



MEMORANDUM

To: Zoning Board of Appeals
From: Kariline P. Littlebear, Zoning Administrator
Date: March 19, 2025
Re: ZBA25-04
2106 Jackson Blvd
11-11-234-011
Applicant: Mary Aja
Owner: Mary Aja

The subject parcel is zoned LV – Lake and Village Single-Family Residential District. The total parcel size is approximately 0.159 acres (6,926 sq ft)

The required setbacks for this parcel are as follows:

Front yard (from property line not road edge): 34 ft

Ordinary High-water mark for primary structure: 64 ft

Ordinary High-water mark for uncovered deck/patio: 59 ft

Side yards: 5 ft minimum for the smallest side yard and 15 ft total when both side yards are added together

This variance request is for a 19-foot variance from the calculated 34-foot front yard setback to 15-feet provided for the construction of house, attached garage, and uncovered deck. This request is for a variance from Section 9.02. of the Zoning Ordinance.

For the variance request, the applicant has provided a scaled site plan and construction drawings. Staff has supplied assessing records, a zoning map, aerial approximations of the property, and Section 9.02. of the Zoning Ordinance.

Case # 25-04

Hearing Date 3/19/25

CHARTER TOWNSHIP OF HIGHLAND ZONING BOARD OF APPEALS
APPLICATION FOR APPEAL

APPLICANT	
NAME:	<u>Mary Aja</u>
ADDRESS:	<u>2106 Jackson Blvd.</u> <u>Highland, Mi 48356</u>
PHONE:	<u>734-776-8488</u>
EMAIL:	<u>hairctmary@aol.com</u>

OWNER	
NAME:	<u>Mary Aja</u>
ADDRESS:	<u>2106 Jackson Blvd</u> <u>Highland, Mi 48356</u>
PHONE:	<u>734-776-8488</u>
EMAIL:	<u>hairctmary@aol.com</u>

PROPERTY ADDRESS: 2106 Jackson Blvd Highland, Mi 48356

ZONING: LV PROPERTY TAX ID NO: 11-11-234-011

ORDINANCE SECTIONS BEING APPEALED: 9.02.B.a.

VARIANCES REQUESTED: Front setback
19ft variance from calculated 34ft
front yard setback to 15ft provided

DESCRIBE THE NATURE OF YOUR PRACTICAL DIFFICULTY: Very narrow 40' original
plotted lot. Existing non-conforming septic and well.
Existing structure has numerous flaws identified
by an engineer.

I certify that all required information is shown on the attached plan and included on this form. I acknowledge that by signing this application, I am granting the right of the Zoning Board of appeals members, inspectors and administrators to conduct a site inspection of the subject property. All statements are true to the best of my knowledge.

SIGNATURE OF OWNER: Mary Aja DATE: 2-4-25

SIGNATURE OF APPLICANT: Mary Aja DATE: 2-4-25

Signature of applicant must be notarized.

Subscribed and sworn to before me this

4th day of FEB., 2025

Julie A. Kabalka Notary Public
My Commission expires 12-22-2028

Julie A. Kabalka
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF OAKLAND
My Commission Expires 12/22/2028
Acting in the County of _____



APPLICATION FEE:	<u>\$275.00</u>
Receipt#	<u>1061894</u>
Date Paid	<u>2/19/25</u>
Received by	<u>Wm Welf</u>

Form revised 12/21/2015
S:\Planning Department New Folder\Zoning Board of Appeals\forms\ZBA Application form

CHARTER TOWNSHIP OF HIGHLAND
ZONING BOARD OF APPEALS
WORKSHEET

The worksheet is designed to help you understand the appeal process and to help you submit a complete application for review by the Zoning Board of Appeals. If you have any questions after reading this worksheet you may contact the Planning and Zoning Department for assistance.

HAVE YOU MET ALL OF THE FOLLOWING CRITERIA?

- 1) Do the characteristics of the property include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation or other similar characteristics? If so, please describe here.

Yes my lot is only 40 feet wide. The lot also slopes

to the lake, and the old foundation in the hill is

compromised.

- 2) Can the project be redesigned to meet the zoning requirements without the need for a variance?

Kieft Engineering and the design architect worked

with Oakland County on several designs, and

this is the design the county accepted.

- 3) Is the reason for a variance request of a personal nature? (for example: financial impact, physical and/or mental characteristics of the household members, inconvenience, etc.)

Nothing personal, the lot is non-conforming and the

current structure is compromised not allowing

a remodel that would be viable.

- 4) Has the difficulty been created by the current or previous owner?

Not to my knowledge, the land was plotted long ago
and i assume there was an old cottage remodeled
at some point.

- 5) Will the proposed variance be harmful to or alter the essential character of the area in which the property is located?

No, there are several homes along the same road
that are closer to the road, or similar setbacks.

- 6) Will the proposed variance be the minimum necessary?

To build a small modest 2 bedroom home that is
livable, and viable for resale in the future yes.
The project will improve the street and values.

Signature



1400 E. Davisburg Road
Suite 301
Holly, MI 48442
Phone (248) 634-0444
Fax (248) 634-6646
mike@lopezengineers.com

October 1, 2024

Job No. 24-236

Galley Construction
9784 Kingston Pointe Drive
Clarkston, MI 48348

Re: 2106 Jackson Boulevard
Highland Township, Michigan
Structural Inspection

An inspection was performed at the above referenced address on August 19, 2024. The nature of the inspection was to review the existing structure and determine if it is possible to make a second-floor addition to the structure or if it would be better to demolish the existing structure and construct a new house.

The existing ranch house has a walkout basement that accesses the rear of the house where the lake is located. The interior and the exterior of the house were both inspected. The exterior inspection revealed sagging roof lines. There have been additions and modifications made to the existing structure that has affected the load paths for the original roof framing and created the noted sagging roof issues present with the roof.

The rear deck was reviewed during the exterior inspection, and it is not level. The uneven deck is an indicator that some settlement has occurred with the unknown footings of the deck.

The interior inspection of the house raised several issues. The lower level of the house is accessed with non-conforming stairs. The ceiling height in the basement is currently only 6'-6" with the distance under the supporting beam only being 5'-10". Both elevations are too short to meet the minimum clearances for an occupied livable space.

The front foundation wall of the house is backfilled full height. The foundation wall has cracks present in the masonry walls. The wall is bowed inward from the soil pressure. The wall would require supplemental wall braces to be installed to allow the lateral loads to be properly supported and prevent further damage to the structure above.

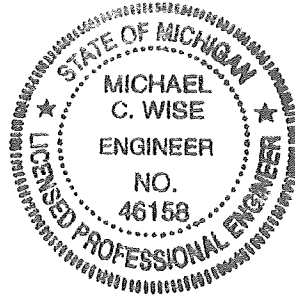
Lopez Engineering recommends that structure including the foundation be demolished and a new structure be constructed. The issues present with the existing structure does not allow for the desired new second floor addition to be supported.

Please feel free to contact our office if you have any further questions or concerns.

Respectfully,



Michael C. Wise, P.E.



Sec. 9.02. LV—Lake and Village Residential District.

A. *Creation of new lots in the Lake and Village Residential District.*

1. No new Lake and Village Residential Districts shall be created. New parcels within the district may be created through land division and combination, subject to the following:
 - a. Where public sewer and public water service is available the minimum buildable area shall be fourteen thousand (14,000) square feet, provided the lot fronts a street, and twenty thousand (20,000) square feet where the lot fronts a major thoroughfare, and minimum frontage shall be eighty (80) feet:
 - b. Where public sewer and/or public water is not available the minimum buildable area shall be twenty thousand (20,000) square feet, provided the lot fronts a street and twenty-five thousand (25,000) square feet where the lot fronts a major thoroughfare and minimum frontage shall be one hundred and twenty (120) feet:
2. The lot must satisfy all criteria specified in the Land Division Ordinance.
3. No lot shall be divided in such a way as to create a non-conforming lot or to increase the degree of nonconformity already in existence.

B. *Setbacks.*

a. *Front yard setback.*

- a. A front yard setback shall be determined to promote consistency with established patterns within a developed neighborhood. The required setback will range from 30 feet to 40 feet based on analysis of existing houses within 200 feet of the subject parcel, located on the same side of the road as the subject parcel. If there are no homes within 200 feet of the subject parcel, the required front yard setback shall be 40 feet.
- b. In determining the setback, the following method shall be used, utilizing aerial photography and parcel models provided in the Oakland County Geographic Information System:
 - 1) Determine which existing houses shall be considered in the calculations.
 - 2) Determine the distance from each house to the front property line and record the distance.
 - 3) Subtract 30 feet from each measurement and record the difference. For measurements 30 feet or less, enter zero feet for further calculations. For measurements greater than 40 feet, enter ten feet for further calculations.
 - 4) Determine the average difference of all measurements as recorded in step 3) (e.g. add all recorded differences and divide by the number of samples). Add this calculated average to 30 feet. This is the required setback.
- c. The Zoning Administrator may refer any plot plan to the Zoning Board of Appeals for determination of the required setback.

b. *Side yard setback.*

- a. For all principal and accessory buildings and structures, the side yard setbacks are established based on lot width, as follows:

Lot Width (feet)	Least Side (feet)	Total Both Sides (feet)
120 or greater	10	30

90 to 119	10	25
70 to 89	5	20
40 to 69	5	15

c. *Rear yard setback.*

- a. A rear yard setback shall be determined to promote consistency with established patterns within a developed neighborhood. The required setback will range from 30 feet to 40 feet based on analysis of existing houses within 200 feet of the subject parcel, located on the same side of the road as the subject parcel. If there are no homes within 200 feet of the subject parcel, the required rear yard setback shall be 40 feet.
- b. In determining the setback, the following method shall be used, utilizing aerial photography and parcel models provided in the Oakland County Geographic Information System:
 - 1) Determine which existing houses shall be considered in the calculations.
 - 2) Determine the distance from each house to the rear property line and record the distance.
 - 3) Subtract 30 feet from each measurement and record the difference. For measurements 30 feet or less, enter zero feet for further calculations. For measurements greater than 40 feet, enter ten feet for further calculations.
 - 4) Determine the average difference of all measurements as recorded in step 3) (e.g. add all recorded differences and divide by the number of samples). Add this calculated average to 30 feet. This is the required setback.
- c. The Zoning Administrator may refer any plot plan to the Zoning Board of Appeals for determination of the required setback.

C. *Setback exceptions and height restrictions for accessory structures.*

- a. One (1) storage shed not greater than one hundred and fifty (150) square feet in area and not greater than ten (10) feet in height may be permitted as close as five (5) feet to side lot line or rear lot line. All sheds must comply with required front yard setback.
- b. One (1) accessory structure such as a garage, swimming pool, or play structure not greater than two hundred and forty (240) square feet in area and not greater than fifteen (15) feet in height may be permitted as close as ten (10) feet to the rear lot line provided the structure complies with the required side yard setback.

D. *Minimum Setback from the Ordinary High Water Mark.*

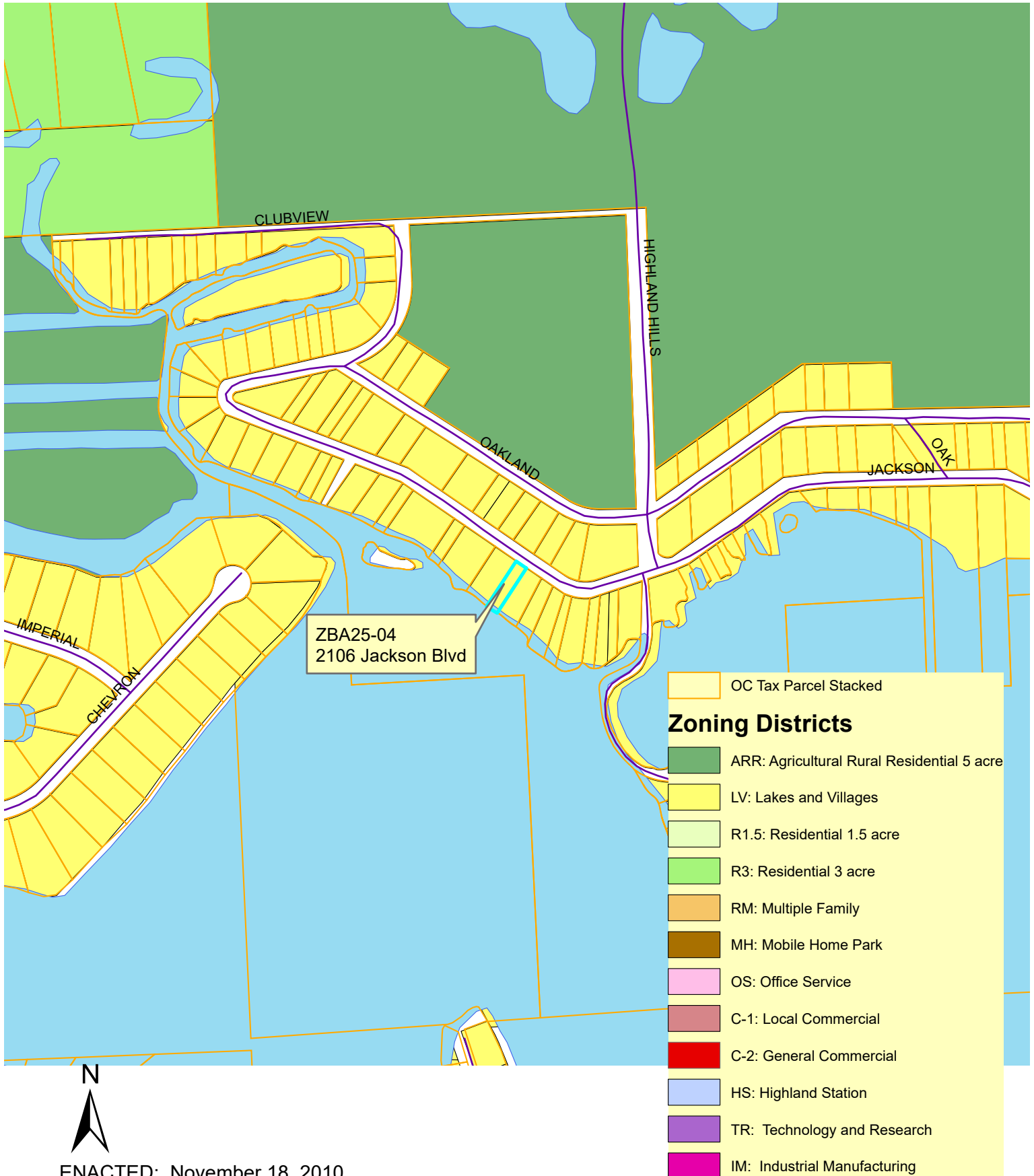
- a. The setback from the ordinary high water mark shall be determined to promote consistency with established patterns within a developed neighborhood, while protecting viewsheds of the lake for neighboring properties.
- b. Typically, the setback from the ordinary high water mark is sixty-five (65) feet. The setback may be reduced to as little as thirty (30) feet on lakefront lots, based on an analysis of like structures on parcels within two hundred (200) feet of the subject parcel, located along the lakeshore. This setback reduction may be applied to principle primary structures or to uncovered porches and decks. This setback reduction may not be applied to accessory structures such as garages and boathouses.
- c. In determining the setback reduction, the following method shall be used, utilizing aerial photography and parcel models provided in the Oakland County Geographic Information System:

-
- 1) Determine which existing primary structures or decks/uncovered porches shall be considered in the calculations. Decks and uncovered porches shall not be used in determining setback reductions for a principle structure, but principle structures may be used in determining setback reductions for decks/uncovered porches.
 - 2) Determine the distance from each structure to the presumed ordinary high water mark and record the distance.
 - 3) For parcels with no structures are closer to the presumed high water mark than sixty-five (65) feet, enter a value of zero for further calculations. For parcels with structures closer to the presumed high water mark than thirty (30) feet, enter a value of thirty-five (35) feet for further calculations. For remaining parcels with structures falling between those two (2) limiting factors, enter the difference between sixty-five (65) feet and the measured distance.
 - 4) Determine the average difference of all measurements as recorded in Step 3 (e.g. add all recorded differences and divide by the number of samples). This result represents the allowable setback reduction.
- E. *Minimum floor area per residential unit.* One thousand (1,000) square feet.
- F. *Minimum first floor area per residential unit.* Seven hundred and fifty (750) square feet.
- G. *Maximum height for principal structures.* Two stories or twenty eight (28) feet.
- H. *Maximum height for residential accessory structures.* Twenty eight (28) feet for all accessory structures which comply with the setback requirements under Section 9.02B, Setbacks. See Section 9.02C, Setback Exceptions and Height Restrictions for Accessory Structures for height restrictions for accessory structures placed under the provisions for setback exceptions.
- I. *Maximum Lot Coverage.* The maximum lot coverage for all building (principal and accessory) is as follows:
- a. For lots with net area less than fourteen thousand (14,000) square feet, the maximum lot coverage shall be forty-five (45) percent.
 - b. For lots with net area of fourteen thousand (14,000) square feet or greater, the maximum lot coverage shall be thirty-five (35) percent.

(Ord. No. Z-006, § 3, 10-14-2015)

CHARTER TOWNSHIP OF HIGHLAND

ZONING MAP



ENACTED: November 18, 2010

2106 Jackson Blvd neighborhood



-  2 Foot Contours
-  5 Foot Contours
-  FEMA Base Flood Elevations
-  FEMA Cross Sections
-  100 yr - FEMA Floodplain
-  100 yr (detailed) - FEMA Floodplain
-  500 yr - FEMA Floodplain
-  FLOODWAY - FEMA Floodplain

Disclaimer: The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise. FEMA Floodplain data may not always be present on the map.



David Coulter
Oakland County Executive

Date Created: 2/5/2025



1 inch = 200 feet

2106 Jackson Blvd



2106 Jackson Blvd 2ft topo contour lines



1. ALL EXISTING UTILITIES SHOWN ON THIS TOPOGRAPHIC SURVEY HAVE BEEN TAKEN FROM VISUAL OBSERVATION, AND RECORD MAPPING, WHERE AVAILABLE. NO GUARANTEE IS MADE, OR SHOULD BE ASSUMED, AS TO THE COMPLETENESS OR ACCURACY OF THE UTILITIES SHOWN ON THIS DRAWING. PARTIES UTILIZING THIS INFORMATION SHALL FIELD VERIFY THE ACCURACY AND COMPLETENESS OF OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.
2. ARCHITECT/BUILDER IS RESPONSIBLE FOR CONFIRMING BUILDING SETBACKS.
3. SEE BUILDER/CONTRACTOR FOR SPECIFIC DEMOLITION REMOVAL, RELOCATE, REUSE AND MAINTAIN INSTRUCTIONS.
4. THE SITE CURRENTLY HAS ACCESS TO AN EXISTING SEPTIC SYSTEM.
5. DATE OF LAST FIELD WORK: JUNE 16 2022.
6. THIS PROPERTY IS IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN) AND ZONE "AE" (BASE FLOOD ELEVATIONS DETERMINED) OF THE FLOOD INSURANCE RATE MAP. COMMUNITY PANEL NO. 26125C0312F WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2006.
7. ACCORDING TO LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (REMOVAL), CASE NUMBER 08-05-38454, DATED: JUNE 30, 2008, THE 1% CHANCE FLOOD ELEVATION FOR DUCK LAKE IS 1017.0 FEET (NAVD 88).

SETBACKS:
 MINIMUM LOT SIZE - 20,000 SF
 MINIMUM LOT WIDTH - NOT SPECIFIED
 FRONT SETBACK - TO BE CALCULATED
 SIDE SETBACK 5 FT (LEAST SIDE) 15 FT (TOTAL BOTH SIDES)
 LAKE SETBACK - 65' FROM ORDINARY HIGH WATER MARK
 MAXIMUM BUILDING HEIGHT - 2 STORIES (28 FT)
 MAXIMUM LOT COVERAGE - 35%

THERE WILL BE AN ADDITIONAL CHARGE FROM KIEFT ENGINEERING, INC. FOR INSPECTIONS DURING CONSTRUCTION AND FOR WRITING "ASBUILT". LETTER TO OAKLAND COUNTY HEALTH DEPARTMENT. THERE MAY ALSO BE ADDITIONAL FEES FOR PREPARATION OF ASBUILT DRAWINGS IF REQUIRED BY O.C.H.D. DUE TO UN-FORSEEN CHANGES REQUIRED IN THE FIELD. THESE CHARGES ARE NOT INCLUDED IN THE ORIGINAL BILLING.

TOP OF WATER = 1016.7 (6-15-2022)
FLOOD PLAIN ELEV. = 1017.0 (NAVD 88)

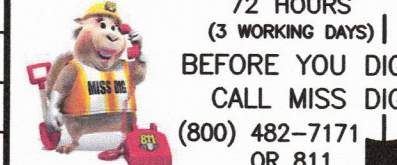
BUILDER:
BELLA CUSTOM HOMES INC.
9784 KINGSTON POINT DRIVE
CLARKSTON, MI 48348
(248) 421-5466 BRIAN GALLEY

THIS DRAWING IS THE PROPERTY OF KIEFT ENGINEERING, INC. AND MAY NOT BE USED, REPRODUCED OR PUBLISHED, IN PART OR IN WHOLE, WITHOUT EXPRESSED WRITTEN PERMISSION FROM KIEFT ENGINEERING, INC.



PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS
5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346
PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

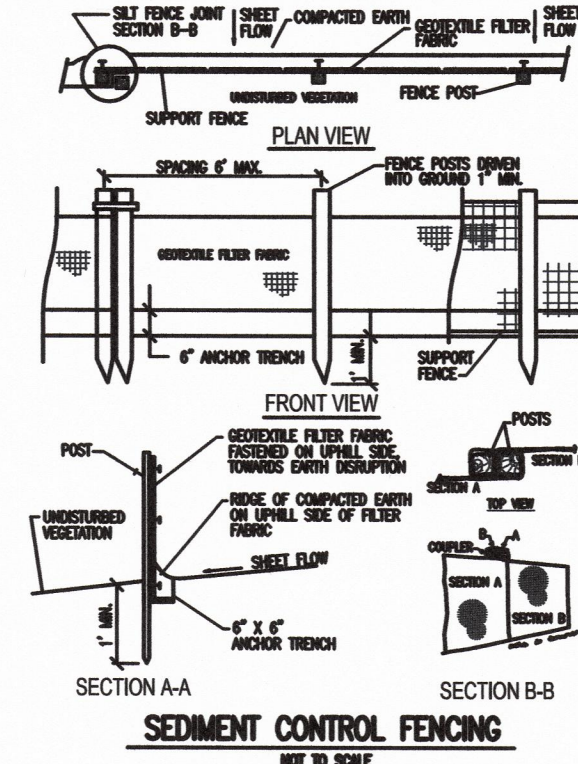
DATE	10/22/24	CKD. BY	DATE
DRAWN	DSW		
DESIGN	DSW		
SECTION	11	T- 3 -N R- 7 -F	



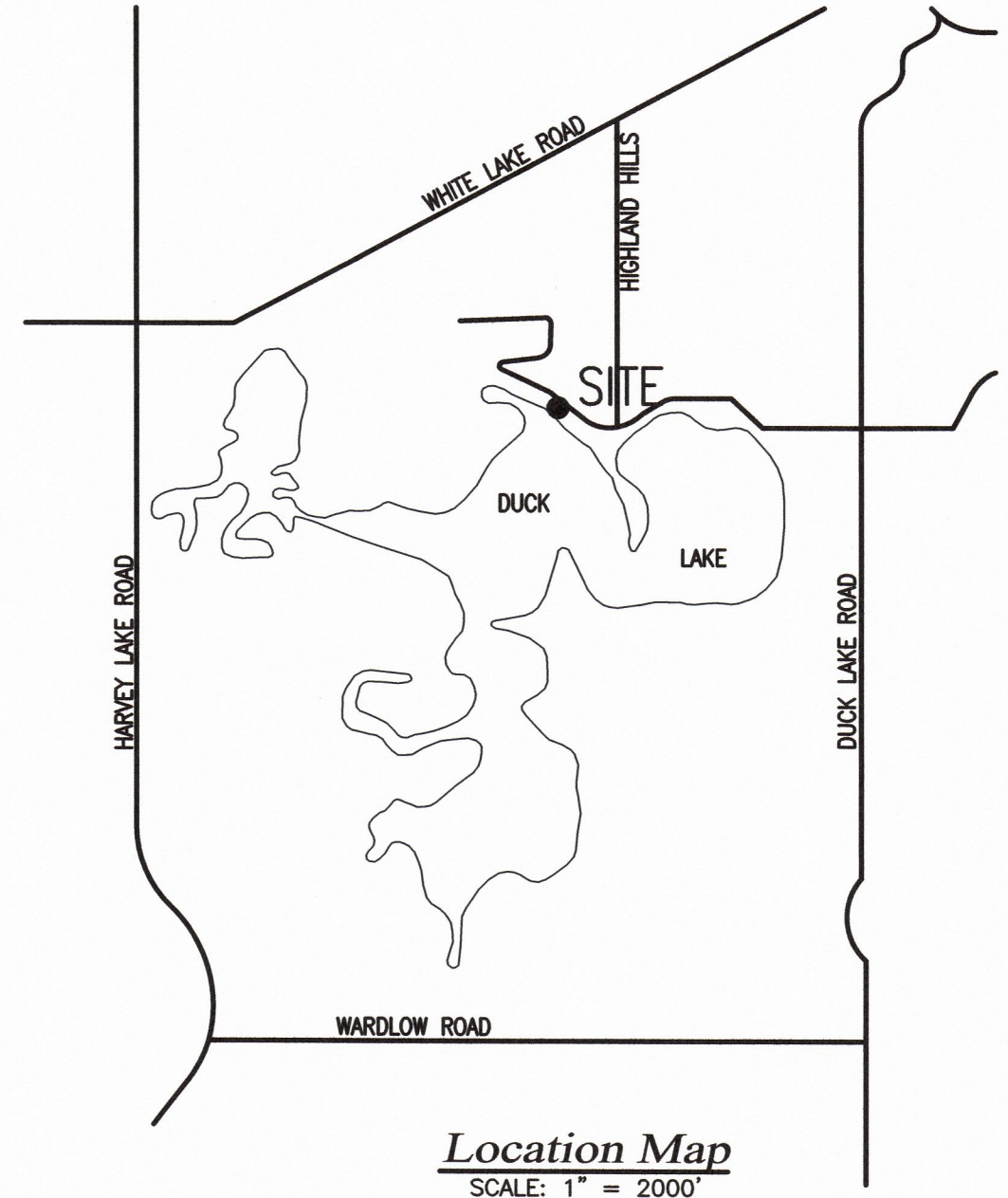
Parcel No. 11-11-234-011 (2106 Jackson Blvd.)
PART OF THE E 1/2 OF THE NE 1/4 OF SECTION 11, T3N, R7E,
TOWNSHIP OF HIGHLAND, OAKLAND COUNTY, MICHIGAN

SCALE	1" = 10'
SHEET	1 OF 2
<i>KE 2024.219</i>	

Diagram of an existing building section. The section shows a vertical shaft with various symbols (circle with cross, square, square with cross, triangle, circle with dot, star) and a height of 1029.4. The shaft is labeled "EXISTING" at the top and "OH" at the bottom. The shaft is also labeled "GAS" on both sides. The shaft is shown with a cross-section of a pipe or duct.



START DAY	END DAY	SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION
1	2	INSTALL SILT FENCE AS SHOWN ON THIS PLAN.
3	5	PERFORM DEMOLITION ACTIVITIES AS PER PLAN.
6	35	EXCAVATE FOR FOOTINGS FOUNDATION AND INSTALL.
35	45	START BUILDING CONSTRUCTION. BACKFILL FOUNDATION.
46	60	INSTALL ANY UTILITIES AS NECESSARY.
60	130	COMPLETE BUILDING CONSTRUCTION.
130	135	FINISH GRADE AND PAVE DRIVE.
135	180	ESTABLISH VEGETATION ON ALL DISTURBED GROUND AREAS WITH TOPSOIL AND SEED OR SOIL. REMOVE ALL SOIL EROSION CONTROL DEVICES.



1. 2" LINE FROM TANK TO FIELD SHALL BE SCHD 40, PVC PIPE.
2. NO GROUND WATER, STORM WATER, CONSTRUCTION WATER, DISPOST OF WASTE, WEED TREATMENT, OR SOFTENER BACKWASH SHALL BE ALLOWED TO ENTER ANY PORTION OF THE SEPTIC INSTALLATION.
3. INSPECTION OF SEPTIC TANK TREATMENT TANK AND PUMP CHAMBER, INSTALLATION ALONG WITH ABSORPTION BED TO BE PERFORMED IN CONFORMANCE WITH OAKLAND COUNTY HEALTH DEPARTMENT PERMIT REQUIREMENTS.
4. THE ABSORPTION AND RESERVE AREAS SHALL BE ISOLATED FROM VEHICULAR TRAFFIC
5. THE SEPTIC TANK TREATMENT TANK AND PUMP CHAMBER SHALL FILL WITH WATER UP TO WITHIN 1" OF THE RIM OF THE RISERS AND LEFT FOR 24 HOURS. AT 24 HOURS THEY SHALL BE REFILLED AND ALLOWED TO SET FOR AN ADDITIONAL 24 HOURS. ANY DROP IN ELEVATION (1" OR MORE) IN THE TANK AFTER THIS SECOND 24 HOUR PERIOD SHALL BE CAUSE FOR REJECTION OF THE TANK. A LETTER FROM THE MANUF. CERTIFYING WATER TIGHTNESS MAY BE SUBSTITUTED FOR THE ABOVE WATER TEST.
6. ALL TANKS SHALL BE PUMPED DRY AND CLEANED BY THE CONTRACTOR FOR INSPECTION BY OAKLAND COUNTY HEALTH DEPARTMENT PRIOR TO SYSTEM STARTUP.
7. ALL MATERIALS AND SUPPLIES FOR THE TANKS AND FIELD ARE TO BE SUPPLIED BY THE CONTRACTOR, (1-888-991-7851) OR APPROVED EQUAL.

1) Applicant: Mary Aja
2106 Jackson Blvd.
Highland, MI 48356

LEGAL DESCRIPTION:

LOT 161, "DUCK LAKE PARK SUB-DIVISION" BEING PART OF LANDS LYING IN THE E 1/2 OF THE NE 1/4 OF SECTION 11 AND THE W 1/2 OF THE NW 1/4 OF SECTION 12, T3N, R7E, TOWNSHIP OF HIGHLAND, OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 39 OF PLATS, PAGE 45, OAKLAND COUNTY RECORDS.

2) Sidwell No.: 11-11-234-011

3) Proposed 2 bedroom single family residence

4) Design Data: 1.5 pers/BR x 2 BR x 100 gal/pers/day = 300 gal/day

5) Field Size: 24' x 30' = 720 SF

6) Dose Rate: 300 gal/day / 720 SF = 0.416 gal/SF/day

7) Construction Sequence:

a) Install Silt Fence

b) **KEEP ALL RUBBER Tired VEHICLES OFF FIELD AREA BEFORE, DURING AND AFTER CONSTRUCTION.**

c) Verify Plastic Limit of receiving soil. Obtain soil sample at depth of compactor surface. Roll sample into wire shape. If able to roll sample into a 1/8" diameter or smaller wire, the soil is to wet to proceed. If soil breaks apart the soil is below the plastic limit and construction can commence.

d) Mow, rake and scarify vegetation from bed and side slope area. Scarify must be parallel to the contour of the land and NOT cross slope.

e) Call for inspection.

f) Place 1000 septic tank w/ effluent filter.

g) Place 1000 Treatment tank and 500 gallon pump chamber as shown.

h) Place Control Panel as shown. Control Panel **shall** have Elapsed Time measurement and Event Counters.

i) Place Disposal Bed as shown on Drawing.

j) Place 2" Forcemain line from Tank to Field Header as shown.

k) Call for inspection.

l) Seed and mow entire disturbed area.

8) Notify Oakland County Health Department (OCHD - (248) 858-1312) and the Engineer [(248) 625-5251] 48 hours prior to construction to schedule inspections.

9) No garbage disposal should be utilized.

10) Residence should install flow restrictors on all faucets.

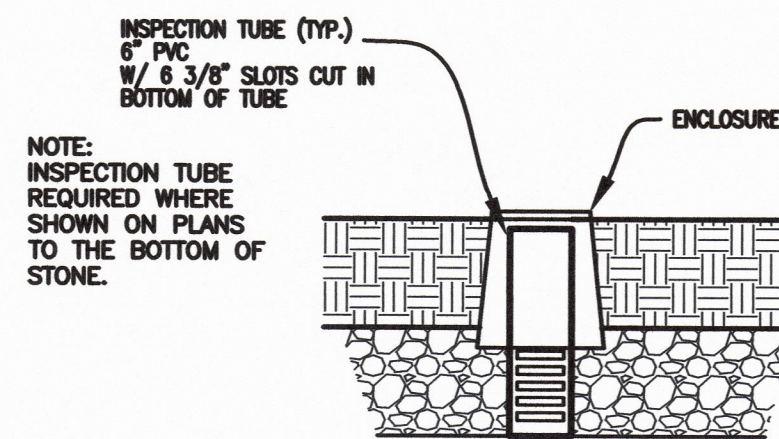
11) Water softener should not be discharged into system

12) Reserve area is in area of primary field if required.

13) **EXCESSIVE WATER USE WILL EFFECT THE OPERATION OF THE SYSTEM AND COULD RESULT IN SYSTEM FAILURE.**

<u>SB #1</u>	<u>ELEV. 1019.8</u>
0" - 6"	TOPSOIL SANDY LOAM
6" - 2'	LOAMY SAND
2' - 3'	PEAT (DARK)
3' - 5'	SAND (WATER SAND)
HSWT @ 2', GW @ 3'	

<u>SB #2</u>	<u>ELEV. 1021.1</u>
0" - 6"	TOPSOIL SANDY LOAM
6" - 2'	SANDY LOAM
2' - 3'	PEAT (DARK)
3' - 3.5'	LOAMY SAND (MOTTLED)
3.5' - 4.0'	SANDY CLAY LOAM >50% (WATERSAND)
HSWT @ 2', GW @ 3.5'	



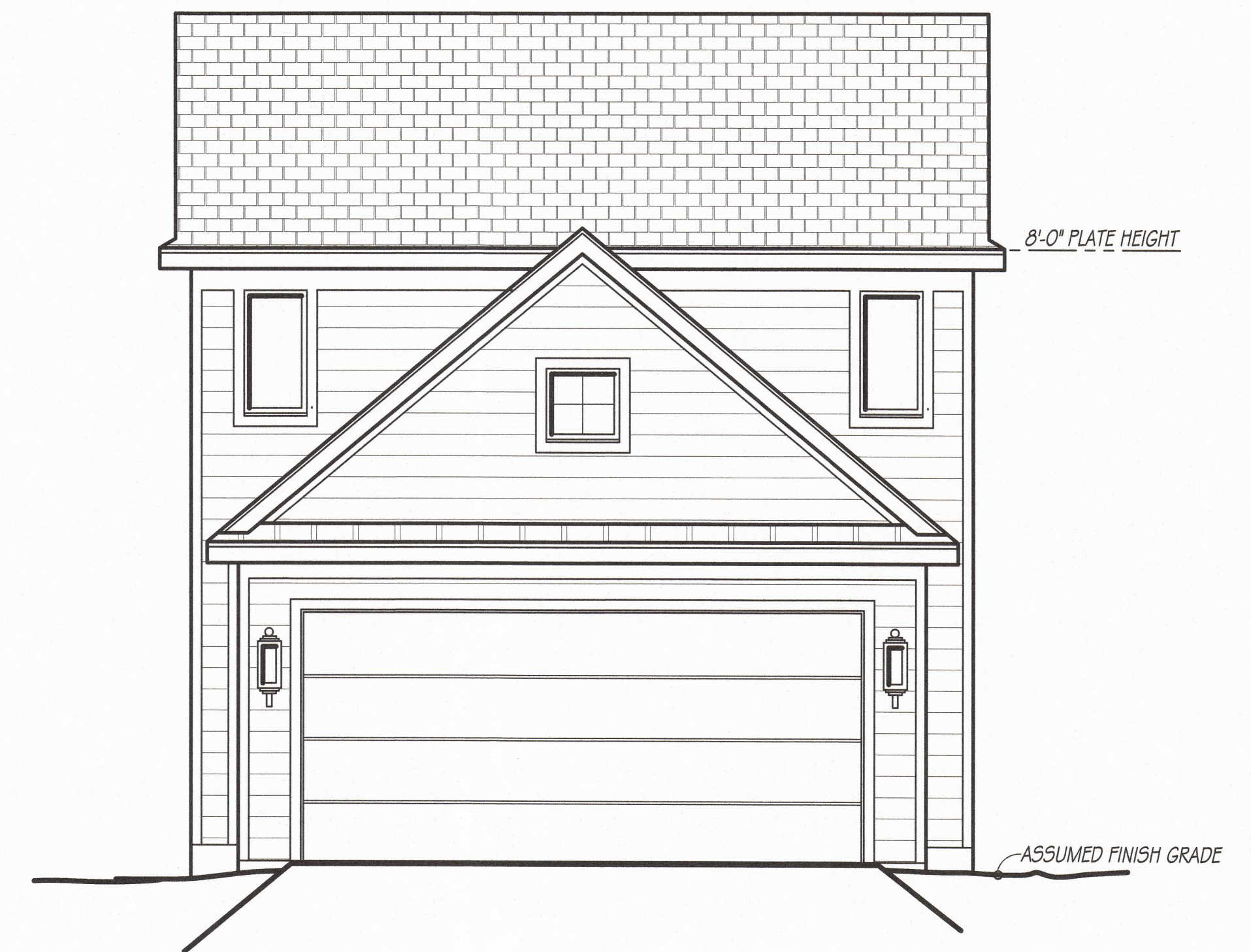
INSPECTION PORT DETAIL

*MAG NAIL IN POWER POLE LOCATED ON
THE S'LY LINE OF JACKSON BLVD. ON
LOT 158, AS SHOWN.
ELEVATION 1030.83 NAVD '88*

LOT 161, "DUCK LAKE PARK SUB-DIVISION" BEING PART OF LANDS LYING IN THE E 1/2 OF THE NE 1/4 OF SECTION 11 AND THE W 1/2 OF THE NW 1/4 OF SECTION 12, T3N, R7E, TOWNSHIP OF HIGHLAND, OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 39 OF PLATS, PAGE 45, OAKLAND COUNTY RECORDS.



SIDE ELEVATION
SCALE: 1/4" = 1'-0"



ROADFRONT ELEVATION
SCALE: 1/4" = 1'-0"



SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REVIEW SET
NOT FOR CONSTRUCTION

G R E G S T A F F O R D	
# A S S O C I A T E S	
248.318.4811 GSA55OCIATE5@ATT.NET	
PROJECT NO. 50124	SHEET NO. 4 of 5

GENERAL NOTES:

- FIRST FLOOR: 9'-0" PLATE AND CEILING HEIGHTS---UNLESS OTHERWISE NOTED.
- ALL WINDOW HEAD HEIGHTS @ 8'-0" UNLESS OTHERWISE NOTED.
- 2x6 EXTERIOR AND 2x4 INTERIOR WALL CONSTRUCTION---UNLESS OTHERWISE NOTED.
- NOTED WINDOW SIZES ARE: WINDOW REF TO CONVERT NOTED SIZES TO CHOSEN BRAND.
- VERIFY ALL FLOOR FINISHES PRIOR TO CONSTRUCTION.
- VERIFY ALL NOTED OPTIONS PRIOR TO CONSTRUCTION.
- REFER TO BUILDER / HOMEOWNER'S SPECIFICATIONS FOR ALL OTHER CONSTRUCTION AND FINISH DETAIL INFORMATION NOT FOUND ON THESE PLANS.
- ALL BEDROOM WINDOWS MUST MEET EGRESS REQUIREMENTS AS PER LOCAL CODE REQUIREMENTS. CONFIRM WITH WINDOW MANUFACTURER.
- WINDOWS AND GLASS AT SHOWERS, TUBS, STAIRWAYS, GLASS DOORS, WINDOWS ADJACENT TO DOORS, AND ALL WINDOWS 18" OR LESS ABOVE FINISHED FLOOR MUST BE TEMPERED. CONFIRM WITH WINDOW MANUFACTURER.
- ALL INTERIOR AND EXTERIOR GUARD & HAND RAILS MUST MEET LOCAL CODE REQUIREMENTS---CONFIRM WITH LOCAL BUILDING OFFICIALS. MRC 2015 R301.5
- THESE PLANS DO NOT NOR CANNOT FULLY DETAIL AND DEPICT EVERY ASPECT OF THIS BUILDING CONSTRUCTION. BUILDER MUST ADHERE TO ALL PERTINENT BUILDING CODES - MRC 2015.
- UNLESS SPECIFIC COPYRIGHT AGREEMENTS HAVE BEEN PREVIOUSLY DETERMINED AND MUTUALLY AGREED UPON, THESE PLANS AND DESIGNS CONTAINED HEREIN ARE CONSIDERED INTELLECTUAL COPYRIGHTS. UNDER CURRENT FEDERAL LAW THEY ARE PROPERTY OF GREG STAFFORD & ASSOCIATES. TO REPRODUCE AND UTILIZE THESE PLANS WITHOUT CONSENT OF GREG STAFFORD & ASSOCIATES IS ILLEGAL.
- BUILDER TO VERIFY ALL NOTES AND CONDITIONS PRIOR TO CONSTRUCTION. ALL CONSTRUCTION SITES ARE REQUIRED TO BE MAINTAINED IN A SAFE CONDITION AND TO BE PROTECTED FROM UNAUTHORIZED ENTRY. ALL EXCAVATIONS EXCEEDING 24 INCHES IN DEPTH, SUCH AS FOR BASEMENTS, CRAWL SPACES, POOLS AND SPAS MUST BE SECURED THROUGH THE USE OF A 4' HIGH FENCE. CONSTRUCTION TYPE FENCING WILL BE ALLOWED FOR A PERIOD NOT TO EXCEED 50 DAYS. AT SUCH TIMES, SHOULD THE PERMITTED WORK STILL PHYSICALLY BE UNABLE TO BE PROTECTED AND SECURED, A CHAIN LINK FENCE IS REQUIRED TO BE INSTALLED AND MUST REMAIN IN PLACE UNTIL ITS REMOVAL HAS BEEN AUTHORIZED BY THE BUILDING OFFICIAL. ALL AS PER MRC 2015 R104.1 AND MBC 2015 CHAPTER 55.
- ALL SHOWN DETAILS AND CONSTRUCTION NOTES MAY VARY DEPENDING UPON SPECIFIC CONDITIONS AND APPLICATIONS. ALSO, BUILDERS AND LOCAL BUILDING INSPECTORS MAY REQUIRE ADDITIONAL OR ALTER DETAILS AND NOTES AS PER LOCAL RESIDENTIAL BUILDING REQUIREMENTS. THIS DETAIL SHEET INTENDS TO BE IN COMPLIANCE WITH THE YEAR 2015 MICHIGAN RESIDENTIAL BUILDING CODE BOOK. COMPLETE SCOPE OF WORK FOR ALL PHASES OF CONSTRUCTION MUST CONFORM TO MINIMUM OF MICHIGAN RESIDENTIAL CODE 2015.
- 110V INTERCONNECTED SMOKE DETECTORS & CARBON MONOXIDE DETECTORS TO BE INSTALLED AND LOCATED AS PER MRC 2015 R315 & R314
- ALL WINDOW & DOORS TO BE IN COMPLIANCE WITH MRC 2015 REQUIREMENTS.

PRE-FABRICATED TRUSS NOTES:

- PRE-FABRICATED WOOD TRUSSES TO BE DESIGNED BY THE MANUFACTURER TO WITHSTAND LIVE AND DEAD LOADS AS REQUIRED BY THE STANDING BUILDING CODE. BRACE ALL TRUSSES BOTH DURING CONSTRUCTION AND PERMANENTLY.
- WOOD TRUSSES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MICHIGAN AND FABRICATED IN CONFORMANCE WITH THE "QUALITY CONTROL MANUAL" BY TRUSS PLATE INSTITUTE (TPI).
- FOR TRUSS DESIGN, CALCULATIONS ANCHORAGE DETAILS AND FINAL TRUSS PLAN LAYOUT. SEE CONSTRUCTION SHOP DRAWINGS SUPPLIED BY TRUSS MANUFACTURER.

MECHANICAL NOTES:

- IF REQUIRED: DIAGRAMS AND DRAWINGS TO BE PROVIDED BY BUILDING CONTRACTOR'S H.V.A.C. MECHANICAL CONTRACTOR IF AGREED UPON WITH OWNERS AND / OR ARCHITECT.
- H.V.A.C. CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL ALL HEATING AND AIR CONDITIONING SYSTEM COMPONENTS IN ACCORDANCE WITH STATE AND LOCAL CODES AS WELL AS NATIONAL FIRE PROTECTION ASSOCIATION REGULATIONS. MANUFACTURER'S INSTRUCTIONS SHALL ALSO BE FOLLOWED.
- ALL WORK MUST BE DONE IN ACCORDANCE WITH THE LATEST NATIONAL MECHANICAL CODE AND ALL APPLICABLE LOCAL CODES.

PLUMBING NOTES:

- ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PLUMBING CODE (LATEST EDITION) AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.
- DRAWINGS ARE DIAGRAMMATIC AND THE OMISSION OF ANY ITEM NECESSARY FOR THE PROPER INSTALLATION AND/OR FUNCTIONING OF THE SYSTEM SHALL NOT RELIEVE THE PLUMBING CONTRACTOR FROM PROVIDING SAME.

ELECTRICAL NOTES:

- THESE PLANS DO NOT SHOW EVERY DETAIL OF ELECTRICAL CONSTRUCTION. THE ELECTRICAL CONTRACTOR (E.C.) IS EXPECTED TO THOROUGHLY REVIEW THE PLANS AND REQUIREMENTS OF THE SYSTEM AND PROVIDE ALL ITEMS NECESSARY FOR A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM IN CONFORMANCE WITH THE PLANS. LOCATIONS AND SIZE OF LOADS ARE TO BE CHECKED BY THE LOCAL ELECTRICAL INSPECTOR AND MAKE ADJUSTMENTS ACCORDINGLY.
- CIRCUITS AND LIGHTING FIXTURES ARE SHOWN ON THE PLANS TO DETERMINE LOAD DATA, CIRCUIT, FEEDER, PANEL AND SERVICE SIZES. THE E.C. SHALL PROVIDE CIRCUITS AND CIRCUIT ROUTING TO SUIT JOB CONDITIONS AND FURNISH AND INSTALL LIGHTING FIXTURES AS SHOWN ON THE PLANS OR AS OTHERWISE APPROVED BY THE BUILDER / HOMEOWNER.
- VERIFY LOCATION OF ALL TELEPHONE, TELEVISION, SMART HOUSE SYSTEMS, AND COMPUTER NETWORK OUTLETS WITH BUILDER / HOMEOWNER.
- VERIFY LOCATION, IF ANY, OF ADDITIONAL EXTERIOR FLOOD LIGHTING, GROUND & UP LIGHTING, SECURITY SYSTEM, NITERCOM, STEREO SYSTEM, DOOR CHIMES, AND ANY ELECTRICAL WIRING FOR SWIMMING POOL OR SPA WITH BUILDER / HOMEOWNER.
- ARC FAULT PROTECTION IS REQUIRED ON BRANCH CIRCUITS SERVING SLEEPING ROOMS AS PER CODE REQUIREMENTS. (E3902.11)
- ELECTRICAL HOUSE GROUNDING BONDED WITH STEEL REINFORCING IN CONCRETE BASEMENT WALLS AS PER CODE. (E3606.1.2)

CONTRACTOR NOTES:

- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE ACCURACY OF FIELD MEASUREMENTS AND CONDITIONS AND SHALL BE RESPONSIBLE FOR THE PROPER ADAPTING OF HIS / HER WORK TO ANY EXISTING WORK OR PREVIOUSLY INSTALLED WORK OF OTHER TRADES. ALL MEASUREMENTS SHALL BE CHECKED AT JOB SITE. BEFORE ANY CHANGES ARE MADE, CONSULT ARCHITECT FOR APPROVAL.
- THE EXECUTION AND CONFORMANCE OF WORK IN ACCORDANCE WITH THESE PLANS, AND ANY DEVIATIONS OR OMISSIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND CITY LAWS, ORDINANCES, RULES AND REGULATIONS. THE CONTRACTOR SHALL FILE ALL NECESSARY APPLICATIONS AND PAY FOR AND OBTAIN ALL PERMITS AND CERTIFICATES OF APPROVAL PERTAINING TO THE CONSTRUCTION OF THIS BUILDING.
- ALL MATERIALS USED BY CONTRACTOR AND TRADES SHALL COMPLY WITH ALL CODES AND, REGULATIONS, UL RATINGS, AND ORDINANCES.

ENERGY CODE COMPLIANCE:

- THESE PLANS MEET 2015 MICHIGAN UNIFORM ENERGY CODE (MUEC) AND BUILDER TO PROVIDE, AS REQUIRED OR NEEDED - ALL SPECIFICATIONS OF INSULATING MATERIALS, MECHANICAL SYSTEM DESIGN CRITERIA, ETC. ALL AS PER MUEC 2015 R103.2
- THE COMPLIANCE PATH CHOSEN FOR MUEC 2015 WILL BE PRESCRIPTIVE PATH# APPROACH AND THIS HOUSE MEETS THIS CRITERIA.
- IF BUILDING DEPARTMENT REQUESTS, A HEAT PLAN WILL BE PROVIDED AS PER AGREEMENT BETWEEN GREG STAFFORD & ASSOCIATES AND BUILDER OR OWNERS.

PRESCRIPTIVE APPROACH

MIN. INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT BY CLIMATE ZONE 5A				
FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WO.FRAME WALL R-VALUE	MASS WALL R-VALUE
0.35	0.60	38	20 OR 15 + 5	15 / 17
FLOOR R-VALUE	BASEMENT B WALL R-VALUE	SLAB - WALL R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE	
30 D	10 / 13	10 AT 2 FT.	10 / 15	

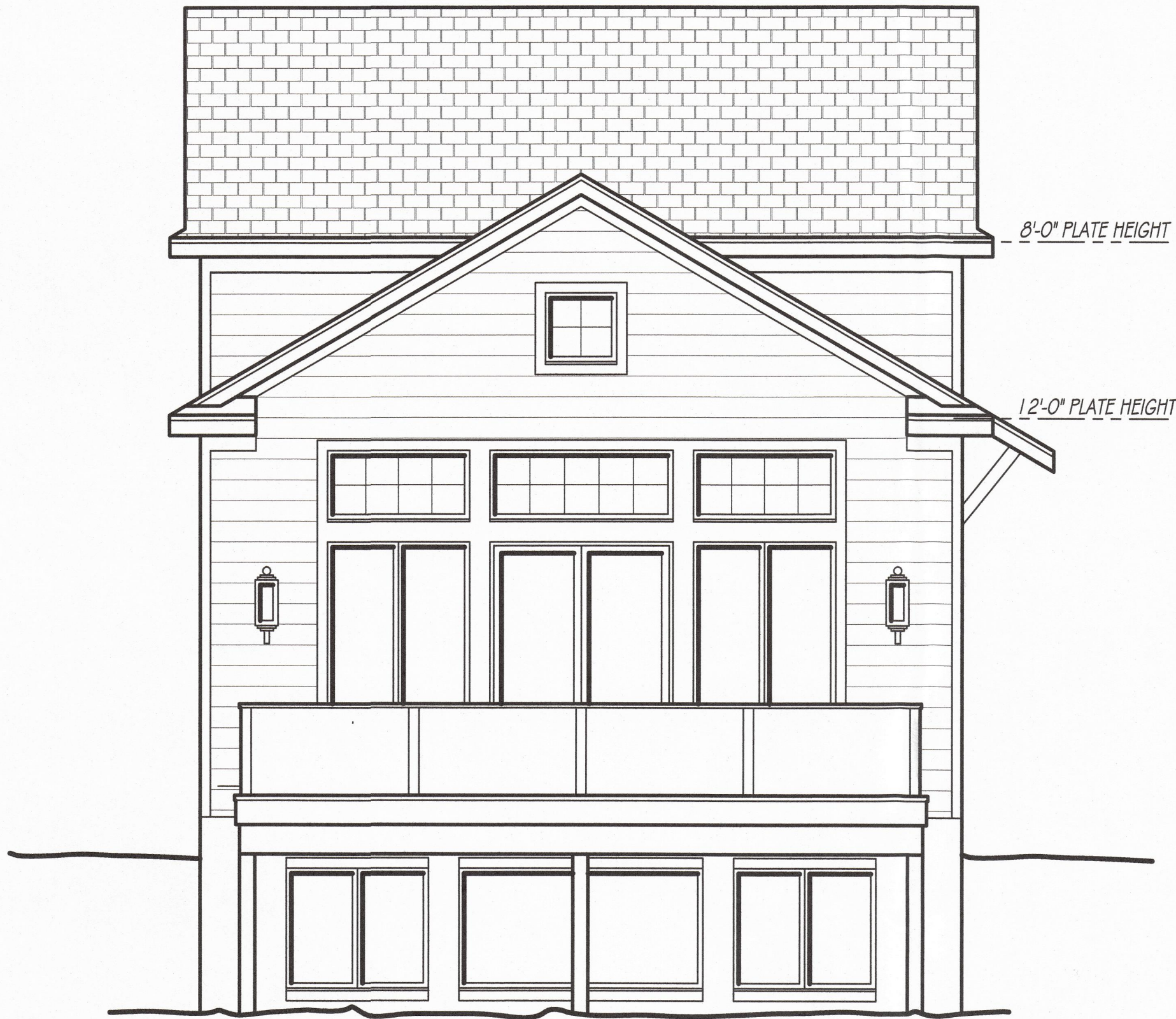
- THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS.
- THE FIRST R-VALUE APPLIES TO CONTINUOUS INSULATION, THE SECOND FRAMING CAVITY INSULATION, EITHER INSULATION MEETS REQUIREMENTS.
- R-5 SHALL ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. INSULATION DEPTH SHALL BE THE DEPTH OF THE FOOTING OR 2 FEET, WHICHEVER IS LESS, IN ZONES 1-3 FOR HEATED SLABS.
- OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM.
- "13+15" MEANS R-13 CAVITY INSULATION PLUS R-5 INSULATED SHEATHING. STRUCTURAL SHEATHING COVERS MORE THAN 25% OF EXTERIOR, STRUCTURE SHEATHING SHALL BE SUPPLEMENTED WITH INSULATED SHEATHING OF AT LEAST R-2.
- THE SECOND R-VALUE APPLIES WHERE MORE THAN HALF THE INSULATION IS ON THE INTERIOR.
- AIR LEAKAGE TEST WILL BE DONE AS PER MEUC 2015 SEC R402.4.

FOUNDATION NOTES:

- CONCRETE FOOTINGS ARE DESIGNED FOR A 2,500 POUND PER SQUARE FOOT BEARING CAPACITY. VERIFICATION OF CONC. FOOTING CAPACITY IS RECOMMENDED BY CONSULTING A STRUCTURAL ENGINEER. SOIL TESTING IS REQUIRED FOR AN ACCURATE COMPUTATION AND IS THE RESPONSIBILITY OF BUILDER / OWNER.
- ALL CONCRETE FOOTINGS TO COMPLY WITH THE YEAR 2015 MICHIGAN RESIDENTIAL BUILDING CODE

FRAMING NOTES:

- DOUBLE FLOOR JOISTS BELOW ALL PARTITIONS ABOVE THAT ARE PARALLEL TO JOISTS SPANS AND INSTALL LADDER FRAMING WHERE NECESSARY.
- ALL HEADERS - IF NOT NOTED OTHERWISE - TO BE MINIMUM (2) 2 x 8's.
- PROVIDE AND ENSURE SOLID / CONTINUOUS BEARING BENEATH ALL POINT LOAD TO FOUNDATION, I.E. - STEEL BEAMS, BASEMENT WALLS, CONC. FTGS, WOOD HEADERS, ETC.
- PROVIDE STEEL LINTELS AND NECESSARY STRUCTURAL SUPPORT FOR SUCH STEEL LINTELS FOR ALL MASONRY FINISH (BRICK, STONE, ETC.) ABOVE DOOR WINDOWS, ROOF, ETC.
- USE NOTED DIMENSIONS - DO NOT HAND SCALE!
- SEE CODE R602 FOR ALL SPECIFICATIONS FOR FASTENERS, CONNECTORS, NAILING.
- HANGER NAILING AND FASTENER SCHEDULE AS PER MANUFACTURER'S SPECS.
- INSTALL HURRICANE CLIPS THROUGHOUT AS PER MRC R802.11.1
- BRACED WALL PANELS WHERE NOTED OR REQUIRED AS PER MRC 2015 R-6



LAKEFRONT ELEVATION

SCALE: 1/4" = 1'-0"

S Q U A R E F O O T A G E

FIRST FLOOR 1100
SECOND FLOOR 564

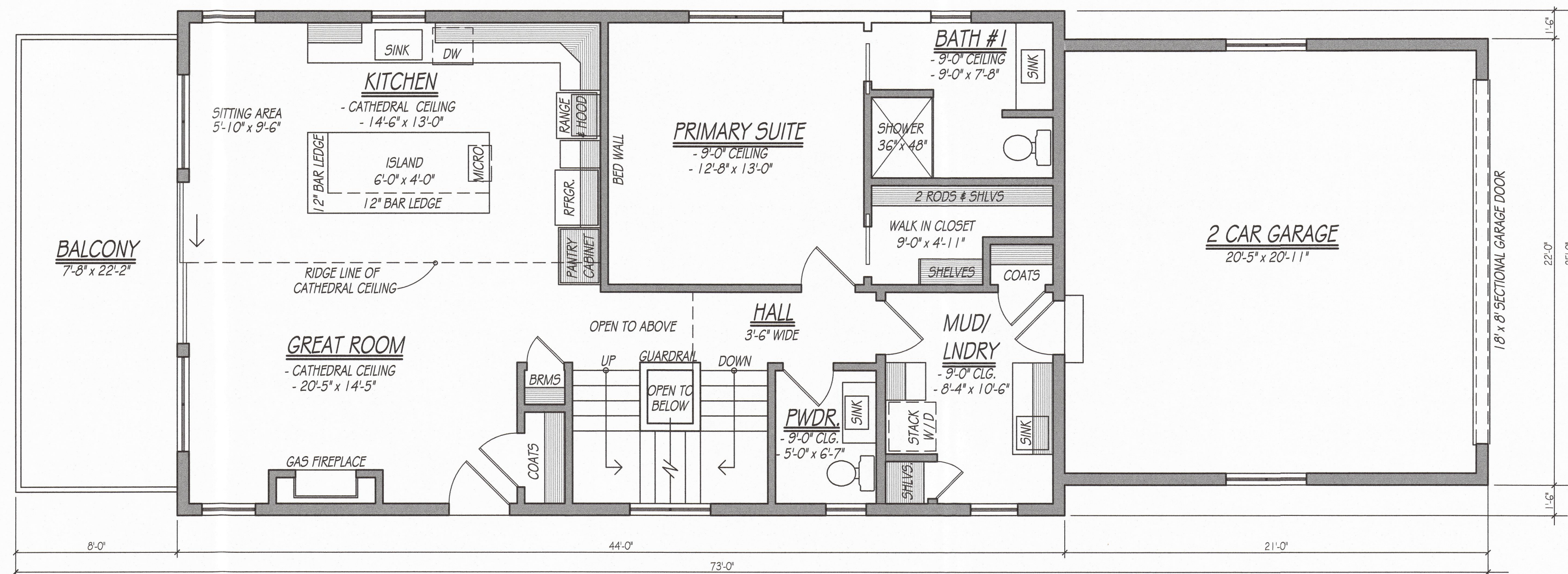
TOTAL LIVING 1664

BASEMENT 1100
GARAGE 462

REVIEW SET
NOT FOR CONSTRUCTION

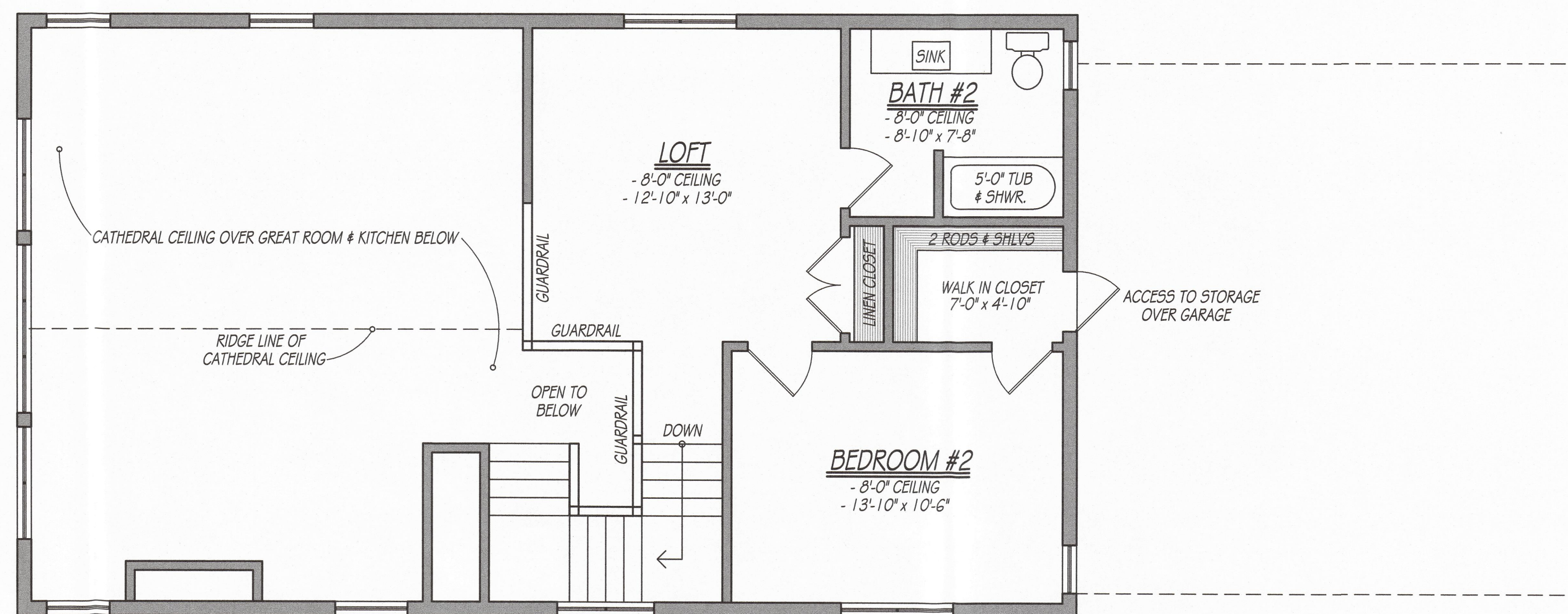
BUILDER:
BRIAN GALLEY
BELLA CUSTOM HOMES

G R E G S T A F F O R D			
# A S S O C I A T E S			
BLOOMFIELD HILLS, MICHIGAN			
SCALE: SHOWN	248.318.4811	DRAWN: G.S.	
DATE: 05/2024	GSASSOCIATES@ATT.NET	CHECKED: G.S.	
RESIDENCE FOR:			
M A R Y A J A			
PROJECT:		1689 SQ.FT. 2 BEDROOMS	PROJECT NO. 50124 of



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVIEW SET
NOT FOR CONSTRUCTION

G R E G S T A F F O R D	
# A S S O C I A T E S	
248.318.4811	G S A S S O C I A T E S @ A T T . N E T
PROJECT NO. 50124	SHEET NO. 2 of 5

G R E G S T A F F O R D	
# A S S O C I A T E S	
248.318.4811	GSA55OCIATES@ATT.NET
PROJECT NO. 50124	SHEET NO. 3 of 5



Charter Township of Highland (H) 11-11-234-011 Active

Print Date:

2106 Jackson Blvd
Highland MI 48356-1312

View: Front

Structure: Primary

Photo Date: 04/08/2013



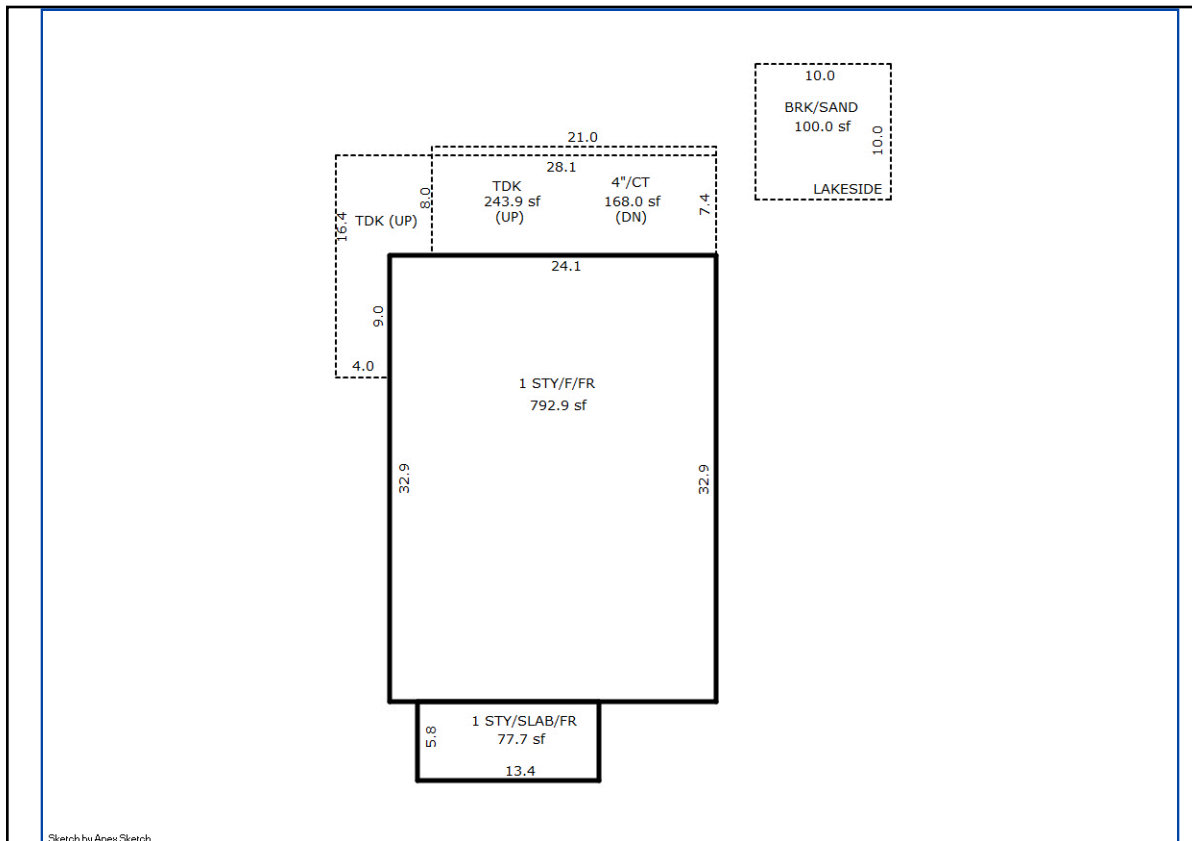
Parcel Sketch View

Charter Township of Highland (H)

Page Print Layout: **2 per page** ▼

PIN: 11-11-234-011

PRINT DATE: 2/5/2025



OAKLAND COUNTY SANITARY CODE APPEAL BOARD
APPEAL RESOLUTION

**DATE OF
APPEAL:** December 18, 2024

APPELLANT: Mary Aja
2106 Jackson Blvd.
Highland, MI 48356

**PROPERTY
DESCRIPTION:** Sidwell #11-11-234-011
2106 Jackson Blvd.
Highland, MI 48356

MOTION

Motion was made by Mr. Woodward to issue an on-site sewage disposal system permit with conditions using the plans that have been submitted to OCHD dated October 22, 2024. Prior to the *Permit to Install an On-site Sewage Disposal System* issued by OCHD, the existing on-site water well is to be properly plugged. In addition, a deed restriction is to be filed on the property that notifies potential and future owners that the property is served by an alternative onsite sewage disposal system that requires an Operation Permit issued by OCHD with annual routine maintenance and any other conditions set forth by OCHD. Mr. Hoffman seconded the motion.

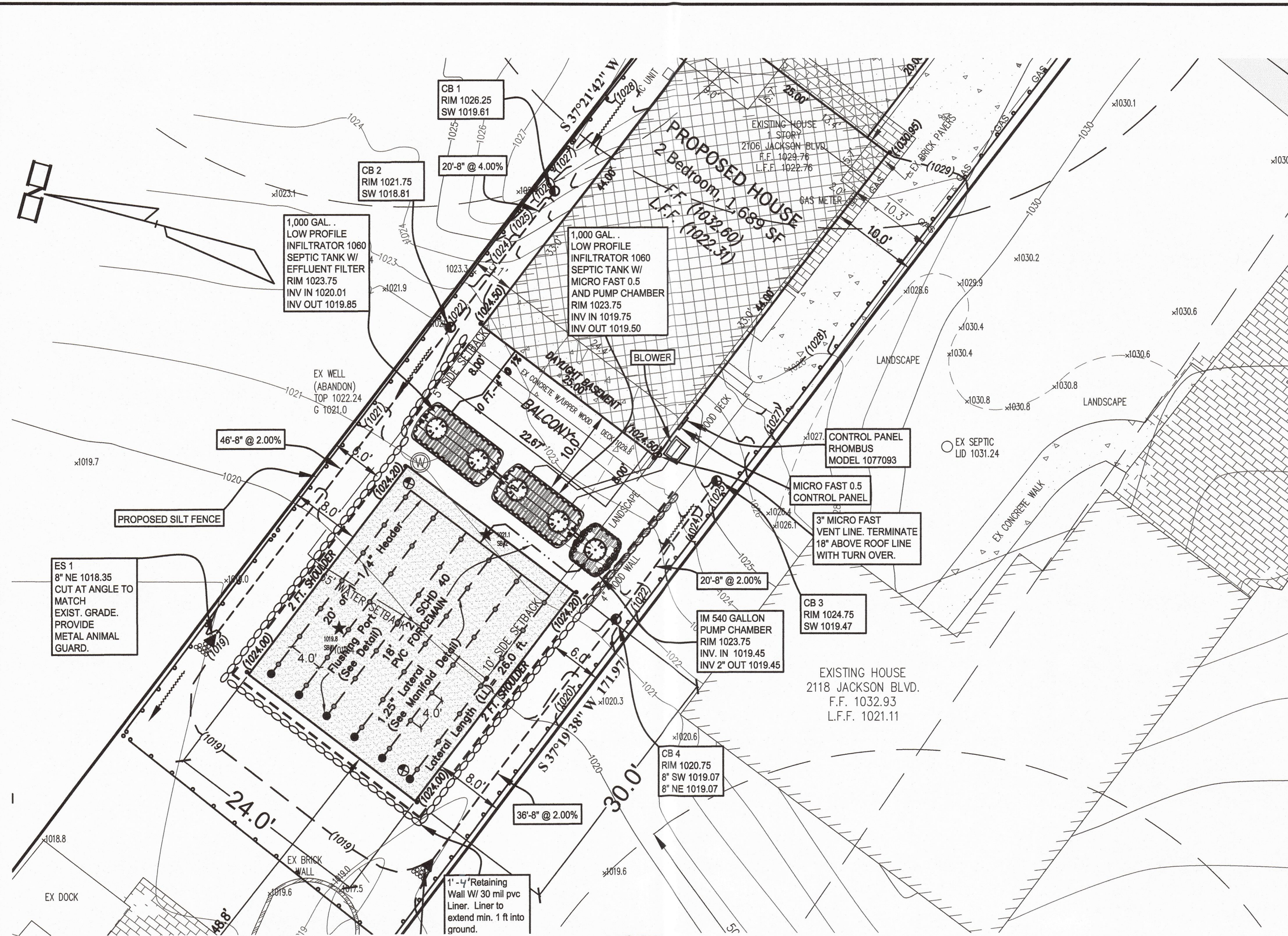
A roll call vote was taken:

Mr. Miller	Yes
Mr. Hoffman	Yes
Mr. Woodward	Yes
Ms. May-Seward	Yes

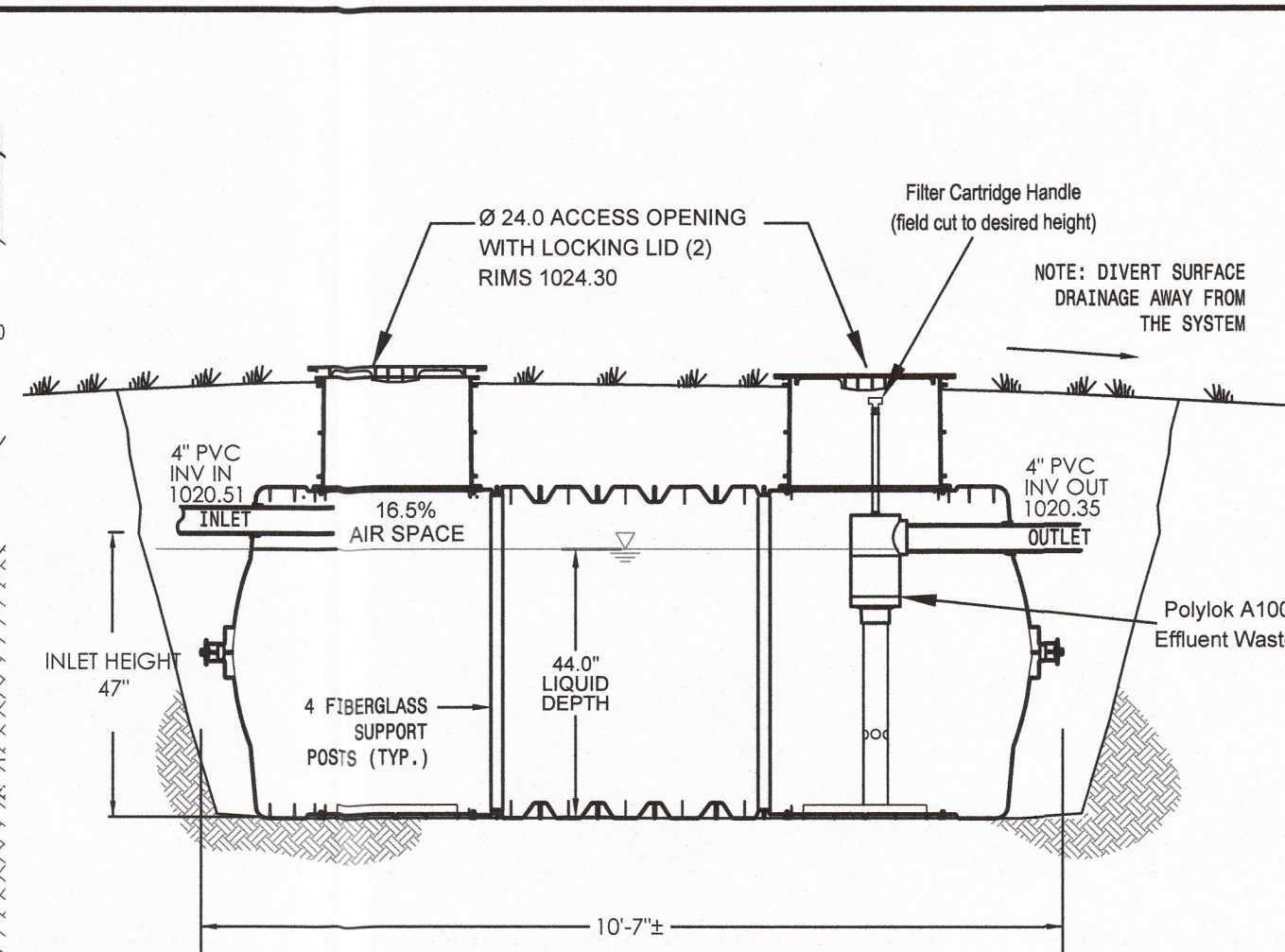
The motion was carried.

cc: Building Official, Highland
Kieft Engineering
Frank Rhodes, Sanitarian/Joe Kaighen, Supervisor/Laura Riddell, Chief

C:\2024\219 Bella.dwg|Bella Jackson Bio Plastic Smaller.dwg 1/13/2024 1:17:29 PM AutoCAD PDF (High Quality) Plot.pc3, 1:1



NOTE:
Calculations on these plans utilizing assumed invert elevation of stub at rear of house of 1020.35. Contractor shall verify elevation and contact Engineer if any issues arise.



IM-1060 SEPTIC TANK
TYPICAL INSTALLATION DETAIL

Pump Selection for a Pressurized System: Single Family Residence Project
2106 Jackson Blvd. / NEB 2024-019

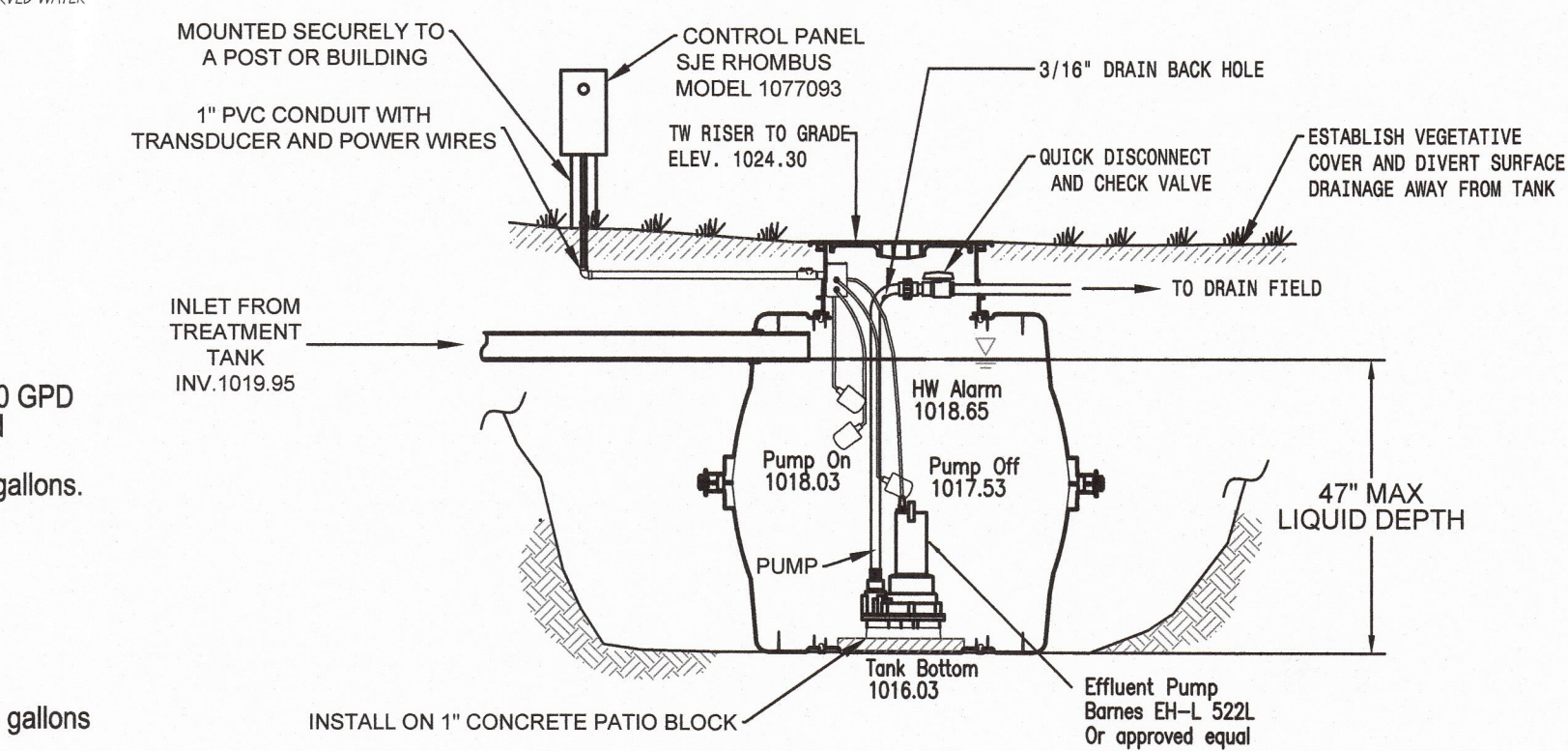
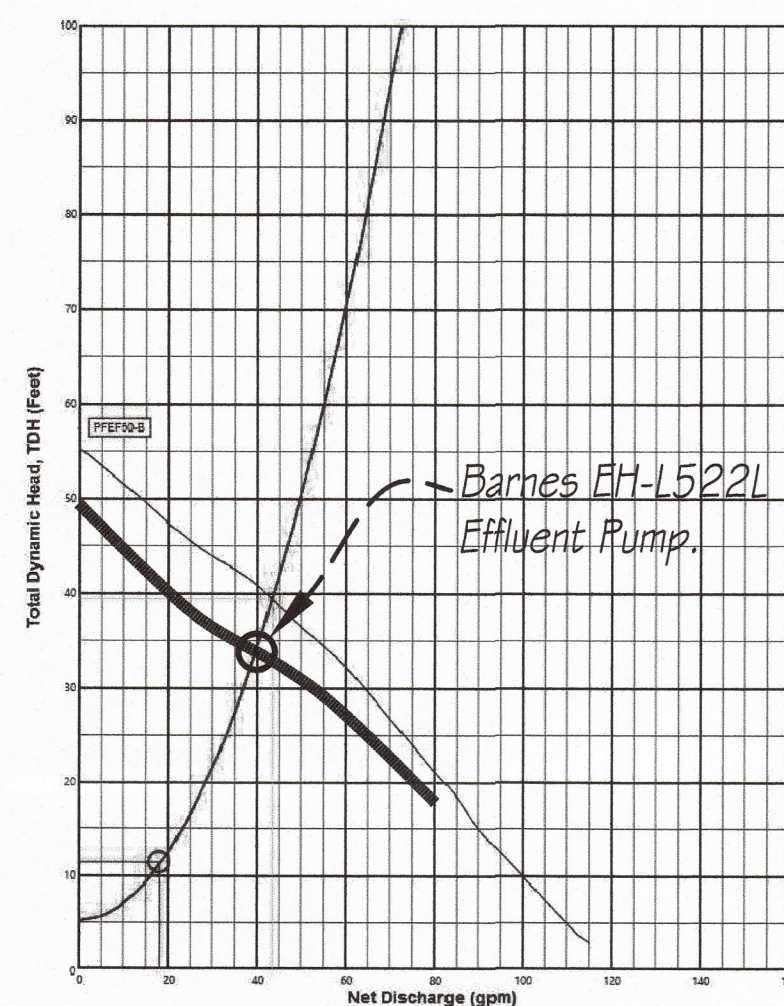
Parameters		
Discharge Assembly Size	2.00	inches
Transport Length	16.5	feet
Transport Pipe Class	40	
Transport Line Size	2.00	inches
Discharging Valve Model	None	
Max Elevation Lift	5.28	feet
Manifold Length	20	feet
Manifold Pipe Class	40	
Manifold Pipe Size	1.25	inches
Number of Laterals per Cyl	6	
Lateral Length	20	feet
Lateral Pipe Class	40	
Lateral Pipe Size	1.25	inches
Office Size	18	inches
Office Opening	4	feet
Residual Head	5	feet
Flow Meter	None	inches
Add-on Friction Losses	0	feet

Calculations		
Minimum Flow Rate per Office	0.43	gpm
Number of Offices per Zone	42	
Total Flow Rate per Zone	18.2	gpm
Number of Laterals per Zone	6	
% Flow Differential Last Last Office	0.1	%
Transport Velocity	1.7	fps

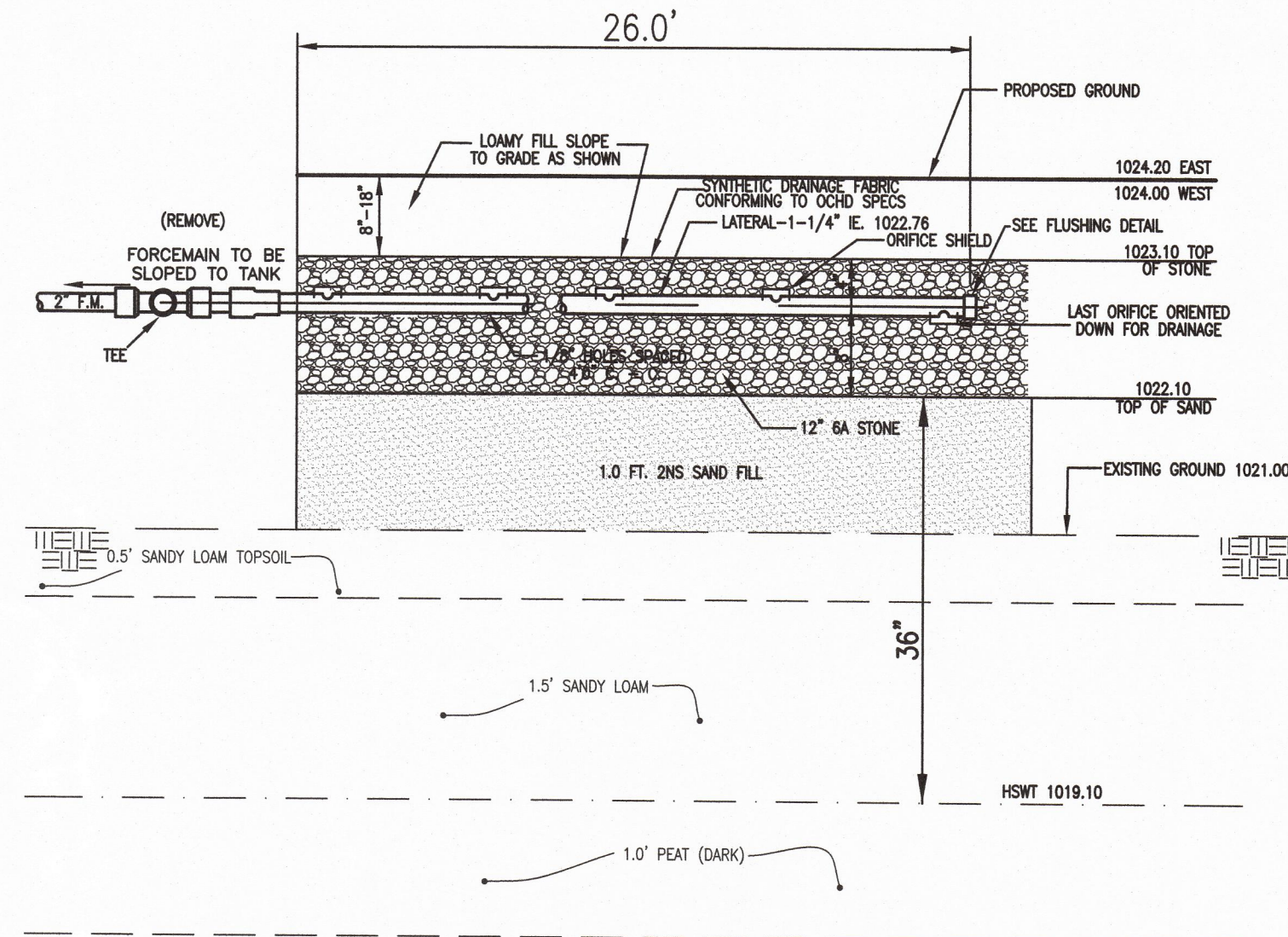
Friction Head Losses		
Loss Through Discharge	0.7	feet
Loss in Transport	0.1	feet
Loss Through Valve	0.0	feet
Loss in Manifold	0.2	feet
Loss in Lateral	0.0	feet
Loss Through Flowmeter	0.0	feet
Add-on Friction Losses	0.0	feet

Pipe Volumes		
Vol of Transport Line	2.8	gals
Vol of Manifold	1.9	gals
Vol of Laterals per Zone	12.1	gals
Total Volume	16.5	gals

Minimum Pump Requirements		
Design Flow Rate	18.2	gpm
Total Dynamic Head	11.3	feet



IM-540 PUMP TANK
TYPICAL INSTALLATION DETAIL



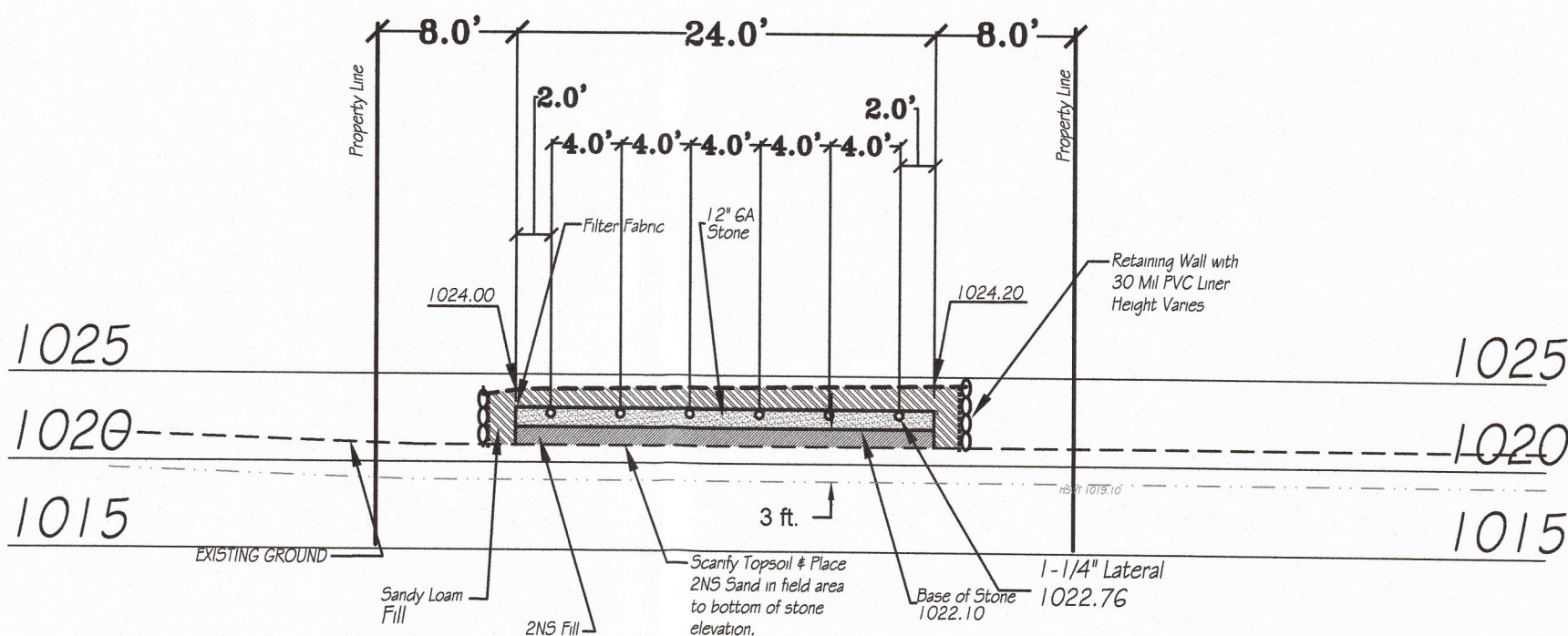
Application Check

Total Flow for 2 BR House = 300 GPD
Total Area of Final Disposal Bed = 24 X 30 = 720 S.F.
Therefor Application Rate = 300/720 = 0.416 gal/day/sf of bed area
Application rate for Pre-Treatment Systems is not included in Article III.
Therefor using Mich. Criteria the allowable application rate for PT Effluent in Sandy Loam is 1.0 g/d/sf. There 0.416 is considered acceptable by this office. In addition it should be noted that the MicroFast 0.5 Unit is NSF/ ANSI 245 and NSF/ANSI 40 Certified and the application rate meets OCHD Article III.

OCHD NOTE

- AN ANNUAL OPERATION PERMIT IS REQUIRED FOR THE ENGINEER/ALTERNATIVE SYSTEM ON THIS PROPERTY AND MUST BE MAINTAINED FOR THE LIFE OF THE SYSTEM. THE PERMIT IS NOT TRANSFERABLE WITH CHANGE OF OWNERSHIP. ALTERNATIVE AND ENGINEERED SYSTEMS SHALL BE MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER RECOMMENDATIONS (O&A) A FREQUENCY SET FORTH BY THE HEALTH OFFICE. OPERATION PERMITS ARE REQUIRED ANNUALLY FOR THE LIFE OF THE SYSTEM.
- PRIOR TO OCHD GRANTING FINAL APPROVAL FOR THE USE OF AN ALTERNATIVE ON-SITE WASTEWATER TREATMENT SYSTEM, THE FOLLOWING SHALL BE RECORDED WITH THE OAKLAND COUNTY REGISTER OF DEEDS IN THE FORM OF A DEED RESTRICTION AND CONTAIN, AT A MINIMUM, THE FOLLOWING INFORMATION OR STATEMENTS:

A. LEGAL DESCRIPTION OF SUBJECT PROPERTY UTILIZING ALTERNATIVE TECHNOLOGY.
B. STATEMENT:
"THIS STRUCTURE IS SERVED BY A BIOMICROBICS WASTEWATER DISPOSAL SYSTEM IN ACCORDANCE WITH OAKLAND COUNTY HEALTH DIVISION STANDARDS.
THE BIOMICROBICS SYSTEM, SEPTIC TANK EFFLUENT FILTER, AND PUMPS/POSSIBLE REQUIRE ROUTINE OPERATION TESTING AND MAINTENANCE AND REQUIRES AN ANNUAL OPERATION PERMIT TO BE ISSUED BY THE OAKLAND COUNTY HEALTH DIVISION.
AN OPERATION AND MAINTENANCE MANUAL FOR THIS SYSTEM HAS BEEN DEVELOPED WITH A COP ON FILE AND AVAILABLE FOR REVIEW AT THE OAKLAND COUNTY HEALTH DIVISION."



Cross Section A-A
Scale 1" = 10' H, 1" = 10' V.

DATE	ISSUE

PROPRIETOR:
MARY AJA
2106 JACKSON BOULEVARD
HIGHLAND, MICHIGAN 48356

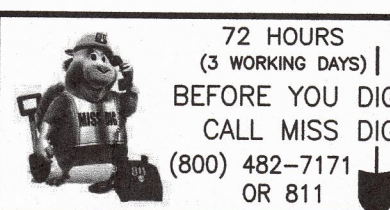
BUILDER:
BELLA CUSTOM HOMES INC.
9784 KINGSTON POINT DRIVE
CLARKSTON, MI 48348
(248) 421-5466 BRIAN GALLEY

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KIEFT ENGINEERING, INC.
PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS
5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346
PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

DATE 10/22/24	CKD. BY	DATE
DRAWN DSW		
DESIGN DSW		
SECTION 11	T-3 -N- R-7-E	



SITE PLAN & ENGINEERED SEPTIC PLAN
Parcel No. 11-11-234-011 (2106 Jackson Blvd.)
PART OF THE E 1/2 OF THE NE 1/4 OF SECTION 11, T3N, R7E, TOWNSHIP OF HIGHLAND, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 10'
SHEET 2 OF 2
KE 2024.219

AIA SEPTIC

To the Highland Township Board of Representatives:

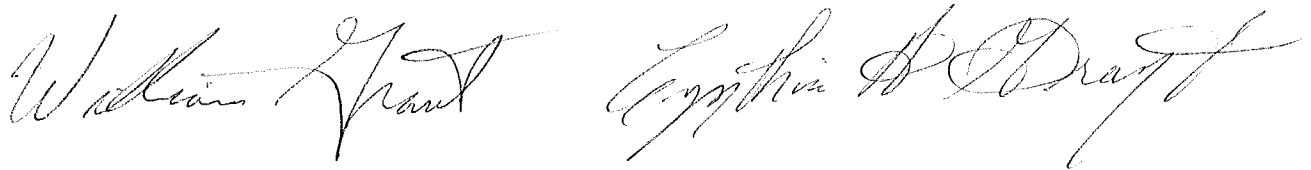
We are next door neighbors to Mary Aja. She has been a wonderful neighbor who is very attentive to the upkeep of her home and yard. In regard to the upgrade to her home, we have absolutely no reservations. We have no objections to any variances that will be necessary for her new home. We have no objections to the demolition and building of her new home. We have seen her plans and we are excited to see her vision become reality. In addition the upgrade of her home will increase the value of the entire neighborhood.

We request this township board grant Mary Aja permission to build her vision as represented. Thank you for your consideration.

William and Cynthia Grant

2098 Jackson Blvd.

Highland, Mi 48356

The block contains two handwritten signatures in cursive. The signature on the left is 'William Grant' and the signature on the right is 'Cynthia Grant'. Both are written in dark ink.

February 2, 2025

To Whom It May Concern,

We have enjoyed having Mary Aja as our neighbor. She takes pride in keeping her lake home clean and neat and has made the waterfront a lovely oasis on our Duck Lake.

When we heard that she was planning to replace her cottage with a lovely home. We were very pleased. Pleased for her, and pleased for us; the neighborhood home owners.

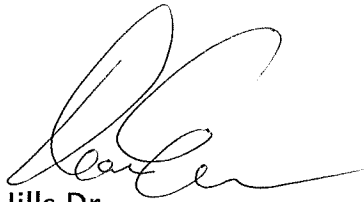
This will doubtless improve our neighborhood considerably, raise our property values, and help improve the tax base for Highland Township.

Most of us in this area are long-time residents with no intention of ever leaving Highland. When one wins, we all win!

We respectfully request that you will grant Mary her necessary variances to complete this project.

Sincerely,

Dave Thomson



4525 Highland Hills Dr.
Highland, Mi. 48356

Sue Thomson



February 3, 2025

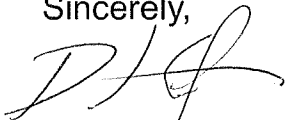
To Whom It May Concern,

We are writing to express our support for our neighbor, Mary Aja, as she seeks approval for her construction project. We live next door to the east at 2118 Jackson Blvd. Over the years, Mary has proven to be a considerate and cooperative neighbor, and we appreciate her proactive communication about her plans.

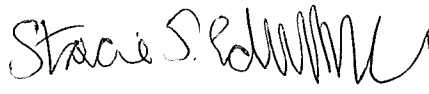
Mary has proposed reconstructing her home, which we believe can enhance the aesthetics and value of not just her property, but our neighborhood as a whole. Home improvements such as these are important for maintaining and enhancing the character of our community. We appreciate that the township's review process will thoughtfully consider any potential concerns related to construction impact, timelines, and compliance with zoning laws.

Thank you for taking our perspective into consideration. We support moving forward with the current scope of the plans that she has described to us. Should any issues arise that require further discussion, please feel free to contact us at 734-812-4631 or edingtondg@yahoo.com

Sincerely,



David Edington



Stacie Edington

February 2, 2025

I am writing on behalf of my neighbor across the street on Jackson Blvd.

As a new homeowner, presently engaged in renovating my own home, I can appreciate her desire to improve her home and I applaud her.

I believe this construction project is a win-win for all of us.

She is also a very pleasant person to have as a neighbor

I vote yes for all permits to be granted.

Thanks

Dave Thomson Jr.

A handwritten signature in black ink, appearing to read "Dave Thomson Jr.", with a stylized, cursive script.

2141 Jackson Blvd.
Highland, Mi. 48356

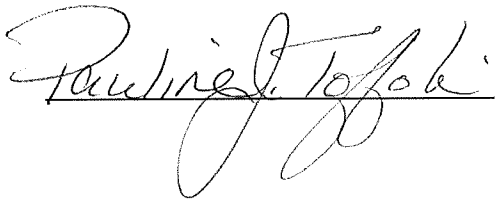
2072 Jackson Blvd.
Highland, MI. 48356
1/16/2025

To Whom It May Concern,

We are writing to express our full support for the proposed reconstruction of Mary Aja's home, located three houses away from ours. We believe that the planned improvements will be a positive change for the neighborhood, enhancing both the aesthetic appeal and overall atmosphere of our community.

Thank you for your time and consideration of this matter.

Sincerely,
Pauline and Richard Toffoli

A handwritten signature in cursive script, reading "Richard Toffoli", written over a horizontal line.A handwritten signature in cursive script, reading "Pauline Toffoli", written over a horizontal line.

2106 JACKSON BLVD HIGHLAND MI 48356-1312



2 beds / 1 full baths / 0 half baths / 871 sq ft

Residential Property Profile

11-11-234-011

Note: Please be advised the data included in Property Gateway originates from multiple local municipalities. Data, in regard to properties, may be classified and updated differently by municipalities. If you have any questions, please contact the local community where the data originated.

Owner Information

Owner(s) : MARY AJA
Postal Address : 2106 JACKSON BLVD HIGHLAND MI 48356-1312

Location Information

Site Address : 2106 JACKSON BLVD HIGHLAND MI 48356-1312
PIN : 11-11-234-011 Neighborhood Code : LDL
Municipality : Charter Township of Highland
School District : 63220 HURON VALLEY SCHOOLS
Class Code : 401 Residential - Improved

Property Description

T3N, R7E, SEC 11 DUCK LAKE PARK SUB LOT 161

Most Recent Sale Since 1994

Date : 04/28/2021
Amount : \$1 Liber : 56256:786
Grantor : AJA, MARY Grantee : AJA, MARY

Next Most Recent Sale

Date : 09/30/2015
Amount : \$226,000 Liber : 48714:817
Grantor : SPARRER, JOHN
SPARRER, JACQUELINE Grantee : AJA, MARY

Residential Property Profile

11-11-234-011

Note: Please be advised the data included in Property Gateway originates from multiple local municipalities. Data, in regard to properties, may be classified and updated differently by municipalities. If you have any questions, please contact the local community where the data originated.

Tax Information

Taxable Value	: \$111,130	State Equalized Value	: \$160,920
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Current Assessed Value	: \$160,920	Capped Value	: \$111,130
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Effective Date For Taxes	: 12/01/2024	Principal Residence Exemption Type	: N/A
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Summer Principal Residence Exemption Percent	: 100%	Winter Principal Residence Exemption Percent	: 100%
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2023 Taxes

2024 Taxes

Summer	: \$2,382.83	Summer	: \$2,498.03
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Winter	: \$1,644.84	Winter	: \$1,737.37
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Village	:	Village	:
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Lot Information

Description	: LEVEL	Area	: 0.159 ACRES
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Primary Structure

Structure	: Bungalow	Living Area	: 871 SQ FT
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Ground Floor	: 871 SQ FT	Year Built	: 1928
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Effective Year	: 1979	Remodel Year	: 1996
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Stories	: 1 Story	Rooms	: 3
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Bedrooms	: 2	Full Baths	: 1
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Half Baths	: 0	Fireplaces	: 1
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Ext Walls	: Alum., Vinyl	Basement	: YES - FULL
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Garage	: None	Heat	: Forced Air w/ Ducts
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Fuel Type	: Gas	Central Air	: No
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Basement Information

Finish	: LIVING AREA FINISH	Area	: 683 SQ FT
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Porch Information

Type	Area
Treated Wood	244 SQ FT