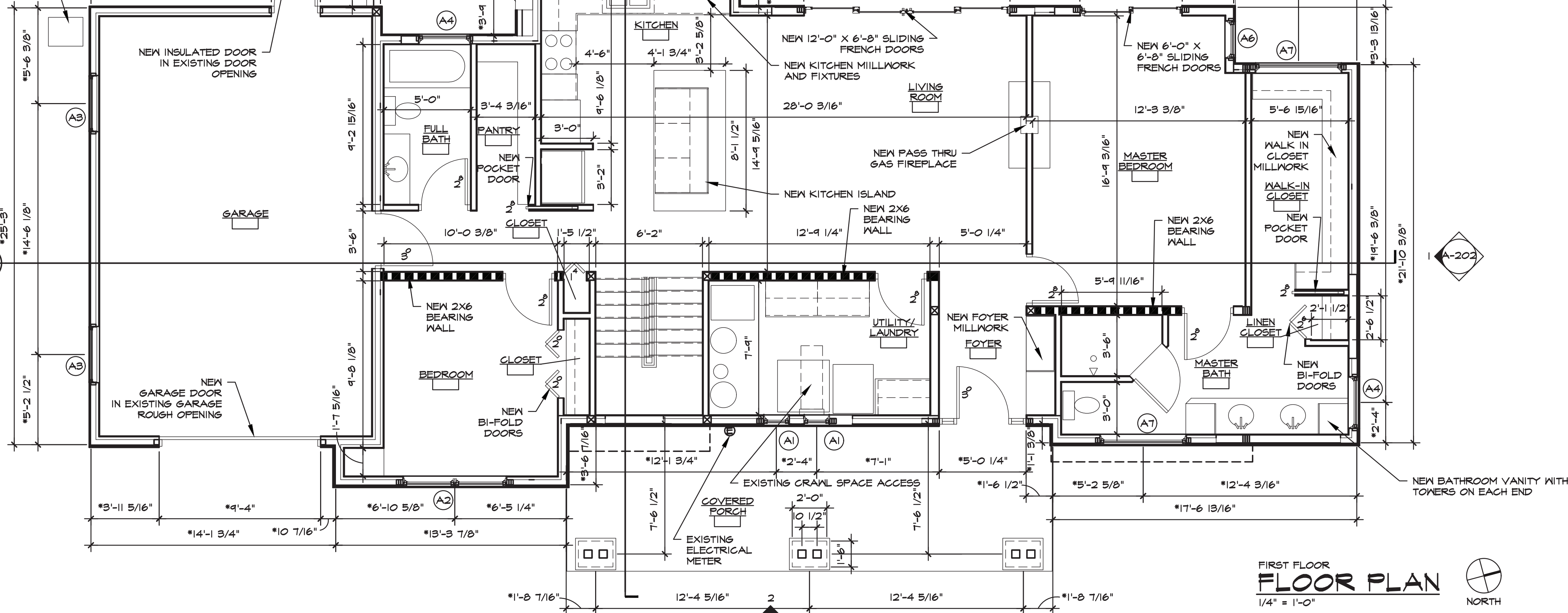
13

WINDOW SCHEDULE					
MARK	TYPE	CONSTRUCTION	R.O. SIZE	EGRESS	NOTES
FIRST FLOOR					
A1	PICTURE	WOOD	1'-7" X 1'-7 5/8"		
A2	(2) CASEMENT	WOOD	6'-2" X 3'-11 5/8"	EGRESS	
A3	CASEMENT	WOOD	3'-1" X 3'-11 5/8"		
A4	PICTURE	WOOD	3'-1" X 1'-7 5/8"		
A5	(2) CASEMENT	WOOD	4'-10" X 3'-3 5/8"		
A6	CASEMENT	WOOD	2'-1" X 3'-11 5/8"		
A7	PICTURE	WOOD	5'-1" X 1'-7 5/8"		
A8	CASEMENT	WOOD	1'-7" X 3'-11 5/8"		
A9	CASEMENT	WOOD	1'-9" X 3'-11 5/8"		
A10	(3) CASEMENT	WOOD	4'-3" X 3'-11 5/8"	EGRESS	
A11	(2) CASEMENT	WOOD	4'-2" X 3'-3 5/8"		

EXISTING AIR CONDENSER
UNIT ON CONCRETE PAD



1
A-30



FIRST FLOOR
FLOOR PLAN

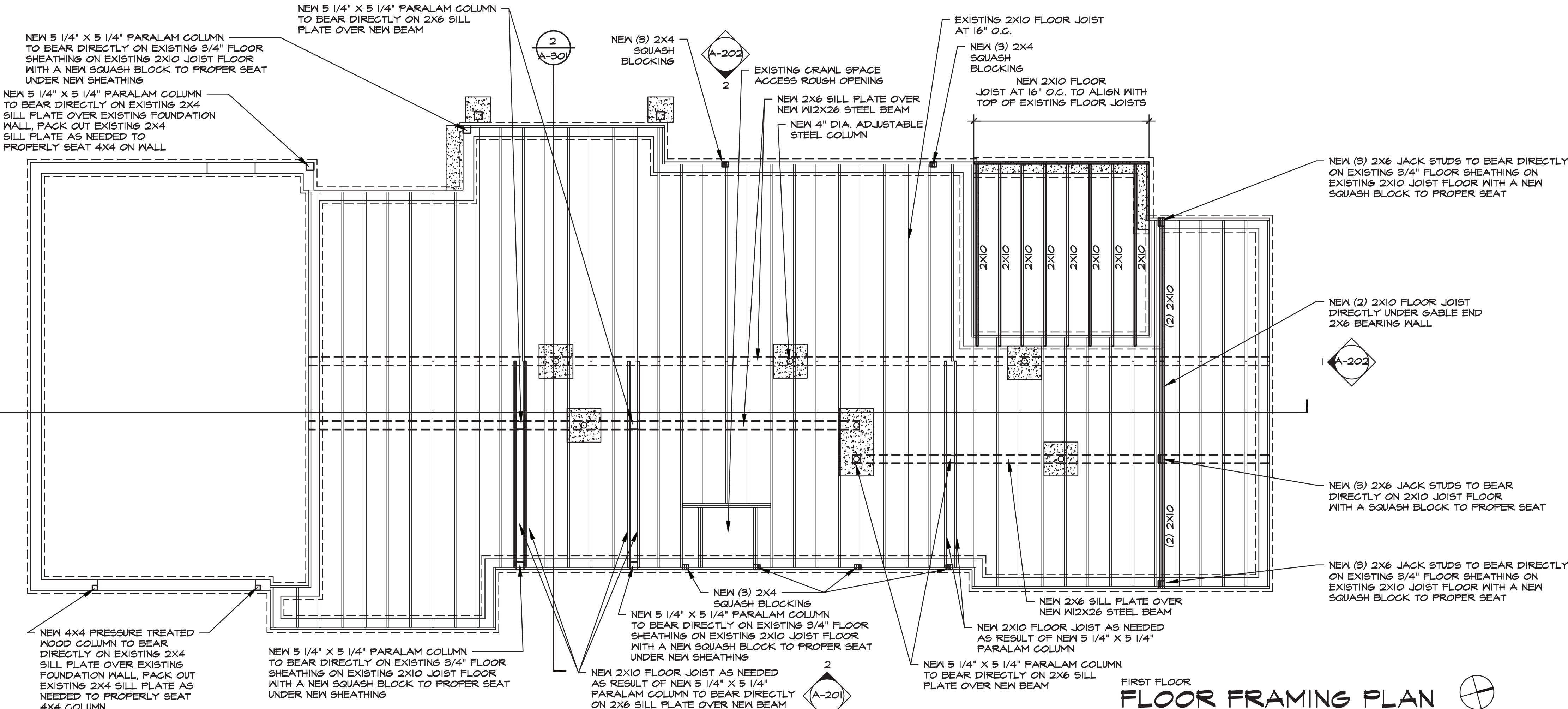
1/4" = 1'-0"



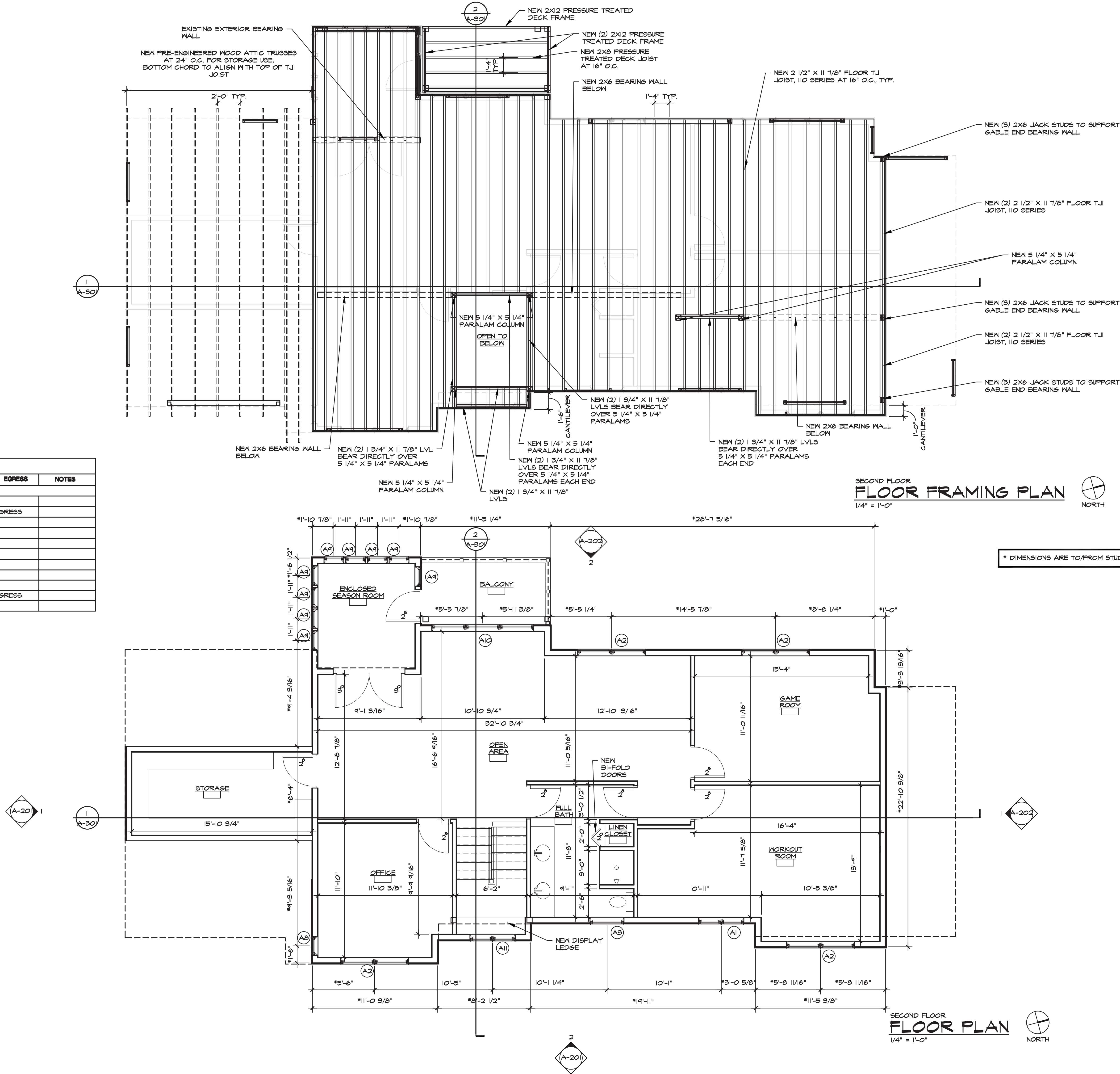
* DIMENSIONS ARE TO/FROM STUDS

FIRST FLOOR
FLOOR FRAMING PLAN

1/4" = 1'-0"



WINDOW SCHEDULE					
MARK	TYPE	CONSTRUCTION	R.O. SIZE	EGRESS	NOTES
FIRST FLOOR					
A1	PICTURE	WOOD	1'-7" X 1'-7 5/8"		
A2	(2) CASEMENT	WOOD	6'-2" X 3'-11 5/8"	EGRESS	
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A10	(3) CASEMENT	WOOD	4'-3" X 3'-11 5/8"	EGRESS	
A11	(2) CASEMENT	WOOD	4'-2" X 3'-3 5/8"		



ARCHITECTS
DS
INC

7300 DIXIE HWY. #600
CLARKSTON, MI 48346
PHONE 248.605.2030
FAX 248.605.2030
WEB DSARCHITECTS.COM

Seal

Project
CULLEN RESIDENCE

Drawing Title
**SECOND FLOOR - FLOOR PLAN
SECOND FLOOR - FLOOR
FRAMING PLAN**

Project Number
24-208

Drawn
KJM

Checked
DJS

Scale
1/4" = 1'-0"

Dwg.
CULLEN RESIDENCE

Issued for
OWNER REVIEW
2-11-25
DJS
PERMIT
2-18-25
DJS
PERMIT
3-11-25
DJS

Sheet Number
A-103
of
13

3595 WOODLAND DR.
HIGHLAND CHARTER TWP. MI 48356



Charter Township of Highland (H) 11-12-407-014 Active

Print Date: Date

3569 Woodland Dr
Highland MI 48356

View: Front

Structure: Primary

Photo Date: 09/29/2011



3569 Woodland Dr
Highland MI 48356

View: Front

Structure: Primary

Photo Date: 04/15/2013



3569 Woodland Dr
Highland MI 48356

View: Rear

Structure: Primary

Photo Date: 09/29/2011





OAKLAND COUNTY EXECUTIVE DAVID COULTER

HEALTH DIVISION

Leigh-Anne Stafford, Health Officer
(248) 858-1280 | health@oakgov.com

February 15, 2024

THOMAS URBAS
CHRISTINA CORCORAN
3751 ORMOND RD
WHITE LAKE MI 48383-1837

Record Number: EHW-2023-00693
Parcel ID: 11-12-407-014

RE: REPLACEMENT DRINKING WATER WELL AT 3569 WOODLAND DR, HIGHLAND, MI 48356

Dear Christina Corcoran & Thomas Urbas:

Your water supply has been tested and reviewed for the attached parameters with the accompanying results and interpretations. A well education packet has been produced for your information. At the time of applying for a well permit the applicant acknowledged they would deliver the packet to you, the well owner. If you have not received the information please contact the applicant or you may obtain a replacement by contacting one of the below offices.

The above referenced water well system is **APPROVED** and has been evaluated as meeting permit conditions along with minimum requirements of Part 127 of the Michigan Public Health Code, Act 368, Public Acts of 1978.

WATER SAMPLE RESULTS

The Oakland County Health Division (OCHD) analyzes drinking water for Total Coliform and, if necessary, E. coli, in a test referred to as a bacteria test. OCHD also analyzes drinking water for five parameters in a routine testing procedure referred to as a partial chemical analysis. Below the analysis results is a list of these parameters and associated problems or concerns. Except for Total Coliform, E. coli, Fluoride and Nitrate, the levels listed below are general guidelines. State drinking water standards have been established for Total Coliform, E. coli, Fluoride and Nitrate and are listed below.

Water Sample Analysis Results				
Collection Date	Lab	Sample Point	Sample Reason	Test Type
11/14/2023	OCHD Lab	KITCHEN	New Well	Chemical Analysis
Chemical Results: FLUORIDE = ND CHLORIDE = 230.6 NITRITE = ND NITRATE = 3.6 SULFATE = 56.7				
02/14/2024	OCHD Lab	KITCHEN	Resample	Bacti Analysis
Bacteriological Results: TCOLIFORM = ND E COLI =				
02/14/2024	OCHD Lab	KITCHEN	Resample	Bacti Analysis
Bacteriological Results: TCOLIFORM = ND E COLI =				

INTERPRETATION OF DRINKING WATER SAMPLE RESULTS		
Partial Chemical Test (mg/l)	MCL/AL	Problem/Concern
Fluoride	4.0	Low levels are beneficial in preventing tooth decay. High levels may cause mottling of teeth
Chloride	250	Taste; corrosion
Nitrite	1.0	Nitrite poisoning especially infants
Nitrate as N	10	Nitrate poisoning especially infants
Sulfate	250	Laxative, taste odor, scaling in boilers, heat exchangers
Bacteria Test (MPN/100 ml)	MCL/AL	Problem/Concern
Total Coliform	ND or 0	Organisms which when found in drinking water alert us to the potential of finding harmful organisms which are not specifically tested for.
E. coli	ND or 0	May be an indicator of fecal contamination since E. coli organisms originate in the intestinal tract of humans and all other warm blooded mammals.

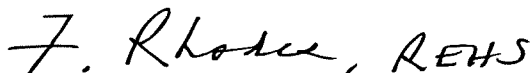
***A doctor/dentist prescribed fluoride supplement may be appropriate below 0.8 mg/l. ** Method SM 9223B**

AL	Action Level: The Action Level is the concentration of a contaminant that, if exceeded, triggers treatment or other requirements that a water supply shall follow.
MCL	Maximum Contaminant Level: the highest level of a contaminant that is allowed in drinking water. These are enforceable standards.
MPN	Most Probable Number: laboratory method used to quantify bacteria. Note: if coliform bacteria are present upon resample, results would be reported as MPN.
ND	Not Detected: a way of reporting coliform bacteria sample results to indicate the absence of coliform bacteria.
POS	Positive: indicates the water sample contains coliform bacteria.

Please contact the Oakland County Health Division with any questions at 248 858-1312. Our office hours are 8:00 a.m. to 5:00 p.m., Monday through Friday.

Sincerely,

OAKLAND COUNTY HEALTH DIVISION
Department of Health and Human Services



Frank Rhodes, REHS
Senior Public Health Sanitarian
Environmental Health Services

cc: Highland Township Building Department



L. BROOKS PATTERSON, OAKLAND COUNTY EXECUTIVE

Kathleen Forzley, R.S., M.P.A., Manager
HEALTH DIVISION

Department of Health & Human Services

September 4, 2009

DAVIS, DEANNA J
DAVIS, MARY L
3569 WOODLAND DR
HIGHLAND, MI 48356

Permit Number: 128-09-000043
Parcel ID: 11-12-407-010
Application Tracking Number: 63185954

**RE: APPROVAL OF ON-SITE SEWAGE DISPOSAL SYSTEM AT 3569 WOODLAND
DR, HIGHLAND, OAKLAND COUNTY, MI.**

Dear DAVIS, MARY L DAVIS, DEANNA J:

This letter shall certify that the on-site sewage disposal system at the above referenced address has been evaluated by this Division. Based upon observable features it was determined that the system is in compliance with the Oakland County Health Division Sanitary Code, Article III.

Attached you will find a copy of your on-site sewage disposal system final inspection report.

Should you have any questions regarding the inspection process or require additional information **regarding the maintenance** of your system, please contact this office at (248) 926-3305.

Sincerely,

OAKLAND COUNTY HEALTH DIVISION
Department of Health and Human Services


Matt Mehnert, R.S.
Senior Public Health Sanitarian
Environmental Health Services

cc: Highland Twp.

NORTH OAKLAND HEALTH CENTER
1200 N. TELEGRAPH RD.
PONTIAC, MI 48341-0432
General Information 248-858-1280

SOUTH OAKLAND HEALTH CENTER
27725 GREENFIELD RD.
SOUTHFIELD, MI 48076-3663
General Information 248-424-7000

WEST OAKLAND HEALTH CENTER
1010 E. WEST MAPLE RD
WALLED LAKE, MI 48390-3571
General Information 248-926-3300

PERMIT TO INSTALL AN ON-SITE SEWAGE DISPOSAL SYSTEM

PERMIT #: **128-09-000043**

Issue Date: 05/22/2009 11:25

APPLICATION TRACKING #: 63185954
PARCEL ID #: 11-12-407-010

APPLICATION RECEIPT DATE: 10/23/2008
LAST ACTIVITY:

PROPERTY ADDRESS:	3569 WOODLAND DR HIGHLAND MI 48356 -2366	SUBDIVISION NAME:	Supervisor's Plat of Seven Harbors
SEPTIC INFORMATION:	Proposed Use of Septic: Residential Type of Establishment:	Type of Septic:	Repair No. of Bedrooms: 2

OWNER:

Name: DAVIS, MARY L / DAVIS, DEANNA J
Address: 3569 WOODLAND DR HIGHLAND MI 48356
Phone: Home: Work: (248)887-5015

APPLICANT:

Name: JW Field Grading & Excavating LLC
Address: 909 N Milford Rd Highland MI 48357
Phone: Home: Work: (888)685-9335

PERMIT APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:

Tank : Two compartment tank recommended

Size of Septic Tank (Gallons)	No. of Compartments	Tank Type	Risers Required
1300.0	2	Septic Tank (Concrete)	Yes
500.0	1	Pump Chamber	Yes

Final Disposal:

Drainage beds consisting of 1122.0 sq.ft.

Stipulations:

Locate drain field Over hole2 per eng plan
Cut drainage bed 100% 0.0 ft. to 0.0 ft. to cut down vegetation to ground, see eng. plan
Call for a cut down inspection prior to backfilling.
Backfill 2NS sand to drainage system grade

Replacement Area:

Adequate replacement space available. No

STANDARD PERMIT REQUIREMENTS:

- Must install system in accordance with OCHD Sanitary Code, Article III and/or Michigan Criteria for Subsurface Sewage Disposal.
- Required isolation distances must be verified by the installer.
- Call to schedule all necessary inspections prior to the completion of the Installation.
- ACT 53 - P.A. 1974 requires the applicant to notify the public utilities prior to excavation. In addition you must call 1-800-MISS DIG to locate public underground utilities.
- This On-Site Sewage Permit **DOES NOT** apply to any addition or expansion of the proposed/existing building.
- This On-Site Sewage Disposal Permit does not ensure a Water Well Permit. An On-Site Sewage Disposal installation may reduce or eliminate an approved well area resulting in denial of an application for a Water Well Permit.

THIS PERMIT IS VOID AFTER TWO (2) YEARS FROM DATE OF ISSUE

Sanitarian: Matt Mehnert

Supervisor: Mark Hansell

SEE PAGE 2 FOR SPECIAL CONDITIONS AND ADDITIONAL REQUIREMENTS

Page 1 of 4

NORTH OAKLAND HEALTH CENTER
1200 N. TELEGRAPH RD.
PONTIAC, MI 48341-0432
General Information 248-858-1280

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1010 E. WEST MAPLE RD
WALLED LAKE, MI 48390-3571
General Information 248-926-3300

Department of Health & Human Services

PERMIT#: **128-09-000043**

Parcel ID: 11-12-407-010

Application Tracking Number: 63185954

Property Address:

3569 WOODLAND DR

HIGHLAND MI 48356 -2366

Pre-Final Inspection:

Bed-Call for Midcut Inspection prior to backfilling

Comments:

OK to use existing 500 gallon tank as a pump chamber if in sound condition. Install system per eng. plan #08-3675 from BF Thompson Rev. 4/24/09. A copy of the recorded deed restriction must be submitted to OCHD before final approval can be given.

Special Conditions:

- Plan#: 2008-3675 Rev. Date: 04/24/2009 Eng's Name: BF Thompson
Plan approval is contingent upon the designing engineer establishing all grades. Making sufficient inspections during construction to assure compliance with plans and providing this office with a signed statement to that affect. A final inspection by the Health Division is required.
- Prevailing small sized lot, or poor soil quality will limit the service of the installation. This repair permit is issued with no assurances for a normal use period.
- This repair permit DOES NOT apply to any addition or expansion to the existing building.
- Plan was approved based on the May 18, 2009 Sanitary Code Appeals Board resolution.

APPROVED BORINGS:

Soils Observed by : Matt Mehnert

Date Observed : 05/21/2009

Boring :1

Boring Label : 1

GPS Coordinates: X:

Y:

HSWT Observed: Yes

HSWT Indicator: Mottled

Depth of HSWT: 2.50 Feet

Ground Water Observed: Yes

Depth of Ground Water: 5.00 Feet

Captured Date: 10/27/2008 11:05

Captured By: mehnertm

Texture :

Depth:	12.00 Inch	Soil Info:	Topsoil
Size:		Topsoil Texture:	Loamy Sand
Wetness:		Color:	
Depth:	1.50 Feet	Soil Info:	Sand
Size:		Topsoil Texture:	
Wetness:		Color:	Gray
Depth:	3.00 Feet	Soil Info:	Sand
Size:		Topsoil Texture:	
Wetness:	Wet	Color:	Mottled

PERMIT#: **128-09-000043**
Parcel ID: 11-12-407-010
Application Tracking Number: 63185954

Property Address:

3569 WOODLAND DR
HIGHLAND MI 48356 -2366

APPROVED BORINGS:

Soils Observed by : Matt Mehnert

Date Observed : 05/21/2009

Boring :1

Boring Label : 1
GPS Coordinates: X: Y:
HSWT Observed: Yes HSWT Indicator: Mottled Depth of HSWT: 2.50 Feet
Ground Water Observed: Yes Depth of Ground Water: 5.00 Feet
Captured Date: 10/27/2008 11:05 Captured By: mehnertm

Texture :

Depth:	2.00 Feet	Soil Info:	Sand
Size:		Topsoil Texture:	
Wetness:	Wet	Color:	

Boring :2

Boring Label : 2
GPS Coordinates: X: Y:
HSWT Observed: Yes HSWT Indicator: Mottled Depth of HSWT: 3.00 Feet
Ground Water Observed: Yes Depth of Ground Water: 5.00 Feet
Captured Date: 10/27/2008 11:08 Captured By: mehnertm

Texture :

Depth:	12.00 Inch	Soil Info:	Topsoil
Size:		Topsoil Texture:	Loamy Sand
Wetness:		Color:	
Depth:	2.00 Feet	Soil Info:	Sand
Size:		Topsoil Texture:	
Wetness:		Color:	Brown
Depth:	2.00 Feet	Soil Info:	Sand
Size:		Topsoil Texture:	
Wetness:		Color:	Mottled
Depth:	1.00 Feet	Soil Info:	Sand
Size:		Topsoil Texture:	
Wetness:	Water Sand	Color:	

Disclaimer: The Oakland County Health Division will not deny participation in its programs based on race, sex, religion national origin, age or disability. State and federal eligibility requirements apply for certain programs.

PERMIT#: **128-09-000043**

Parcel ID: 11-12-407-010

Application Tracking Number: 63185954

Property Address:

3569 WOODLAND DR

HIGHLAND MI 48356 -2366



Disclaimer: The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise.

11-12-407-014

Note: Please be advised the data included in Property Gateway originates from multiple local municipalities. Data, in regard to properties, may be classified and updated differently by municipalities. If you have any questions, please contact the local community where the data originated.

Owner Information

Owner(s) : **THOMAS CULLEN & JENNIFER CULLEN**
Postal Address : **408 STONE WOOD CT MILFORD MI 48381-1759**

Location Information

Site Address : **3569 WOODLAND DR HIGHLAND MI 48356**
PIN : **11-12-407-014** Neighborhood Code : **L12**
Municipality : **Charter Township of Highland**
School District : **63220 HURON VALLEY SCHOOLS**
Class Code : **401 Residential - Improved**

Property Description

T3N, R7E, SEC 12 SUPERVISOR'S PLAT OF SEVEN HARBORS PART OF LOTS 443 & 444, ALSO ALL OF LOT 445 ALL DESC AS BEG AT NE COR OF SD LOT 445, TH S 01-04-00 W 125 FT, TH S 69-46-30 W 95 FT, TH N 85-03-30 W 20 FT TO PT 'B', TH N 85-03-30 W 33.17 FT, TH N 42-21-00 E 17.22 FT, TH N 14-37-00 E 60.51 FT, TH N 31.47 FT, TH N 66-45-30 E 38.98 FT TO PT 'A' LOC N 13-45-50 E 124.56 FT FROM SD PT 'B', TH N 66-45-30 E 88.98 FT TO BEG 6-29-22 FR 010

Split/Combination Information

Added Status : **Added Parcel**
Added Date : **01/19/2023** Added From : **FROM 1112407010**

Most Recent Sale Since 1994

Date : **09/05/2024**
Amount : **\$385,000** Liber : **59633:326**
Grantee : **CULLEN, THOMAS**
Grantor : **THOMAS J URBAS TR** CULLEN, JENNIFER

11-12-407-014

Note: Please be advised the data included in Property Gateway originates from multiple local municipalities. Data, in regard to properties, may be classified and updated differently by municipalities. If you have any questions, please contact the local community where the data originated.

Tax Information

Taxable Value	: \$228,780	State Equalized Value	: \$228,780
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Current Assessed Value	: \$228,780	Capped Value	: \$156,670
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Effective Date For Taxes	: 12/01/2024	Principal Residence Exemption Type	: N/A
--------------------------	--------------	------------------------------------	-------

Summer Principal Residence Exemption Percent	: 0%	Winter Principal Residence Exemption Percent	: 0%
--	------	--	------

2023 Taxes

Summer	: \$5,863.55
--------	--------------

Winter	: \$1,911.54
--------	--------------

Village	:
---------	---

2024 Taxes

Summer	: \$6,151.11
--------	--------------

Winter	: \$1,942.62
--------	--------------

Village	:
---------	---

Lot Information

Description	:	Area	: 0.336 ACRES
-------------	---	------	---------------

Primary Structure

Structure	: Ranch	Living Area	: 1340 SQ FT
-----------	---------	-------------	--------------

Ground Floor	: 1340 SQ FT	Year Built	: 1954
--------------	--------------	------------	--------

Effective Year	: 1970	Remodel Year	: 0
----------------	--------	--------------	-----

Stories	: 1 Story	Rooms	: 6
---------	-----------	-------	-----

Bedrooms	: 2	Full Baths	: 1
----------	-----	------------	-----

Half Baths	: 1	Fireplaces	: 1
------------	-----	------------	-----

Ext Walls	: Aluminum	Basement	: NO - CRAWL SPACE
-----------	------------	----------	--------------------

Garage	: ATTACHED - 1 car (422 SQ FT)	Heat	: Forced Heat & Cool
--------	--------------------------------	------	----------------------

Fuel Type	: Gas	Central Air	: Yes
-----------	-------	-------------	-------

Basement Information

Finish	: UNFINISHED	Area	: 0 SQ FT
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Porch Information

Type	Area
CCP (1 Story)	44 SQ FT
CGEP (1 Story)	115 SQ FT