



## **CHARTER TOWNSHIP OF HIGHLAND**

205 N. John Street - Auditorium - Highland, Michigan 48357 248/887-3791

### **REGULAR BOARD OF TRUSTEES MEETING AGENDA**

**SEPTEMBER 9, 2024 - 6:30 P.M.**

1. Call Meeting to Order
2. Pledge of Allegiance
3. Roll
4. Approval of Agenda
5. Consent Agenda Approval  
Approve:
  - a) August 12, 2024 Board of Trustees Minutes
  - b) List of Bills dated August 22, 2024 and September 5, 2024 plus additions
  - c) Appoint Lisa Rehbine Highland Activity Center Council Member
  - d) Budget Amendment for DDA Additional Revenue and Expense Adjustments
  - e) Hire Andrew Webster for Substitute Crossing Guard Position  
Receive and File:  
Activity Advisory Council Minutes – July 2024  
Activity Advisory Council Treasurer’s Report – July 2024  
Activity Center Director's Report – July 2024  
Financial Report – June 2024  
Fire Department Report – August 2024  
Library Board Minutes – July 2024  
Library Director’s Report – July 2024  
Treasurer Report - July 2024  
Zoning Board of Appeals Minutes - July 17, 2024 and August 7, 2024  
Fire Department Notification of Open Position  
The Percy A. Duncan and Ethel J. Duncan Trust Distribution to Highland Fire Department
6. Announcements and Information Inquiry:
  - a) Farmers’ Market on Saturdays thru October 5th at Highland Township Complex
7. Public Comment
8. Presentation:
  - a) Highland DDA 2024 Accreditation
9. Public Hearing:
  - a) Resolution 24-26 to Proceed with the Lower Pettibone Lake Special Assessment District for the Control of Weeds in Peninsula Lake and related Services Pursuant to 1954 P.A. 188 as Amended

10. New Business:
  - a) URSA 24-04 Special Approval of Land Use to establish a gas station at the SE Corner of M-59 and Milford Road at the former site of a Marathon Gas Station, 394 N Milford, PIN 11-22-376-008, Applicant and Property Owner: Tarek Gayar, G&G Investments, LLC
  - b) URSA 24-05 Special Approval of Land Use to expand Wiggles and Giggles Child Care Center by adding a portable classroom building, 1131 White Lake Road, PIN 11-02-300-002 Applicant and Property Owner: Khaled Mheisen, KHAB, LLC
  - c) Fire Department Request to Purchase Stryker Equipment
  - d) Resolution 24-25 Establish Millage Rates for 2025 Budget
  
11. Adjourn

This zoom connection will be available to the public: <https://us02web.zoom.us/j/86045663899>.  
Meeting ID: 860 4566 3899

Any member of the audience wishing to address the board will be asked to state his/her name and address. Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the Clerk's office at (248) 887-3791 X5 prior to the meeting. Our staff will be pleased to make the necessary arrangements.



**1. Call Meeting to Order**

**Time:** \_\_\_\_\_

**Number of Visitors:** \_\_\_\_\_

## **2. Pledge of Allegiance**

# Township Board Meeting Roll

Date: September 9, 2024

**Present**

\_\_\_\_\_  
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**Absent**

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**Board Member**

Rick A. Hamill  
Tami Flowers  
Jenny Frederick  
Judy Cooper  
Brian Howe  
Beth Lewis  
Joseph Salvia

Start Time: \_\_\_\_\_ End Time: \_\_\_\_\_

#### **4. Approval of Agenda**

## **5a. Consent Agenda Approval**

- a) August 12, 2024 Board of Trustees Minutes
- b) List of Bills dated August 22, 2024 and September 5, 2024 plus additions
- c) Appoint Lisa Rehbine Highland Activity Center Council Member
- d) Budget Amendment for DDA Additional Revenue and Expense Adjustments
- e) Hire Andrew Webster for Substitute Crossing Guard Position

CHARTER TOWNSHIP OF HIGHLAND  
REGULAR BOARD OF TRUSTEES MEETING  
August 12, 2024 - 6:30 p.m.

The meeting was called to order at 6:30 p.m. with the Pledge of Allegiance.

Roll Call: Rick Hamill, Supervisor  
Tami Flowers, Clerk  
Jennifer Frederick, Treasurer  
Judy Cooper, Trustee  
Brian Howe, Trustee  
Beth Lewis, Trustee  
Joseph Salvia, Trustee- arrived at 6:47 p.m.

Also Present: Fire Chief Nick George  
Lieutenant Matt Snyder  
Lisa Hamameh, Township Attorney

Visitors: 6

**Approval of Agenda:**

Mr. Hamill added New Business Item d) – Vending Machines at Hickory Ridge Park and moved Item d) Handling of Air Conditioner Replacement to the end of New Business Item i). Mr. Howe approved the agenda as amended. Mrs. Lewis supported, and the motion carried with the following roll call vote: Hamill – yes, Flowers – yes, Frederick – yes, Cooper – yes, Howe – yes, and Lewis – yes.

**Consent Agenda Approval:**

- a) July 1, 2024 Board of Trustees Minutes
- b) List of Bills dated July 11, 2024, July 25, 2024, and August 8, 2024 plus additions
- c) 2024 Gen-X Duck Lake Association Fireworks Permit
- d) Messaging Privacy Policy and Terms
- e) Huron Valley Youth Assistance Sponsorship

**Receive and File:**

Activity Center Council Minutes – June 2024  
Activity Center Council Treasurer’s Report – June 2024  
Activity Center Director’s Report – June 2024  
Building Department Report – June and July 2024  
Fire Department Report – June and July 2024  
Library Board Meeting Minutes – July 2024  
Library Director’s Report – July 2024  
Planning Commission Minutes – June 6, June 20, and July 18, 2024  
Sheriff’s Department Report – Jul 2024  
Treasurer’s Report – June 2024  
Zoning Board of Appeals Minutes – June 19, 2024

Mr. Howe moved to approve the Consent Agenda as presented. Mrs. Lewis supported, and the motion carried with the following roll call vote: Hamill – yes, Flowers – yes, Frederick – yes, Cooper – yes, Howe – yes, and Lewis – yes.

**Announcements and Information Inquiry:**

- a) Turnout Gear Grant
- b) Farmers' Market every Saturday thru October 5th at Highland Township Complex
- c) Sounds Like Summer Concert Series Tuesdays, through August 20th at 7:00 p.m. in Veterans Park

**Public Comment:**

Mr. Howe congratulated Trustees Lewis and Salvia and stated that he is grateful for having been one of the trustees nominated in the Primary election. Grant Charlick was also nominated in the Primary. In addition, he thanked Clerk Flowers for a great job on the election.

**New Business:**

- a) URSA 24-03 Special Approval of Land Use for School Bell Child Care; 4501 West Highland Road; Parcel #11-30-101-002; East of Highland Road and South Tipsico Lake Road Intersection; Applicant: School in the Pines Inc. and Marc Kasabasic

Mr. Hamill moved to approve case URSA 24-03, for the School Bell Child Care Center expansion, 45011 W. Highland Road, Parcel 11-30-101-002, based upon findings of compliance with the standards of review and approval as recommended by the Planning Commission and as outlined in the report from Carlisle Wortman Associates and further based on the site plan by Boss Engineering dated May 31, 2024. Mr. Howe supported, and the motion carried with the following roll call vote: Hamill – yes, Flowers – yes, Frederick – yes, Cooper – yes, Howe – yes, and Lewis – yes.

- b) Resolution 24-24: Tentatively Determining Intent to Form the Lower Pettibone Lake Special Assessment district for the Control of Weeds in Lower Pettibone Lake and Related Services Pursuant to 1954 P.A. 188, as amended

Mrs. Cooper moved to approve Resolution 24-24: Tentatively Determining Intent to Form the Lower Pettibone Lake Special Assessment district for the Control of Weeds in Lower Pettibone Lake and Related Services Pursuant to 1954 P.A. 188, as amended. Mrs. Lewis supported, and the motion carried with the following roll call vote: Hamill – yes, Flowers – yes, Frederick – yes, Cooper – yes, Howe – yes, and Lewis – yes.

- c) Proposal for Acoustic Improvements to Township Auditorium

Mr. Hamill moved that due to the limited availability of vendors, we waive the purchasing policy and authorize the Supervisor to sign the contract with Stony Creek Service Inc. and proceed with the acoustic enhancements for the Highland Township Auditorium in the amount of \$16,470 subject to attorney approval. Mr. Howe supported, and the motion carried with the following roll call vote: Hamill – yes, Flowers – yes, Frederick – yes, Cooper – yes, Howe – yes, Lewis – yes, and Salvia – yes.

- d) Vending Machine at Duck Lake Pines

Mr. Hamill moved to authorize the Supervisor to develop documents with attorney for leasing space for a vending machine at Duck Lake Pines. Mr. Howe supported the motion. After discussion Mr. Hamil withdrew his motion and Mr. Howe supported to withdraw the motion.

i) Handling of Air Conditioner Replacement

Mr. Hamill explained the contract with WOTA states they are required to cover the cost of any heating and cooling and things like that. After talking to Kim Viener the cost for replacing the air conditioning unit will be allocated to WOTA.

e) Award Snow Plowing Contract

Mr. Hamill moved to authorize the Supervisor to sign the contract and award the snow plowing services to Golden's Lawn Care LLC in the amount of \$60,360 subject to attorney approval. Mr. Howe supported, and the motion carried with the following roll call vote: Hamill – yes, Flowers – yes, Frederick – yes, Cooper – yes, Howe – yes, Lewis – yes, and Salvia – yes.

f) Artificial Turf Purchase-Highland Township Offices

Mr. Hamill moved to authorize the Supervisor to proceed with the purchase of artificial turf from Rock Bottom Supply in the amount of \$11,398.50. Mr. Howe supported, and the motion carried with the following roll call vote: Hamill – yes, Flowers – no, Frederick – yes, Cooper – yes, Howe – yes, Lewis – yes, and Salvia – yes.

g) Painting of 250 West Livingston Road

Mr. Hamill moved to waive the Purchasing Policy and authorize the Supervisor to sign the contract with Diedrich Painting in the amount of \$13,044 to paint the soffits and exterior surfaces at 250 West Livingston Road subject to attorney approval. Mr. Howe supported, and the motion carried with the following roll call vote: Hamill – yes, Flowers – no, Frederick – yes, Cooper – yes, Howe – yes, Lewis – yes, and Salvia – yes.

h) Budget Amendments:

- 1) Budget Amendment for Multiple General Fund Expenses
- 2) Budget Amendment Refuse Fund 2024
- 3) Budget Amendment Fire Department Revenue/Expenses
- 4) Budget Amendment Fire Capital Interest Revenue/Expenses
- 5) Budget Amendment for New Park Property Closing Costs
- 6) Budget Amendment 250 W. Livingston Improvements

Mrs. Flowers moved to approve the Budget Amendments as presented with the exception of Item 6, Budget Amendment 250 W. Livingston Improvements which is reduced from \$50,000 to \$36,000. Mr. Howe supported, and the motion carried with the following roll call vote: Hamill – yes, Flowers – yes, Frederick – yes, Cooper – yes, Howe – yes, Lewis – yes, and Salvia – yes.

**Adjourn:**

Supervisor Hamill adjourned the meeting at 7:43 p.m.



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Tami Flowers, MiPMC  
Highland Township Clerk

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Rick A. Hamill  
Highland Township Supervisor

UNAPPROVED

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
<b>GENERAL FUND</b>					
<b>101-000-072.000 COUNTY OF OAKLAND</b>					
1159	TREASURER	101-RIDGEWOOD-OAK CTY	JUL 2024	08/08/2024	213.50
1159	TREASURER	101-HIGHLAND GREENS-OAK CTY	JULY 2024	08/08/2024	348.50
1159	TREASURER	101-HIGHLAND HILLS OAK CTY	JULY2024	08/08/2024	144.00
<b>101-000-075.000 HURON VALLEY SCHOOLS</b>					
1159	TREASURER	101-RIDGEWOOD-HVS	JUL 2024	08/08/2024	854.00
1159	TREASURER	101-HIGHLAND GREENS-HVS	JULY 2024	08/08/2024	1,394.00
1159	TREASURER	101-HIGHLAND HILLS HVS	JULY2024	08/08/2024	576.00
<b>101-000-202.001 BUILDING BONDS PAYABLES</b>					
4912	BOLES, RICK	101-ESCROW/BUILDING	B24-00266	08/19/2024	125.00
4597	BOTTOMS UP CONTRACTING	101-ESCROW/BUILDING	B24-00218	08/07/2024	125.00
4914	BRIGHT BUILDING CO INC	101-ESCROW/BUILDING	B24-00275	08/19/2024	250.00
6694	CLEMENT CONSTRUCTION CO.	101-ESCROW/BUILDING	B24-00215	08/07/2024	250.00
6694	CLEMENT CONSTRUCTION CO.	101-REINSPECTION FEE	B24-00215	08/07/2024	60.00-
2173	DIEDRICH, RONALD W	101-ESCROW/BUILDING	B21-00509	08/19/2024	125.00
5309	EGRESS SOLUTIONS INC.	101-ESCROW/BUILDING	B24-00286	08/07/2024	125.00
4913	FOREST RIDGE CONSTRUCTION	101-ESCROW/BUILDING	B22-00482	08/19/2024	4,000.00
4913	FOREST RIDGE CONSTRUCTION	101-REFUSE FEE	B22-00482	08/19/2024	75.00-
4913	FOREST RIDGE CONSTRUCTION	101-REINSPECTION FEE	B22-00482	08/19/2024	60.00-
4913	FOREST RIDGE CONSTRUCTION	101-REINSPECTION FEE	B22-00482	08/19/2024	60.00-
4910	FOROZAN, JUSTIN	101-ESCROW/BUILDING	B24-00217	08/07/2024	125.00
1498	HIGHLAND TOWNSHIP	101-REINSPECTION FEE	B22-00482	08/19/2024	60.00
1498	HIGHLAND TOWNSHIP	101-REINSPECTION FEE	B22-00482	08/19/2024	60.00
1498	HIGHLAND TOWNSHIP	101-REINSPECTION FEE	B23-00394	08/07/2024	60.00
1498	HIGHLAND TOWNSHIP	101-REINSPECTION FEE	B23-00394	08/07/2024	60.00
1498	HIGHLAND TOWNSHIP	101-REINSPECTION FEE	B24-00215	08/07/2024	60.00
1708	HIGHLAND TWP. SOLID WASTE FUND	101-REFUSE FEE	B22-00482	08/19/2024	75.00
1708	HIGHLAND TWP. SOLID WASTE FUND	101-REFUSE FEE	B23-00394	08/07/2024	83.00
5827	HSI	101-ESCROW/BUILDING	B24-00287	08/07/2024	500.00
6304	KEARNS BROTHERS INC	101-ESCROW/BUILDING	B24-00216	08/07/2024	500.00
4909	KV HOME & SOLAR SOLUTIONS LLC	101-ESCROW/BUILDING	B24-00257	08/07/2024	250.00
7831	LAW, JOHN AND GERILYN	101-ESCROW/BUILDING	B23-00394	08/07/2024	1,875.00
7831	LAW, JOHN AND GERILYN	101-REINSPECTION FEE	B23-00394	08/07/2024	60.00-
7831	LAW, JOHN AND GERILYN	101-REINSPECTION FEE	B23-00394	08/07/2024	60.00-
7831	LAW, JOHN AND GERILYN	101-REFUSE FEE	B23-00394	08/07/2024	83.00-
4908	LEE, MATTHEW THOMAS	101-ESCROW/BUILDING	B24-00016	08/07/2024	500.00
5988	MAJIC WINDOW COMPANY	101-ESCROW/BUILDING	B24-00246	08/07/2024	250.00
4916	MINK, CINDY	101-ESCROW/BUILDING	B24-00311	08/19/2024	125.00
3117	MOBILE & MODULAR HOMES INC.	101-ESCROW/BUILDING	B24-00156	08/07/2024	250.00

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
3117	MOBILE & MODULAR HOMES INC.	101-ESCROW/BUILDING	B24-00157	08/19/2024	250.00
3117	MOBILE & MODULAR HOMES INC.	101-ESCROW/BUILDING	B24-00160	08/19/2024	250.00
4727	NORTHGATE CONSTRUCTION	101-ESCROW/BUILDING	B24-00284	08/19/2024	500.00
4915	R&T CONSTRUCTION	101-ESCROW/BUILDING	B24-00301	08/19/2024	250.00
6573	RUNYAN BROTHERS CONSTRUCTION	101-ESCROW/BUILDING	B24-00114	08/07/2024	500.00
4911	SWEET, DAVID	101-ESCROW/BUILDING	B24-00265	08/07/2024	125.00
7173	VANDREY PROPERTIES	101-ESCROW/BUILDING	B24-00130	08/16/2024	500.00
6102	WALLSIDE INC.	101-ESCROW/BUILDING	B24-00069	08/19/2024	125.00
6102	WALLSIDE INC.	101-ESCROW/BUILDING	B24-00093	08/19/2024	125.00
6102	WALLSIDE INC.	101-ESCROW/BUILDING	B24-00136	08/19/2024	500.00
6102	WALLSIDE INC.	101-ESCROW/BUILDING	B24-00137	08/19/2024	125.00
<b>101-000-222.000</b>	<b>OAKLAND CO. ANIMAL CONTROL</b>				
4000	CHARTER TOWNSHIP OF HIGHLAND	101-DOG LICENSE	07292024	07/29/2024	43.50
4007	OAKLAND CO. ANIMAL CONTROL/PET ADOPTION	101-DOG LICENSE	07292024	07/29/2024	432.00
<b>101-000-412.000</b>	<b>DELINQUENT P. PROPERTY TAX</b>				
6317	OAKLAND COUNTY TREASURER	101- DELINQUENT PROPERTY TAX	07312024	07/31/2024	753.89
<b>101-000-491.001</b>	<b>HEATING PERMITS</b>				
7946	RANDAZZO MECHANICAL	101-REFUND PERMIT FEES	PM23-0488	08/07/2024	134.40
<b>101-000-491.003</b>	<b>ELECTRICAL PERMITS</b>				
7946	RANDAZZO MECHANICAL	101-REFUND PERMIT FEES	PE23-0591	08/07/2024	90.40
Total :					17,609.19
<b>CLERK</b>					
<b>101-215-730.000</b>	<b>CLERK: ELECTION EXPENSES SUPPL</b>				
1521	CHASE CARDMEMBER SERVICE	101-FOOD FOR ELECTION WORKERS	7/09/24-08/08/24	08/09/2024	700.94
7550	CHURCH OF THE HOLY SPIRIT	101-ELECTION ROOM RENTAL	08142024	08/14/2024	100.00
2375	GANNETT MICHIGAN LOCALIQ	101-ADVERTISEMENT-ELECTION	0006569844	08/19/2024	301.98
3152	KOPACKI, KRIS	101-DISTRIBUTE/PICKUP/STORE ELECTION EQUIPMENT	2051	08/14/2024	1,200.00
6208	THRIVE CHURCH	101-ELECTION ROOM RENTAL	08142024	08/14/2024	100.00
<b>101-215-820.000</b>	<b>CLERK: DUES/ED/TRAVEL</b>				
1521	CHASE CARDMEMBER SERVICE	101-CLERKS CONF-FLOWERS/MECKLENBORG	7/09/24-08/08/24	08/09/2024	100.00
1521	CHASE CARDMEMBER SERVICE	101-MAMC MASTER ACADEMY-FLOWERS/MECKLENBOR	7/09/24-08/08/24	08/09/2024	1,050.00
Total CLERK:					3,552.92
<b>TREASURER</b>					
<b>101-253-820.000</b>	<b>TREAS: DUES/ED/TRAVEL</b>				
1521	CHASE CARDMEMBER SERVICE	101-MMTA CONF-FREDERICK	7/09/24-08/08/24	08/09/2024	707.25
9152	MAERTENS, WENDY	101-MILEAGE REIMBURSEMENT-OAK CTY	08152024	08/15/2024	21.04

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
Total TREASURER:					728.29
<b>GENERAL GOVERNMENT</b>					
<b>101-261-728.000 GEN GOV: OFFICE SUPPLIES</b>					
1521	CHASE CARDMEMBER SERVICE	101-POSTER BOARD	7/09/24-08/08/24	08/09/2024	3.45
1002	QUILL CORPORATION	101-INK	40069086	08/15/2024	69.20
2541	STAPLES	101-BINDER/PENS/ENV/TABS/SHARPIE	6008611309	08/03/2024	263.56
<b>101-261-735.000 GEN GOV: POSTAGE</b>					
1035	PITNEY BOWES GLOBAL FINANCIAL	101-MAILING SYS. QTRLY FEE ACCT#0011920249	3319494408	08/11/2024	402.09
<b>101-261-804.000 GEN GOV: LEGAL SERVICES</b>					
1407	GROTH PLLC, LAW OFFICES OF PAUL V.	101-PROSECUTION MATTERS	53362	08/01/2024	3,593.75
1114	ROSATI SCHULTZ JOPPICH ET AL	101-ZONING	1081845	08/09/2024	62.00
1114	ROSATI SCHULTZ JOPPICH ET AL	101-TOWNSHIP MATTER	1081845	08/09/2024	511.50
1114	ROSATI SCHULTZ JOPPICH ET AL	101-ASSESSING	1081845	08/09/2024	77.50
1114	ROSATI SCHULTZ JOPPICH ET AL	101-SIX RIVERS	1081845	08/09/2024	77.50
1114	ROSATI SCHULTZ JOPPICH ET AL	101-TAX EXEMPT CERTS	1081845	08/09/2024	558.00
1114	ROSATI SCHULTZ JOPPICH ET AL	101-CLYDE RD CELL TOWER	1081845	08/09/2024	93.00
1114	ROSATI SCHULTZ JOPPICH ET AL	101-MEETING ATTENDANCE	1081845	08/09/2024	341.00
1114	ROSATI SCHULTZ JOPPICH ET AL	101-GFL/PRIORITY	1081845	08/09/2024	108.50
1114	ROSATI SCHULTZ JOPPICH ET AL	101-ZONING ORDINANCE	1081846	08/09/2024	2,240.00
<b>101-261-821.000 GEN GOV: MEMBER FEES</b>					
1521	CHASE CARDMEMBER SERVICE	101-OAK PRESS	7/09/24-08/08/24	08/09/2024	26.00
<b>101-261-850.001 GEN GOV: PHONE SERVICE</b>					
9027	AT&T MOBILITY	101-ORDINANCE CELL PHONE	287287294406X081	08/06/2024	23.69
9027	AT&T MOBILITY	101-TWP CELL PHONE	287287294406X081	08/06/2024	47.07
<b>101-261-900.001 GEN GOV: ADVERTISING</b>					
2375	GANNETT MICHIGAN LOCALIQ	101-SYNOPSIS-TWP BOARD	0006569844	08/19/2024	86.28
2375	GANNETT MICHIGAN LOCALIQ	101-SYNOPSIS-BOARD OF TRUSTEES	0006569844	08/19/2024	107.85
<b>101-261-920.000 GEN GOV: UTILITIES</b>					
2216	COMCAST	101-3550 DUCK LK RD 0310657	09032024 0310657	08/01/2024	92.95
1005	DTE ENERGY	101-935 S. HICKORY RDG TRL 910008266330	08142024 66330	08/15/2024	17.65
1005	DTE ENERGY	101-469 E. HIGHLAND RD 910008266959	08142024 66959	08/15/2024	17.66
1005	DTE ENERGY	101-250 W LIVINGSTON RD-WOTA 910008267072	08142024 67072	08/15/2024	518.52
1005	DTE ENERGY	101-501 N. MILFORD RD TRAIN ST 910008267460	08142024 67460	08/15/2024	18.01
1005	DTE ENERGY	101-205 N JOHN ST 910008280059	08142024 80059	08/15/2024	973.62
1005	DTE ENERGY	101-248 W. LIVINGSTON-DDA 910008280661	08142024 80661	08/15/2024	19.88
1005	DTE ENERGY	101-401 BEACH FARM LIBRARY 910008280786	08142024 80786	08/15/2024	79.55
1005	DTE ENERGY	101-100 N. MILFORD RD 910008280885	08142024 80885	08/15/2024	50.17
1005	DTE ENERGY	101-3570 N DUCK LK RD 910008267205	08152024 67205	08/16/2024	31.02

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
<b>101-261-936.000 GEN GOV: TOWNSHIP MAINTENANCE</b>					
1521	CHASE CARDMEMBER SERVICE	101-CLEANER	7/09/24-08/08/24	08/09/2024	37.10
2694	GOYETTE MECHANICAL	101-ANNUAL MAINTENANCE	910190614	08/05/2024	2,932.00
2042	HAGOPIAN CLEANING SERVICES	101-CARPET CLEANING-TWP	C1394412	08/09/2024	1,059.00
3152	KOPACKI, KRIS	101-WATER ALL GARDENS	2055	08/14/2024	780.00
4630	MWG LAWN AND SNOW LLC	101-LAWN MOWING JULY	11098	08/04/2024	3,182.50
1642	PETER'S TRUE VALUE HARDWARE	101-CHAINSAW OIL/TRIMMER LINE	K73681	08/09/2024	84.96
1642	PETER'S TRUE VALUE HARDWARE	101-CHAINSAW CHAINS	K73683	08/09/2024	43.49
1157	TOP NOTCH CLEANING SERVICES	101-OFFICE CLEANING-TWP	1043	08/16/2024	2,340.00
<b>101-261-938.000 GEN GOV: EQ/SW MAINT CONTRACT</b>					
8385	AMERI-ALARM	101-FIRE ALARM MONITORING	079392	08/01/2024	75.00
1283	BS&A SOFTWARE	101-BUILDING DEPT ONLINE SERVICES	156225	08/14/2024	4,090.00
1521	CHASE CARDMEMBER SERVICE	101-ADOBE/ZOOM/MICROSOFT	7/09/24-08/08/24	08/09/2024	115.33
<b>101-261-971.003 GEN GOV: COMPUTER SOFTWARE</b>					
1521	CHASE CARDMEMBER SERVICE	101-MAILCHIMP/CANVA	7/09/24-08/08/24	08/09/2024	124.99
Total GENERAL GOVERNMENT:					25,375.34
<b>GENERAL GOVERNMENT PERSONNEL B</b>					
<b>101-279-711.000 GGP: DEFINED CONTRIBUTION PLAN</b>					
1731	LINCOLN FINANCIAL GROUP	101-DEFINED CONTRIB- BURKHART W41875030	3RD QTR 2024	08/12/2024	42.59
<b>101-279-712.000 GGP:HEALTH/DENTAL/LIFE/DIS INS</b>					
9135	BLUE CARE NETWORK OF MICHIGAN	101-BCN GROUP 00138219 CLASS 0001 IN-HOUSE	242220007773	08/09/2024	1,337.91
9135	BLUE CARE NETWORK OF MICHIGAN	101-BCN GROUP 00138219 CLASS 0001 TWP	242220007773	08/09/2024	6,080.58
9135	BLUE CARE NETWORK OF MICHIGAN	101-BCN GROUP 00138219 CLASS 0001 ORDINANCE	242220007773	08/09/2024	363.70
9135	BLUE CARE NETWORK OF MICHIGAN	101-BCN GROUP 00138219 CLASS 0001 ACT. CTR.	242220007773	08/09/2024	1,560.93
9135	BLUE CARE NETWORK OF MICHIGAN	101-BCN GROUP 00138219 CLASS 0001 TWP	242220007773	08/09/2024	1,542.83
1967	MUTUAL OF OMAHA	101-LIFE,DENTAL,DISAB. INS. BR3 LIBRARY	001744209380	08/01/2024	39.60
1967	MUTUAL OF OMAHA	101-LIFE,DENTAL,DISAB. INS. BR1 ACT CTR	001744209380	08/01/2024	171.52
1967	MUTUAL OF OMAHA	101-LIFE, AD&D, DISAB. INS. BR1 IN-HOUSE	001744209380	08/01/2024	158.74
1967	MUTUAL OF OMAHA	101-LIFE, AD&D, DISAB. INS. BR1 TWP	001744209380	08/01/2024	829.81
1967	MUTUAL OF OMAHA	101-LIFE, AD&D, DISAB. INS. ORDINANCE OFFICER BR1	001744209380	08/01/2024	40.23
9094	STANDARD INSURANCE CO.	101-DENTAL INSURANCE-TWP.	9/01/24-9/30/24	08/02/2024	1,521.48
9094	STANDARD INSURANCE CO.	101-DENTAL INSURANCE-IN HOUSE	9/01/24-9/30/24	08/02/2024	467.28
9094	STANDARD INSURANCE CO.	101-DENTAL INSURANCE-ORDINANCE/FIRE MARSHAL	9/01/24-9/30/24	08/02/2024	25.22
9094	STANDARD INSURANCE CO.	101-DENTAL INSURANCE-ACT. CTR.	9/01/24-9/30/24	08/02/2024	284.12
9094	STANDARD INSURANCE CO.	101-DENTAL INSURANCE-TWP COBRA	9/01/24-9/30/24	08/02/2024	100.96
Total GENERAL GOVERNMENT PERSONNEL B:					14,567.50

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
<b>BUILDING</b>					
<b>101-371-801.000</b>	<b>BLDG: INSP/ELEC/PLUMB/HTG</b>				
9261	DUNCAN LLC, JEFFREY	101-INSPECTIONS	7/31/24-8/13/24	08/14/2024	1,088.05
8149	WATKINS III, MITCHELL	101-INSPECTIONS	7/31/24-8/13/24	08/14/2024	1,864.50
Total BUILDING:					2,952.55
<b>SOCIAL SERVICES</b>					
<b>101-670-881.000</b>	<b>SOC SERV: YOUTH PROMOTION</b>				
1235	HURON VALLEY YOUTH ASSISTANCE	101-YOUTH ASSISTANCE PROGRAM	06182024	06/18/2024	8,500.00
Total SOCIAL SERVICES:					8,500.00
<b>ACTIVITY CENTER</b>					
<b>101-672-729.000</b>	<b>ACTIVITY CTR: OPER. SUPPLIES</b>				
9208	HIGHLAND SUPPLY INC.	101-MULTIFOLD TOWELS/P. TOWEL/CUPS-ACT CTR	INV73894	08/08/2024	189.95
<b>101-672-850.001</b>	<b>ACTIVITY CTR: INTERNET SERVICE</b>				
1521	CHASE CARDMEMBER SERVICE	101-COMCAST	7/09/24-08/08/24	08/09/2024	107.98
<b>101-672-920.000</b>	<b>ACTIVITY CTR: UTILITIES</b>				
1005	DTE ENERGY	101- 209 N JOHN ACT CTR 910008266702	08082024 66702	08/09/2024	627.74
<b>101-672-920.002</b>	<b>STEEPLE HALL: UTILITIES</b>				
1005	DTE ENERGY	101-205 W. LIVINGSTON RD-STEEPLE HALL 91000828013	08142024 80133	08/15/2024	455.36
<b>101-672-936.000</b>	<b>ACTIVITY CTR: BUILDING MAINT</b>				
1839	ABSOPURE WATER CO.	101- H/C COOLER-ACTIVITY CTR.	30885648	07/31/2024	12.00
1839	ABSOPURE WATER CO.	101-5 GALLON SPRING-ACTIVITY CTR.	89369767	07/15/2024	172.00
2042	HAGOPIAN CLEANING SERVICES	101-CARPET CLEANING-ACT CTR	C1394639	08/09/2024	243.00
1581	MR. MAT RENTAL SERVICE	101-MONTHLY CHG - ACTIVITY CENTER	2365911	08/05/2024	34.00
<b>101-672-936.002</b>	<b>STEEPLE HALL: BUILDING MAINT</b>				
2262	BRIEN'S SERVICES INC.	101-LANDSCAPE MAINTENANCE-STEEPLE HALL	49438	08/14/2024	438.00
2042	HAGOPIAN CLEANING SERVICES	101-CARPET CLEANING-STEEPLE HALL	C1394640	08/09/2024	800.00
Total ACTIVITY CENTER:					3,080.03
<b>PLANNING &amp; ORDINANCE</b>					
<b>101-701-935.000</b>	<b>OE: VIOLATION CORRECTIONS</b>				
1366	TPC LAWN & LANDSCAPE	101-ORDINANCE MOW 140 HIGHLAND RD	5681	08/09/2024	375.00
Total PLANNING & ORDINANCE:					375.00
<b>ZONING BOARD OF APPEALS (ZBA)</b>					

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
<b>101-702-900.000 ZBA: ADVERTISING</b>					
2375	GANNETT MICHIGAN LOCALIQ	101-LEGAL ADVERTISEMENT-ZBA	0006569844	08/19/2024	237.27
Total ZONING BOARD OF APPEALS (ZBA):					237.27
<b>PLANNING COMMISSION</b>					
<b>101-703-900.000 PLNG COMM: ADVERTISING/PRTG</b>					
9077	21ST CENTURY MEDIA-MICHIGAN	101-ADVERTISEMENT-PLN COMM	07152024	07/15/2024	413.50
9077	21ST CENTURY MEDIA-MICHIGAN	101-ADVERTISEMENT-PLN COMM	07152024	07/15/2024	413.50
Total PLANNING COMMISSION:					827.00
<b>PARKS</b>					
<b>101-751-729.003 PARKS: DUCK LAKE PINES</b>					
1005	DTE ENERGY	101-1241 N. DUCK LAKE RD-PARKS 910008267940	08142024 67940	08/15/2024	211.92
<b>101-751-920.000 PARKS: UTILITIES</b>					
1005	DTE ENERGY	101-333 N. MILFORD RD 910008267551	08142024 67551	08/15/2024	73.96
1005	DTE ENERGY	101-4200 N. HICK RDG-PARK-910008266835	08152024 66835	08/16/2024	17.63
<b>101-751-935.000 PARKS: MAINTENANCE</b>					
4630	MWG LAWN AND SNOW LLC	101-LAWN MOWING PARKS-JULY	11098	08/04/2024	1,567.50
Total PARKS:					1,871.01
Total GENERAL FUND:					79,676.10
<b>FIRE FUND</b>					
<b>FIRE</b>					
<b>206-336-712.001 FIRE:HEALTH/DENTAL/LIFE/DISINS</b>					
9135	BLUE CARE NETWORK OF MICHIGAN	206-BCN GROUP 00138219 CLASS 0001 FIRE	242220007773	08/09/2024	8,523.59
9135	BLUE CARE NETWORK OF MICHIGAN	206-BCN GROUP 00138219 CLASS 0002 FIRE-GARRITY A	242220089138	08/09/2024	358.10
1967	MUTUAL OF OMAHA	206-LIFE, AD&D INS. BR2 PD. ON CALL	001744209380	08/01/2024	122.10
1967	MUTUAL OF OMAHA	206-LIFE, AD&D INS. BR1 F-T FIRE	001744209380	08/01/2024	872.54
1967	MUTUAL OF OMAHA	206-LIFE, AD&D, DISAB. INS. CHIEF BR1	001744209380	08/01/2024	87.98
1967	MUTUAL OF OMAHA	206-LIFE, AD&D, DISAB. INS. FIRE MARSHAL BR1	001744209380	08/01/2024	40.23
9094	STANDARD INSURANCE CO.	206-DENTAL INSURANCE-FIRE CHIEF	9/01/24-9/30/24	08/02/2024	183.16
9094	STANDARD INSURANCE CO.	206-DENTAL INSURANCE-FIRE MARSHAL/ORDINANCE	9/01/24-9/30/24	08/02/2024	25.22
9094	STANDARD INSURANCE CO.	206-DENTAL INSURANCE-FIRE	9/01/24-9/30/24	08/02/2024	1,369.92
<b>206-336-722.010 FIRE: INSTRUCTOR TRAINING</b>					
1521	CHASE CARDMEMBER SERVICE	206-EMS TRAINING-GREEN	7/09/24-08/08/24	08/09/2024	100.00
<b>206-336-731.000 FIRE: MEDICAL SUPPLIES</b>					
2039	BOUND TREE MEDICAL LLC	206-EMS SUPPLIES	85439247	08/05/2024	785.20

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
2039	BOUND TREE MEDICAL LLC	206-EMS SUPPLIES	85441099	08/06/2024	305.38
2039	BOUND TREE MEDICAL LLC	206-EMS SUPPLIES	85441100	08/06/2024	330.70
2039	BOUND TREE MEDICAL LLC	206-EMS SUPPLIES	85442924	08/07/2024	13.75
1132	LINDE GAS & EQUIPMENT INC	206-MEDICAL OXYGEN	44521468	08/08/2024	504.26
7576	STATE OF MICHIGAN	206-QAAP TAX	491-443546	07/30/2024	654.04
<b>206-336-732.000 FIRE: UNIFORMS</b>					
9276	HURON VALLEY GUNS LLC	206-UNIFORM - PASZKOWSKI	210254	07/22/2024	240.98
9276	HURON VALLEY GUNS LLC	206-UNIFORM - PASZKOWSKI	210275	07/22/2024	60.99
9276	HURON VALLEY GUNS LLC	206-UNIFORM - GEORGE	210569	07/30/2024	136.98
6345	WITMER PUBLIC SAFETY GROUP INC	206-HELMET SHIELDS	INV522156	08/06/2024	120.67
<b>206-336-750.000 FIRE: VEHICLE GAS/OIL</b>					
1103	AUTO VALUE HIGHLAND	206-2019 DODGE (C1) OIL CHANGE	272-1082655	08/10/2024	63.47
<b>206-336-820.000 FIRE: DUES &amp; EDUCATION</b>					
1521	CHASE CARDMEMBER SERVICE	206-MI FIRE INSPEC CONF-BELL	7/09/24-08/08/24	08/09/2024	487.38
4808	IN HOUSE SOLUTIONS LLC	206-FTO TRAINING	24-008	07/27/2024	600.00
<b>206-336-920.000 FIRE: PUBLIC UTILITIES</b>					
9027	AT&T MOBILITY	206-FIRE DEPT CELL PHONES	287287294406X081	08/06/2024	89.95
9027	AT&T MOBILITY	206-FIRE MARSHAL CELL PHONE	287287294406X081	08/06/2024	23.69
9027	AT&T MOBILITY	206-IPADS	287287294406X081	08/06/2024	422.89
2216	COMCAST	206-1600 W HIGHLAND FS #1 0160011	09152024 0160011	08/12/2024	164.90
1005	DTE ENERGY	206-2550 E WARDLOW FS2 06488	08052024 06488	08/06/2024	843.30
1005	DTE ENERGY	206-ST#3 510 CLYDE RD 910008266207	08132024 66207	08/14/2024	55.27
<b>206-336-930.000 FIRE: VEHICLE REPAIR</b>					
1103	AUTO VALUE HIGHLAND	206-2019 FORD E-450 (212) WIPERS	272-1082040	08/03/2024	24.18
4883	BOSSMANS DIESEL REPAIR LLC	206-2018 PIERCE (E11) NOX SENSOR	72	08/12/2024	1,884.22
7326	HAROLD'S FRAME SHOP INC.	206-2014 F250 (U1) FRONT END WORK	108093	08/01/2024	1,665.55
<b>206-336-936.000 FIRE: BLDG MAINT/REPAIR</b>					
2285	CUMMINS SALES AND SERVICE	206-FS1 GENERATOR PM	S6-29275	08/05/2024	585.24
2285	CUMMINS SALES AND SERVICE	206-FS2 GENERATOR PM	S6-29276	08/05/2024	261.21
9264	MCCABE OUTDOOR SERVICES INC.	206-SPRINKLER REPAIR ST#1	240408	07/31/2024	500.00
4612	NATIONAL TIME & SIGNAL	206-STN1 FIRE PANEL REPAIR	159777	07/29/2024	386.68
<b>206-336-937.000 FIRE: EQUIP MAINT</b>					
6212	DISCOUNT BATTERY	206-SCBA BATTERIES	60991	08/03/2024	36.00
1642	PETER'S TRUE VALUE HARDWARE	206-CHAINSAW REPAIR	K73696	08/09/2024	327.62
Total FIRE:					23,257.34
Total FIRE FUND:					23,257.34
<b>POLICE FUND</b>					



Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
<b>207-000-677.000 MISCELLANEOUS</b>					
4000	CHARTER TOWNSHIP OF HIGHLAND	207-COPIES	08122024	08/12/2024	30.00
Total :					30.00
<b>POLICE</b>					
<b>207-301-920.000 POLICE: UTILITIES</b>					
1005	DTE ENERGY	207-165 N. JOHN ST-POLICE 910008266454	08142024 66454	08/15/2024	538.45
<b>207-301-935.000 POLICE: SHERIFF'S MAINT</b>					
2042	HAGOPIAN CLEANING SERVICES	207-CARPET CLEANING	C1394415	08/10/2024	427.00
Total POLICE:					965.45
Total POLICE FUND:					995.45
<b>FIRE CAPITAL FUND</b>					
<b>FIRE</b>					
<b>402-336-971.000 VEHICLES</b>					
6241	SZOTT M59 CHRYSLER DODGE RAM	402-2024 RAM 1500 (FM) PURCHASE	104518	08/12/2024	39,755.00
6241	SZOTT M59 CHRYSLER DODGE RAM	402-2024 JEEP WAGONEER (C1) PURCHASE	115430	08/13/2024	62,352.00
Total FIRE:					102,107.00
Total FIRE CAPITAL FUND:					102,107.00
<b>DOWNTOWN DEVELOPMENT FUND</b>					
<b>DOWNTOWN DEVELOPMENT AUTHORITY</b>					
<b>494-729-728.000 DDA: OFFICE SUPPLIES</b>					
1521	CHASE CARDMEMBER SERVICE	494-DROPBOX	7/09/24-08/08/24	08/09/2024	119.88
1521	CHASE CARDMEMBER SERVICE	494-ZOOM	7/09/24-08/08/24	08/09/2024	33.90
<b>494-729-801.000 DDA: PROF SERVICES</b>					
1114	ROSATI SCHULTZ JOPPICH ET AL	494-MURAL AGREEMENT	1081845	08/09/2024	46.50
<b>494-729-808.000 DDA: MARKETING CONSULTANT</b>					
4690	PATTERSON, HARMONY	494-CONSULTANT DUTIES	2020	08/14/2024	880.00
4690	PATTERSON, HARMONY	494-CONSULTANT DUTIES	2021	08/14/2024	600.00
<b>494-729-880.001 DDA: PROMOTIONS</b>					
1521	CHASE CARDMEMBER SERVICE	494-BMI LICENSE	7/09/24-08/08/24	08/09/2024	435.00
1521	CHASE CARDMEMBER SERVICE	494-YARD SIGNS/TENT STAKES	7/09/24-08/08/24	08/09/2024	147.79
2413	GUERRA, MARIO	494-SOUND FOR MITTEN STRINGS CONCERT	2024-19	08/13/2024	450.00
3152	KOPACKI, KRIS	494-MOVE/STORE BISTRO SET	2052	08/14/2024	210.00

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
<b>494-729-880.003 DDA: DESIGN</b>					
2262	BRIEN'S SERVICES INC.	494-MAINTENANCE OF BEDS	49462	08/16/2024	1,003.00
4494	CURTIS, ZACHARY	494-PAINTING OF MURAL	1007	08/02/2024	9,472.00
1541	HOME DEPOT CREDIT SERVICES	494-MURAL	2010091	07/03/2024	430.48
1541	HOME DEPOT CREDIT SERVICES	494-MURAL	6012469	07/19/2024	210.56
1541	HOME DEPOT CREDIT SERVICES	494-MURAL	6012532	07/19/2024	115.12
3152	KOPACKI, KRIS	494-WATER ALL GARDENS	2054	08/14/2024	920.00
<b>494-729-900.000 DDA: ADVERTISING/PRINTING</b>					
1521	CHASE CARDMEMBER SERVICE	494-CONSTANT CONTACT	7/09/24-08/08/24	08/09/2024	81.00
<b>494-729-920.000 DDA: RENT/ UTILITIES</b>					
1521	CHASE CARDMEMBER SERVICE	494-RENT/STORAGE	7/09/24-08/08/24	08/09/2024	214.92
<b>494-729-967.000 DDA: FARMERS' MARKET</b>					
1521	CHASE CARDMEMBER SERVICE	494-FACEBOOK ADS/MONARCH FESTIVAL SUPPLIES/CO	7/09/24-08/08/24	08/09/2024	997.27
4414	JONES, JAMISON	494-SOUND	2024-18A	08/13/2024	100.00
6807	MILFORD MUSIC	494-ENTERTAINMENT-FARMERS MARKET	2024-17	08/13/2024	125.00
Total DOWNTOWN DEVELOPMENT AUTHORITY:					16,592.42
Total DOWNTOWN DEVELOPMENT FUND:					16,592.42
<b>HIGHLAND ADVISORY COUNCIL</b>					
<b>GENERAL GOVERNMENT</b>					
<b>702-261-729.000 HAAC: DEDUCTIONS</b>					
1521	CHASE CARDMEMBER SERVICE	702-MI PRINCESS DEP	7/09/24-08/08/24	08/09/2024	55.00
1521	CHASE CARDMEMBER SERVICE	702-FOOD-HOLLAND BOWL	7/09/24-08/08/24	08/09/2024	41.98
1521	CHASE CARDMEMBER SERVICE	702-STEAM RAILROAD MEMBERSHIP/NORTH POLE TICK	7/09/24-08/08/24	08/09/2024	3,352.20
1521	CHASE CARDMEMBER SERVICE	702-FOOD-OAK CTY FAIR	7/09/24-08/08/24	08/09/2024	14.98
1521	CHASE CARDMEMBER SERVICE	702-BLAKE FARMS TICKETS/FOOD	7/09/24-08/08/24	08/09/2024	379.12
Total GENERAL GOVERNMENT:					3,843.28
Total HIGHLAND ADVISORY COUNCIL:					3,843.28
<b>DUCK LAKE ASSOC</b>					
<b>TRUST &amp; AGENCY ADMIN</b>					
<b>764-255-956.000 DUCK LAKE: DEDUCTIONS</b>					
1005	DTE ENERGY	764-3378 KINGSWAY DR 9200093 91144	08122024 91144	08/15/2024	497.28
1005	DTE ENERGY	764-2165 DAVISTA DR IRRIGATION 920009313650	08132024 13650	08/16/2024	780.09
1005	DTE ENERGY	764-2014 JACKSON BLVD IRRIGATION 920009307439	08152024 07439	08/16/2024	536.79
1005	DTE ENERGY	764- 3261 RAMADA DR IRRIGATION 920009313643	08152024 13643	08/16/2024	770.56
1005	DTE ENERGY	764-2000 LAKE CT IRRIGATION 920009313668	08152024 13668	08/16/2024	1,070.80

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
1005	DTE ENERGY	764-1425 BAY RDG IRRIGATION 920009143164	08152024 43164	08/16/2024	945.86
1005	DTE ENERGY	764-1590 WHITE LK RD IRRIGATION 9200 111 75436	08152024 75436	08/16/2024	129.17
1366	TPC LAWN & LANDSCAPE	764-LAWN MOWING BOAT LAUNCH	5650	07/30/2024	572.00
Total TRUST & AGENCY ADMIN:					5,302.55
Total DUCK LAKE ASSOC:					5,302.55
<b>HIGHLAND LAKE ASSOC</b>					
<b>TRUST &amp; AGENCY ADMIN</b>					
<b>765-255-956.000 HIGHLAND LAKE: DEDUCTIONS</b>					
1005	DTE ENERGY	765-2950 PALLISTER 910008267338	08132024 67338	08/14/2024	26.19
Total TRUST & AGENCY ADMIN:					26.19
Total HIGHLAND LAKE ASSOC:					26.19
<b>TAGGETT LAKE ASSOC</b>					
<b>TRUST &amp; AGENCY ADMIN</b>					
<b>766-255-956.000 TAGGETT LAKE: DEDUCTIONS</b>					
1005	DTE ENERGY	766-4061 TAGGETT LAKE 910008280281	08132024 80281	08/14/2024	14.40
Total TRUST & AGENCY ADMIN:					14.40
Total TAGGETT LAKE ASSOC:					14.40
<b>KELLOGG LAKE ASSOC</b>					
<b>TRUST &amp; AGENCY ADMIN</b>					
<b>767-255-956.000 KELLOGG LAKE: DEDUCTIONS</b>					
1005	DTE ENERGY	767-KELLOGG/4061 TAGGETT LAKE 910008280281	08132024 80281	08/14/2024	8.46
9023	PLM LAKE & LAND MANAGEMENT CORP	767-ALGAE TREATMENT-KELLOGG LAKE	4006228	07/29/2024	975.00
Total TRUST & AGENCY ADMIN:					983.46
Total KELLOGG LAKE ASSOC:					983.46
<b>CHARLICK LAKE ASSOC</b>					
<b>TRUST &amp; AGENCY ADMIN</b>					
<b>768-255-956.000 CHARLICK LAKE: DEDUCTIONS</b>					
1005	DTE ENERGY	768-3938 LOCH DR 910008280414	08132024 80414	08/14/2024	17.63
4888	OAKLAND HARVESTERS	768-HARVEST-CHARLICK LAKE	CHARLICK #2 2024	08/16/2024	4,000.00

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
Total TRUST & AGENCY ADMIN:					4,017.63
Total CHARLICK LAKE ASSOC:					4,017.63
<b>WOODRUFF LAKE ASSOC</b>					
<b>TRUST &amp; AGENCY ADMIN</b>					
<b>769-255-956.000 WOODRUFF LAKE: DEDUCTIONS</b>					
1081	AQUA-WEED CONTROL INC.	769-WEED/ALGAE-WOODRUFF LAKE	21715	08/13/2024	5,457.50
1005	DTE ENERGY	769-877 WOODRUFF LK 910008267676	08132024 67676	08/14/2024	17.63
1005	DTE ENERGY	769-877 WOODRUFF LK 910008280547	08132024 80547	08/14/2024	17.63
Total TRUST & AGENCY ADMIN:					5,492.76
Total WOODRUFF LAKE ASSOC:					5,492.76
Grand Totals:					242,308.58

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
<b>GENERAL FUND</b>					
<b>101-000-202.005 PLANNING ESCROW PAYABLES</b>					
2240	CARLISLE WORTMAN ASSOC. INC.	101-BP GAS STATION	2174888	08/05/2024	835.00
2240	CARLISLE WORTMAN ASSOC. INC.	101-RAOUF GAS STATION	2174889	08/05/2024	1,607.50
2240	CARLISLE WORTMAN ASSOC. INC.	101-SCHOOL BELL CHILDCARE	2174890	08/05/2024	1,002.50
2240	CARLISLE WORTMAN ASSOC. INC.	101-WIGGLES/GIGGLES	2174891	08/05/2024	795.00
Total :					4,240.00
<b>GENERAL GOVERNMENT</b>					
<b>101-261-802.000 GEN GOV: PAYROLL PROCESSING</b>					
4868	ADP INC	101-CREDIT FOR DIRECT DEPOSIT REVERSALS	203498294	07/22/2024	150.00-
4868	ADP INC	101-TIME AND ATTENDANCE	667447403	08/02/2024	265.00
4868	ADP INC	101-PAYROLL SERVICES	668692341	08/16/2024	437.80
<b>101-261-850.000 GEN GOV: FIBER-OTHER COMMUNICA</b>					
7660	CROWN CASTLE FIBER LLC	101-205 JOHN ST. FIBER NETWORK	1619978	08/01/2024	823.00
<b>101-261-938.000 GEN GOV: EQ/SW MAINT CONTRACT</b>					
2059	APPLIED INNOVATION	101-ADDITIONAL PAGES-TWP NORTH SIDE	2573162	08/05/2024	65.85
2059	APPLIED INNOVATION	101-COPIER MAINT. CONTRACT-TWP NORTH SIDE	2573162	08/05/2024	57.50
2059	APPLIED INNOVATION	101-FREIGHT-TWP NORTH SIDE	2573162	08/05/2024	4.93
2059	APPLIED INNOVATION	101-PRINTER MAINT. CONTRACT-TWP	2581394	08/12/2024	112.32
Total GENERAL GOVERNMENT:					1,616.40
<b>BUILDING</b>					
<b>101-371-801.000 BLDG: INSP/ELEC/PLUMB/HTG</b>					
1199	GREG CALME ELECTRIC LLC	101-INSPECTIONS	7/31/24-8/13/24	08/14/2024	2,344.92
Total BUILDING:					2,344.92
<b>ACTIVITY CENTER</b>					
<b>101-672-938.000 ACTIVITY CTR: OFF. EQUIP MAINT</b>					
2059	APPLIED INNOVATION	101-STAPLES-ACT CTR	935777-0	08/07/2024	137.57
Total ACTIVITY CENTER:					137.57
<b>PLANNING COMMISSION</b>					
<b>101-703-801.000 PLNG COMM: MASTER PLAN PROF.</b>					
2240	CARLISLE WORTMAN ASSOC. INC.	101-2021 MASTER PLAN	2174887	08/05/2024	575.00

<u>Vendor</u>	<u>Name</u>	<u>Description</u>	<u>Invoice Number</u>	<u>Invoice Date</u>	<u>Invoice Amount</u>
Total PLANNING COMMISSION:					<u>575.00</u>
Total GENERAL FUND:					<u>8,913.89</u>
Grand Totals:					<u><u>8,913.89</u></u>

Total GENERAL FUND:	88,589.99
Total FIRE FUND:	23,257.34
Total POLICE FUND:	995.45
Total FIRE CAPITAL FUND:	102,107.00
Total DOWNTOWN DEVELOPMENT FUND:	16,592.42
Total HIGHLAND ADVISORY COUNCIL:	3,843.28
Total DUCK LAKE ASSOC:	5,302.55
Total HIGHLAND LAKE ASSOC:	26.19
Total TAGGETT LAKE ASSOC:	14.40
Total KELLOGG LAKE ASSOC:	983.46
Total CHARLICK LAKE ASSOC:	4,017.63
Total WOODRUFF LAKE ASSOC:	5,492.76
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Grand Totals:	251,222.47
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**Payroll and Hand Check August 22, 2024 List of Bills**

**GENERAL FUND**

Payroll Taxes (FICA & FWT) 8/16/2024	\$	32,734.32
General/Fire Payroll 8/16/2024	\$	103,717.08

Equitable - Deferred Comp.	\$	1,250.00
Mission SQ - Deferred Comp.	\$	1,990.34
Flexible Savings Account	\$	758.15
Garnishments		
Highland Firefighters Assn	\$	1,095.00

Highland Firefighters Union Dues-Full-Time  
Highland Firefighters Union Dues-Part-Time

08/31/2024 DDA LOAN-Monthly	\$	3,771.83
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Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
<b>GENERAL FUND</b>					
<b>101-000-202.001 BUILDING BONDS PAYABLES</b>					
4919	GLOVER, MICKEY	101-ESCROW/BUILDING	B24-00231	08/21/2024	125.00
1288	IVERSONS LUMBER COMAPNY LLC	101-ESCROW/BUILDING	B24-00077	08/21/2024	1,250.00
3117	MOBILE & MODULAR HOMES INC.	101-ESCROW/BUILDING	B24-00163	08/21/2024	250.00
3117	MOBILE & MODULAR HOMES INC.	101-ESCROW/BUILDING	B24-00164	08/21/2024	250.00
4918	ONEIL, CORY	101-ESCROW/BUILDING	B24-00208	08/21/2024	250.00
5497	RC WINNEUR HOMES INC	101-ESCROW/BUILDING	B24-00091	08/16/2024	500.00
6102	WALLSIDE INC.	101-ESCROW/BUILDING	B24-00263	08/21/2024	250.00
<b>101-000-202.005 PLANNING ESCROW PAYABLES</b>					
2284	HUBBELL ROTH & CLARK INC.	101-SHEETZ STUDY PLAN	0219130	08/09/2024	160.08
2284	HUBBELL ROTH & CLARK INC.	101-SCHOOL BELL STUDY PLAN	0219131	08/09/2024	240.12
<b>101-000-222.000 OAKLAND CO. ANIMAL CONTROL</b>					
4000	CHARTER TOWNSHIP OF HIGHLAND	101-DOG LICENSE	08222024	08/22/2024	33.00
4007	OAKLAND CO. ANIMAL CONTROL/PET ADOPTION	101-DOG LICENSE	08222024	08/22/2024	302.00
Total :					3,610.20
<b>CLERK</b>					
<b>101-215-730.000 CLERK: ELECTION EXPENSES SUPPL</b>					
2316	ELECTION SOURCE	101-ELECTION TESTING	24-12323	08/21/2024	3,281.00
2593	POSTMASTER	101-BULK MAIL POSTAGE-ELECTION	06282024	06/28/2024	600.00
Total CLERK:					3,881.00
<b>GENERAL GOVERNMENT</b>					
<b>101-261-728.000 GEN GOV: OFFICE SUPPLIES</b>					
1002	QUILL CORPORATION	101-INK	40077301	08/15/2024	54.78
1002	QUILL CORPORATION	101-INK	40214026	08/23/2024	64.49
2541	STAPLES	101-FOLDERS/PAPER/TAPE DISPENSER	6009478483	08/17/2024	90.64
<b>101-261-850.001 GEN GOV: PHONE SERVICE</b>					
9090	NET EXPRESS VOIP	101-PHONE SERVICE-TWP	429240823	08/23/2024	266.45
2652	T-MOBILE	101-CELL PHONE-TOWNSHIP	08162024 28344	08/16/2024	52.90
<b>101-261-920.000 GEN GOV: UTILITIES</b>					
1375	CONSUMERS ENERGY	101-250 W LIVINGSTON-WOTA	203322400121	08/21/2024	153.27
1375	CONSUMERS ENERGY	101-3550 DUCK LK RD BUILDING	203322400122	08/21/2024	132.13
1375	CONSUMERS ENERGY	101-205 N JOHN-TWP	204301308760	08/21/2024	17.79
<b>101-261-936.000 GEN GOV: TOWNSHIP MAINTENANCE</b>					
2262	BRIEN'S SERVICES INC.	101-LANDSCAPING-MEDIAN	49476	08/20/2024	221.00
1642	PETER'S TRUE VALUE HARDWARE	101-ENGINE FUEL	K73832	08/20/2024	26.99

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
1157	TOP NOTCH CLEANING SERVICES	101-OFFICE CLEANING-TWP	1042	08/16/2024	1,280.00
<b>101-261-955.000</b>	<b>GEN GOV: MISCELLANEOUS</b>				
1839	ABSOPURE WATER CO.	101-5 GALLON SPRING-TWP	89404746	08/12/2024	48.60
<b>101-261-959.000</b>	<b>GEN GOV: METRO AUTHORITY EXP</b>				
6300	S&D SEASONAL SERVICES	101-TWP MOWING-M59 MEDIAN	34285	08/01/2024	242.00
Total GENERAL GOVERNMENT:					2,651.04
<b>BUILDING</b>					
<b>101-371-801.000</b>	<b>BLDG: INSP/ELEC/PLUMB/HTG</b>				
9261	DUNCAN LLC, JEFFREY	101-INSPECTIONS	08/14/24-08/27/24	08/29/2024	478.74
8149	WATKINS III, MITCHELL	101-INSPECTIONS	08/14/24-08/27/24	08/28/2024	1,050.13
Total BUILDING:					1,528.87
<b>CEMETERY</b>					
<b>101-567-935.000</b>	<b>CEMETERY: SEXTON</b>				
1127	HURON CEMETERY MAINTENANCE	101-CEMETERY MAINTENANCE	SEP 2024	08/22/2024	4,142.00
Total CEMETERY:					4,142.00
<b>ACTIVITY CENTER</b>					
<b>101-672-850.000</b>	<b>ACTIVITY CTR: PHONE SERVICE</b>				
9090	NET EXPRESS VOIP	101-PHONE SERVICE-ACT CTR	429240823	08/23/2024	64.09
2652	T-MOBILE	101-CELL PHONE-ACTIVITY CENTER	08162024 28344	08/16/2024	19.43
<b>101-672-850.002</b>	<b>STEEPLE HALL: INTERNET SERVICE</b>				
2216	COMCAST	101-STEEPLE HALL 8529 10 157 0100876	10082024 0100876	08/26/2024	281.17
<b>101-672-920.000</b>	<b>ACTIVITY CTR: UTILITIES</b>				
1375	CONSUMERS ENERGY	101-209 N JOHN ST-ACT CTR	203322400124	08/21/2024	140.45
<b>101-672-920.002</b>	<b>STEEPLE HALL: UTILITIES</b>				
1375	CONSUMERS ENERGY	101-205 W. LIVINGSTON RD-STEEPLE HALL	203322400123	08/21/2024	16.00
Total ACTIVITY CENTER:					521.14
<b>PLANNING &amp; ORDINANCE</b>					
<b>101-701-935.000</b>	<b>OE: VIOLATION CORRECTIONS</b>				
1366	TPC LAWN & LANDSCAPE	101-ORDINANCE MOW 326 KING ST	5743	08/22/2024	165.00
1366	TPC LAWN & LANDSCAPE	101-ORDINANCE MOW 1789 LASALLE	5744	08/22/2024	285.00
Total PLANNING & ORDINANCE:					450.00

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
<b>PARKS</b>					
<b>101-751-920.000 PARKS: UTILITIES</b>					
1140	O.C.W.R.C.	101-WATER-HIGHLAND STATION 333 MILFORD RD	08082024 43476-00	08/09/2024	806.20
<b>101-751-935.000 PARKS: MAINTENANCE</b>					
1070	OAKLAND COUNTY	101-BAC-T TEST	C1044379	08/01/2024	72.00
Total PARKS:					878.20
Total GENERAL FUND:					17,662.45
<b>ROAD FUND</b>					
<b>ROAD</b>					
<b>203-596-967.000 DUST CONTROL</b>					
1482	OAK HEIGHTS HOMEOWNERS ASSOC.	203-CHLORIDE DUST CONTROL-OAK HGHTS	08232024	08/23/2024	1,710.00
Total ROAD:					1,710.00
Total ROAD FUND:					1,710.00
<b>FIRE FUND</b>					
<b>FIRE</b>					
<b>206-336-727.000 FIRE: SUPPLIES</b>					
1103	AUTO VALUE HIGHLAND	206- VEHICLE WAX	272-1083075	08/15/2024	16.99
2020	BONHAM, GARY	206-REIMBURSE TIRE GUAGE	5610-447434	08/22/2024	18.01
7855	FIRE SUPPRESSION PRODUCTS	206-55 GAL FIRE SUPPRESSION	16419	08/22/2024	1,605.00
1002	QUILL CORPORATION	206-INK	40214026	08/23/2024	64.49
<b>206-336-731.000 FIRE: MEDICAL SUPPLIES</b>					
2039	BOUND TREE MEDICAL LLC	206-EMS SUPPLIES	85452614	08/15/2024	115.81
2039	BOUND TREE MEDICAL LLC	206-EMS SUPPLIES	85452615	08/15/2024	23.87
2039	BOUND TREE MEDICAL LLC	206-EMS SUPPLIES	85455238	08/19/2024	171.62
1132	LINDE GAS & EQUIPMENT INC	206-EMS OXYGEN	44762776	08/21/2024	39.23
<b>206-336-732.000 FIRE: UNIFORMS</b>					
9121	ALLIE BROTHERS	206-GEORGE UNIFORMS	99226	08/09/2024	195.00
<b>206-336-809.000 FIRE: SOFTWARE MAINTENANCE</b>					
9190	LEXIPOL LLC	206-LEXIPOL POLICY MANUAL	INVLEX11239990	09/01/2024	3,217.64
<b>206-336-820.000 FIRE: DUES &amp; EDUCATION</b>					
1516	MICHIGAN STATE FIREMEN'S ASSN.	206-NFA GEORGE	925	08/14/2024	210.00
<b>206-336-851.000 FIRE: RADIO COMMUNICATIONS</b>					
2490	FRONTIER	206-DISPATCH LINE 616-001-6196	08192024 011603-5	08/20/2024	113.10
<b>206-336-920.000 FIRE: PUBLIC UTILITIES</b>					
2216	COMCAST	206-510 CLYDE 0115262	10022024 0115262	08/20/2024	56.16

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
1375	CONSUMERS ENERGY	206-1600 W HIGHLAND FS1	201097722470	08/21/2024	72.15
1375	CONSUMERS ENERGY	206-510 CLYDE RD ST#3	204390299020	08/21/2024	23.03
1375	CONSUMERS ENERGY	206-2550 E WARDLOW-FS2	206881452279	08/21/2024	62.02
1005	DTE ENERGY	206-1600 W HIGHLAND RD 920020305909	08212024 05909	08/22/2024	1,459.77
9090	NET EXPRESS VOIP	206-VOIP MONTHLY	1605240823	08/23/2024	110.68
<b>206-336-936.000 FIRE: BLDG MAINT/REPAIR</b>					
1642	PETER'S TRUE VALUE HARDWARE	206-BLDG REPAIR	K73946	08/27/2024	6.87
4907	SELECTIVE HVAC HEATING & COOLING INC	206-STN 2 KITCHEN HEATER REPAIR	44686	08/14/2024	1,375.00
Total FIRE:					8,956.44
Total FIRE FUND:					8,956.44
<b>POLICE FUND</b>					
<b>POLICE</b>					
<b>207-301-920.000 POLICE: UTILITIES</b>					
2216	COMCAST	207-165 N. JOHN 0179656	09242024 0179656	08/21/2024	122.95
<b>207-301-935.000 POLICE: SHERIFF'S MAINT</b>					
1839	ABSOPURE WATER CO.	207-COOLER	30884745	07/31/2024	4.00
1839	ABSOPURE WATER CO.	207-5 GALLON WATER	89369764	07/15/2024	19.40
1375	CONSUMERS ENERGY	207-165 N JOHN ST	203322400120	08/21/2024	19.13
Total POLICE:					165.48
Total POLICE FUND:					165.48
<b>CAPITAL IMPROVEMENT FUND</b>					
<b>PARKS</b>					
<b>401-751-971.002 NEW PARK PROPERTY</b>					
2671	SIX RIVERS LAND CONSERVANCY	401-HICKORY RIDGE PROPERTY-FINAL FACILITATION FE	1709	07/18/2024	10,000.00
Total PARKS:					10,000.00
Total CAPITAL IMPROVEMENT FUND:					10,000.00
<b>FIRE CAPITAL FUND</b>					
<b>FIRE</b>					
<b>402-336-971.000 VEHICLES</b>					
6241	SZOTT M59 CHRYSLER DODGE RAM	402-2024 RAM 1500 (FM) FLOOR MATS	126468	08/15/2024	180.00
4922	ULTRA BRIGHT LIGHTZ LLC	402-NEW VEHICLE LIGHTS	W180994	08/26/2024	4,202.97
4921	ZOOM MOE-TIVE LLC	402-WINDOW TINT-1500 DODGE	4594	08/20/2024	101.15

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
Total FIRE:					4,484.12
Total FIRE CAPITAL FUND:					4,484.12
<b>DOWNTOWN DEVELOPMENT FUND</b>					
<b>DOWNTOWN DEVELOPMENT AUTHORITY</b>					
<b>494-729-880.001 DDA: PROMOTIONS</b>					
4920	ANN ARBOR SYMPHONY ORCHESTRA	494-INSTRUMENT PETTING ZOO	56	08/19/2024	100.00
<b>494-729-880.003 DDA: DESIGN</b>					
2446	NOWAK & FRAUS ENGINEERS	494-COLASANTI BOARDWALK	122949	08/13/2024	2,268.00
<b>494-729-920.000 DDA: RENT/ UTILITIES</b>					
9090	NET EXPRESS VOIP	494-PHONE SERVICE DDA	429240823	08/23/2024	6.75
<b>494-729-967.000 DDA: FARMERS' MARKET</b>					
4414	JONES, JAMISON	494-ENTERTAINMENT/SOUND	2024-24	08/27/2024	275.00
4495	MARKOVITZ, ASHLEY	494-PERFORMANCE	2024-23	08/27/2024	125.00
Total DOWNTOWN DEVELOPMENT AUTHORITY:					2,774.75
Total DOWNTOWN DEVELOPMENT FUND:					2,774.75
<b>POST-RETIREMENT BENEFITS</b>					
<b>GENERAL GOVERNMENT PERSONNEL B</b>					
<b>737-279-719.000 RETIREE OPEB EXPENSE</b>					
1958	AmWINS GROUP BENEFITS INC.	737-RETIREE HEALTH PREMIUMS	8551594	08/22/2024	450.00
2499	GIBSON, WANDA SUE	737-RETIREE HEALTH REIMBURSEMENT	SEP 2024	08/22/2024	262.52
1181	KILEY, JUDITH A.	737-RETIREE HEALTH REIMBURSEMENT	SEP 2024	08/29/2024	165.00
9095	PATTERSON, BRIDGET	737-RETIREE HEALTH REIMBURSEMENT	JUL 2024	08/29/2024	265.83
1206	REGAN, RITA	737-RETIREE VISION REIMBURSEMENT	08222024	08/22/2024	300.00
1206	REGAN, RITA	737-RETIREE HEALTH REIMBURSEMENT	SEP 2024	08/22/2024	450.00
1373	WAGNER, PATRICIA G.	737-RETIREE HEALTH REIMBURSEMENT	AUG 2024	08/22/2024	249.35
Total GENERAL GOVERNMENT PERSONNEL B:					2,142.70
Total POST-RETIREMENT BENEFITS:					2,142.70
<b>CHARLICK LAKE ASSOC</b>					
<b>TRUST &amp; AGENCY ADMIN</b>					
<b>768-255-956.000 CHARLICK LAKE: DEDUCTIONS</b>					
1081	AQUA-WEED CONTROL INC.	768-ALGAE/WEED TREATMENT-CHARLICK LAKE	21762	08/22/2024	4,347.50

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
Total TRUST & AGENCY ADMIN:					4,347.50
Total CHARLICK LAKE ASSOC:					4,347.50
<b>PENNINSULA LAKE</b>					
<b>TRUST &amp; AGENCY ADMIN</b>					
<b>774-255-956.000 PENINSULA LAKE: DEDUCTIONS</b>					
9023	PLM LAKE & LAND MANAGEMENT CORP	774-ALGAE TREATMENT-PENINSULA LAKE	4006414	08/19/2024	377.48
Total TRUST & AGENCY ADMIN:					377.48
Total PENNINSULA LAKE:					377.48
Grand Totals:					52,620.92

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
<b>GENERAL FUND</b>					
<b>ASSESSOR</b>					
<b>101-257-720.000 ASSESSING: CONTRACTUAL SVCS</b>					
9278	WAYNE COUNTY APPRAISAL LLC	101-MONTHLY ASSESSING CONTRACT FEE	SEP 2024	08/29/2024	10,938.16
Total ASSESSOR:					10,938.16
<b>GENERAL GOVERNMENT PERSONNEL B</b>					
<b>101-279-712.000 GGP:HEALTH/DENTAL/LIFE/DIS INS</b>					
9402	ASSURITY LIFE INSURANCE CO.	101-ASSURITY INSURANCE-TWP	4004331760	08/23/2024	248.45
9402	ASSURITY LIFE INSURANCE CO.	101-ASSURITY INSURANCE-ACT. CTR	4004331760	08/23/2024	219.90
Total GENERAL GOVERNMENT PERSONNEL B:					468.35
<b>BUILDING</b>					
<b>101-371-801.000 BLDG: INSP/ELEC/PLUMB/HTG</b>					
1199	GREG CALME ELECTRIC LLC	101-INSPECTIONS	08/14/24-08/27/24	08/28/2024	1,539.87
Total BUILDING:					1,539.87
<b>ACTIVITY CENTER</b>					
<b>101-672-938.000 ACTIVITY CTR: OFF. EQUIP MAINT</b>					
2059	APPLIED INNOVATION	101-COPIER MAINT. CONTRACT-ACT. CTR	2586247	08/16/2024	477.36
2059	APPLIED INNOVATION	101-ADDITONAL PAGES- ACTIVITY CENTER	2586247	08/16/2024	1,447.45
Total ACTIVITY CENTER:					1,924.81
Total GENERAL FUND:					14,871.19
<b>FIRE FUND</b>					
<b>FIRE</b>					
<b>206-336-712.001 FIRE:HEALTH/DENTAL/LIFE/DISINS</b>					
9402	ASSURITY LIFE INSURANCE CO.	206-ASSURITY INSURANCE-FIRE	4004331778	08/23/2024	311.78
Total FIRE:					311.78
Total FIRE FUND:					311.78
Grand Totals:					15,182.97

Vendor	Name	Description	Invoice Number	Invoice Date	Invoice Amount
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Total GENERAL FUND:	32,533.64
Total ROAD FUND:	1,710.00
Total FIRE FUND:	9,268.22
Total POLICE FUND:	165.48
Total CAPITAL IMPROVEMENT FUND:	10,000.00
Total FIRE CAPITAL FUND:	4,484.12
Total DOWNTOWN DEVELOPMENT FUND:	2,774.75
Total POST-RETIREMENT BENEFITS:	2,142.70
Total CHARLICK LAKE ASSOC:	4,347.50
Total PENNINSULA LAKE:	377.48
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Grand Totals:	67,803.89
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**Payroll and Hand Check September 5 2024 List of Bills**

**GENERAL FUND**

Payroll Taxes (FICA & FWT) 8/30/2024	\$	29,010.21
General/Fire Payroll 8/30/2024	\$	80,062.01

Equitable - Deferred Comp.	\$	1,250.00
Mission SQ - Deferred Comp.	\$	1,974.32
Flexible Savings Account	\$	758.15
401A Employee Loan Payment	\$	68.62
Highland Firefighters Assn		

Highland Firefighters Union Dues-Full-Time  
Highland Firefighters Union Dues-Part-Time

09/30/2024 DDA LOAN-Monthly	\$	3,771.83
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The following needs to be added to the List of Bills dated 9/5/2024:

1. Wex Fund 101 for \$530.36
2. Wex Fund 206 for \$3231.20
3. Wex Fund 702 for \$254.45

The following needs to be added to the List of Bills dated 9/5/2024:

1. ADP Fund 101 for \$173.10
2. Comcast Fund 206 for \$197.85
3. DTE Fund 101 for \$170.24
4. DTE Fund 101 for \$5382.42 (streetlights)

These particular invoices were not available prior to the completion of the LOB's and only just recently became available and needs to be added upon request or to avoid fees.

# Memo:

## Highland Activity Center

**To:** Rick Hamill  
**From:** Heidi Bey, Director, Highland Activity Center  
**CC:** Highland Township Board of Trustees  
**Date:** 8/20/2024  
**Re:** Lisa Rehbine (New Highland Activity Center Council member)

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**Comments:** For the Board's information, this memorandum is to inform the Board that the Activity Center Council is voting in Lisa Rehbine for the position of council member.  
Please submit for the September Board Consent Agenda.

Thank you for your consideration in this matter.

Heidi Bey

Director

Highland Activity Center

REHBINE INSURANCE GROUP, 1651 S Milford Rd, Ste 105 Highland, MI 48357  
Office: (248) 662-0181

Email: [lrehbine@fbinsmi.com](mailto:lrehbine@fbinsmi.com) Web: [RehbineInsuranceGroup.com](http://RehbineInsuranceGroup.com)

August 13, 2024

Highland Activity Center  
209 N John St  
Highland MI 48357

Re: HAC membership and community support

Dear Council members,

At the invitation of Steven and Lisa Jagusch, I am interested in becoming more involved with the Highland community, and the events offered by the Highland Activity Center.

Since 2008, I have been supporting Farm Bureau Insurance agencies in the greater Metro Detroit area, offering sales support and agent training. On March 1<sup>st</sup>, I was honored to be in a position to take over the Highland agency, which I was managing for the past 4 years. As a ten-year Huron Valley resident, and insurance advisor to local families, I would love to offer my time and expertise to those around me here in Highland. Farm Bureau is a very community-focused company, which fits well with my desire to be part of making the world around me more secure, informed, and interdependent.

I would be happy to invite any members of the council to my office to get to know one another better and understand how I may be an asset to Highland and the Activity Center.

Thank you for your consideration,



Lisa Rehbine

Agent/Owner

Rehbine Insurance Group, LLC

BUDGET AMENDMENT WORKSHEET  
**2024 PROPOSED BUDGET AMENDMENTS**  
 BOARD MEETING - September 9, 2024

FUND & ACCOUNT	ORIGINAL BUDGET 12/31/2024	AS AMENDED 12/31/2024	PROPOSED AMENDMENTS	PROPOSED NEW BUDGET
<b><u>DDA FUND</u></b>				
<b>Revenues:</b>				
494-000-677.005      FUNDRAISING	\$2,000.00	\$2,000.00	+	\$14,000.00 = \$16,000.00
<b>Expenditures:</b>				
494-729-880.001      DDA: PROMOTIONS	\$27,450.00	\$27,450.00	+	\$9,000.00 = \$36,450.00
494-729-705.000      DDA: PART-TIME SEASONAL	\$4,000.00	\$4,000.00	+	\$5,000.00 = \$9,000.00

**Purpose of Amendment:**

To record additional revenues and increase expenditures for promotions and part-time seasonal help. Net effect is zero.



# Memorandum

To: Highland Township Board of Trustees  
From: Rick A. Hamill  
Date: September 9, 2024  
Re: Hiring for Substitute Crossing Guard Position

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For the boards approval, I am submitting my recommendation to hire Andrew Webster as a new substitute crossing guard. This professional is responsible for assisting with traffic safety by directing and stopping traffic at Highland Elementary and Spring Mills Elementary Schools crosswalk areas by assisting children in safely crossing the street in crosswalk area.

The position was advertised on our web site, the digital sign, and all local social media platforms.

After a thorough review of Mr. Websters application, we are confident in his qualifications to fill this position. After review with the hiring committee and in-house officials it was unanimous that this applicant would be the perfect fit for the position.

**Candidate Name:** Andrew Webster  
**Starting Date:** September 10<sup>th</sup>, 2024  
**Starting Hourly Wage:** \$28.47/ hour (schedule is one hour per day)  
**Grade:** 1  
**Classification:** Part Time  
**Seasonal:** Seasonal position, potentially working the Huron Valley School schedule Monday-Friday, September through June  
**Exempt:** No  
**Maximum Hours:** 1,250 max per year  
**Position Title:** Substitute Crossing Guard  
**Regular Schedule:** No  
**Department Name/Head:** Supervisor Department/ Rick Hamill  
**Interviewed by:** Rick Hamill  
**Budget Amendment Needed:** No

I recommend that we hire Andrew Webster to fill the position of Substitute Crossing Guard. Starting pay will be \$28.47/ hour (schedule is one hour per day), not to exceed 5 hours per week. Effective start date will be September 10<sup>th</sup>, 2024.

*Warm inside. Great outdoors.*





**5b. Receive and File:**

Activity Advisory Council Minutes – July 2024

Activity Advisory Council Treasurer’s Report – July 2024

Activity Center Director's Report – July 2024

Financial Report – June 2024

Fire Department Report – August 2024

Library Board Minutes – July 2024

Library Director’s Report – July 2024

Treasurer Report - July 2024

Zoning Board of Appeals Minutes - July 17, 2024 and August 7, 2024

Fire Department Notification of Open Position

The Percy A. Duncan and Ethel J. Duncan Trust Distribution to Highland Fire  
Department

**Highland Activity Center Advisory Council Meeting Minutes**  
**Tuesday July 9, 2024**

**CALL TO ORDER:**

The Highland Activity Center Advisory Council meeting was called to order by Caroly at 9:06

**PRESENT:**

Sue Anderson, Carolyn Kress, Chuck Sharp, Ray Polidori, Steve Jagusch, Lisa Jagusch, Dick Russell, Peter Werthmann and Heidi Bey.

**ABSENT:**

Terry Olexsy, Patti Janette (sabbatical), and Jennifer Frederick

**SECRETARY'S MINUTES:**

Motion to approve the Secretary's Minutes from June 2024 was made by Ray Polidori, seconded by Peter Werthmann. Unanimously approved by all.

**TREASURER'S REPORT:**

Motion to approve the Treasurer's Report from June 2024 was made by Chuck Sharp. Seconded by Sue Andersson. Unanimously approved by all.

**DIRECTOR'S ACTIVITY REPORT:**

**MOTION TO ADJOURN:**

Motion to adjourn the meeting was made at 9:39 am by Steve Jagusch, seconded by Sue Anderson, and unanimously approved by all.

Next Council meeting will be held on July 9<sup>th</sup> at Township auditorium.

Respectfully submitted,  
Carolyn & Heidi  
Council Chair & Center Director

***#HIGHLAND KINDNESS***

**Highland Activity Center  
Advisory Board - Fund 702  
Financial Report  
July 31, 2024**

<i>Date</i>	<i>Source</i>	<i>Amount</i>	<i>Bank Balance</i>
<b>Starting Balance July 1, 2024</b>			<b>7,499.41</b>
<b>Revenues</b>			
	<i>Donations/Memorials P. Sawye</i>	50.00	
	<i>Trips</i>	600.00	
	<i>Tickets</i>	195.00	
	<i>Classes</i>	1,815.00	
	<i>Advertisement/Dog Training</i>	500.00	
	<i>Health Fair</i>	50.00	
<b>Total Revenues</b>		<b>3,210.00</b>	<b><u>10,709.41</u></b>
<b>Expenditures</b>			
	<i>Gordon</i>	285.72	
	<i>Gas</i>		
	<i>Chase Credit Card</i>	250.53	
	<i>Highland Supply</i>		
	<i>Traveling Trainers</i>	1,280.00	
	<i>Amazon Credit</i>		
<b>Total Expenditures</b>		<b>1,816.25</b>	<b><u>8,893.16</u></b>
	 <i>Ending bank balance July 31, 2024</i>		 <b><u>8,893.16</u></b>

**Submitted by  
Jennifer Frederick, Treasurer  
Highland Township**

September 4, 2024



**Highland Activity Center**

**Directors Activity Report**

**August Activity Report (For July)**

**Meeting: Tuesday, August 13, 2024 at 9:00am (Auditorium)**

**Stats for July:**

**DAILY/NEW**

**NEXT 8/12 (SECOND MONDAY) HAIR CUTS 4 \$ & FREE HEARING TESTS 0.**

Soldiers Wish List packing, First Thursdays on going. Come join us.

Exercise session ended (M, W & F.) Next session start 8/19

Hula Hoop. Done till September

Games and cards weekly.

Renewal and paint classes will resume in the fall.

“PASSWORD” Will be rescheduled.

Next DIA trip 8/29.

**Update/FYI**

**DIA Inside/Out program– maps available at the Center.**

**HAC Events**

Date	Name of Event	Time	Price	Driver 1	Driver 2	Driver 3	Sign Up
8/13	Armada Fair	9am	\$15	Jeff`	Heidi		8/13
8/15	Federal reserve	9am	\$15	Chari	Ashley	Justin	8/1
8/22	Password Game	12pm	Free	-	-		5/29
8/29	DIA	12pm	Free	-	-	-	-
9/12	Giltmore	9am	\$25	Chari	Ashley		8/26
9/13	End of Summer Party	12pm	\$15	-	-	-	8/12
9/16	Edmond Fitz Gerald Presentation	6pm	\$20	-	-	-	8/12
9/19	WT Zoo	10am	\$15	Chari	Jeff		9/5
9/24	Yankee Air	9am	\$15	Chari	Heidi		9/3
10/2	Toledo Zoo	9am	\$15	Jeff`	Ashley		9/16
10/8	Health Fair	9am	FREE	-	-	-	
10/10	Oakhill Cemetary	10am	\$15	Heidi	Chari		9/26
10/17	MI Princess Boat	9am	\$70	Heidi	Ashley		9/17
10/22	Hell & Back	10am	\$10	Jeff`	Ashley		10/1
10/25	Halloween party	12pm	\$15	-	-	-	9/25
11/5	Cider Mill- Three Cedars	10am	\$15	Jeff`	Ashley		10/15
11/7	Bronners/Frankenmuth	10am	\$15	Heidi	Jeff		10/24
11/11	Closed						
11/15	Thanksgiving Party	12pm	\$15	-	-	-	
11/19	Pine Knob Christmas Lights ?	4pm	\$15	Jeff`	Ashley	?	10/29
11/21	Cranbrook	10am	\$15	Jeff`	Ashley		10/31
11/26	Crafting W/ Robin	10am	??	-	-	-	
11/28	Closed						
11/29	Closed						
11/29	Polar Express	2pm	\$100	Heidi	Ashley	Chari	-
12/2	Crafting w/ greens	6pm	\$5	-	-	-	-
12/3	Crafting w/ greens	11am	\$5	-	-	-	-
12/4	Broadview Farm	12pm	Free	-	-	-	11/14
12/10	Medowbrook/Christmas Lights Ugly Sweater	4pm	\$25	Heidi	Ashley	Jeff	11/14
12/12	Cookie Swap	10am		-	-	-	11/14
12/17	Ford Mansion	10am	\$15	Jeff`	Ashley		11/26
12/20	Christmas Party/ White Elephant	12pm	\$15	-	-	-	11/26

CHARTER TOWNSHIP OF HIGHLAND

BALANCE SHEET  
JUNE 30, 2024

GENERAL FUND

ASSETS

101-000-004.000	PETTY CASH	93.34
101-000-008.000	PERPETUAL FUND	1,087.10
101-000-010.000	CASH - COMBINED SAVINGS	4,936,355.85
101-000-078.000	DUE FROM STATE REVENUES	354,584.00
101-000-084.477	DUE TO/FROM CABLE TV FEES	72,949.66

TOTAL ASSETS

5,365,069.95

LIABILITIES AND EQUITY

LIABILITIES

101-000-202.001	BUILDING BONDS PAYABLES	195,181.00
101-000-202.002	HEALTH REIMBURSEMENT PAYABLES	5,207.46
101-000-202.005	PLANNING ESCROW PAYABLES	168,142.15
101-000-222.000	OAKLAND CO. ANIMAL CONTROL	1,199.85
101-000-339.000	UNEARNED REVENUE-FEDERAL GRANT	698,057.63

TOTAL LIABILITIES

1,067,788.09

FUND EQUITY

101-000-386.000	FUND BALANCE-ASSIGN CAPITAL IM	1,500,000.00
101-000-390.000	FUND BALANCE	2,182,169.83
	REVENUE OVER EXPENDITURES - YTD	615,112.03

TOTAL FUND EQUITY

4,297,281.86

TOTAL LIABILITIES AND EQUITY

5,365,069.95

**CHARTER TOWNSHIP OF HIGHLAND**  
**REVENUES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**GENERAL FUND**

	ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<b>REVENUE</b>						
101-000-402.000	CURRENT PROPERTY TAX	592,981.00	592,981.00	603,255.29	18,683.26 ( 10,274.29)	101.73
101-000-404.000	SALES TAX	2,169,289.00	2,219,289.00	1,022,924.00	331,594.00 1,196,365.00	46.09
101-000-412.000	DELINQUENT P. PROPERTY TAX	.00	.00	4,008.65	2,064.15 ( 4,008.65)	.00
101-000-423.000	MOBILE HOME TAXES	8,000.00	8,000.00	4,185.50	704.50 3,814.50	52.32
101-000-477.000	CABLE TV FRANCHISE FEES	300,000.00	300,000.00	144,171.56	.00 155,828.44	48.06
101-000-478.000	DOG LICENSES	1,500.00	1,500.00	1,341.00	290.00 159.00	89.40
101-000-490.000	OTHER LIC. & PERMIT	5,000.00	5,000.00	5,062.50	399.00 ( 62.50)	101.25
101-000-491.000	BUILDING PERMITS	200,000.00	200,000.00	95,963.80	19,235.60 104,036.20	47.98
101-000-491.001	HEATING PERMITS	50,000.00	50,000.00	27,816.40	4,541.00 22,183.60	55.63
101-000-491.002	PLUMBING PERMITS	42,000.00	42,000.00	13,035.00	1,416.00 28,965.00	31.04
101-000-491.003	ELECTRICAL PERMITS	88,000.00	88,000.00	31,362.20	5,114.00 56,637.80	35.64
101-000-522.003	SOC SERV: C D B G REVENUE	50,000.00	50,000.00	4,311.00	.00 45,689.00	8.62
101-000-528.001	ARPA FEDERAL GRANT REVENUE	710,000.00	710,000.00	.00	.00 710,000.00	.00
101-000-540.000	GRANT REVENUE	.00	.00	77.00	.00 ( 77.00)	.00
101-000-584.005	METRO AUTHORITY	27,000.00	27,000.00	16,004.49	.00 10,995.51	59.28
101-000-584.013	LOCAL COMMUNITY STABILIZ. AUTH	.00	.00	13,049.70	.00 ( 13,049.70)	.00
101-000-607.002	CONTRACTORS REGISTRATIONS	3,000.00	3,000.00	1,314.00	150.00 1,686.00	43.80
101-000-607.019	SUMMER TAX COLLECTION FEE	50,000.00	50,000.00	.00	.00 50,000.00	.00
101-000-607.022	ENHANCE ACCESS FEES	6,000.00	6,000.00	3,671.86	.00 2,328.14	61.20
101-000-607.034	ADMINISTRATION FEES	42,000.00	42,000.00	.00	.00 42,000.00	.00
101-000-608.025	DISTRICT COURT MONIES	50,000.00	50,000.00	23,960.69	3,809.82 26,039.31	47.92
101-000-628.015	ZONING BD. OF APPEALS	7,000.00	7,000.00	3,850.00	550.00 3,150.00	55.00
101-000-628.016	SITE PL. REVIEW, OTHERS	6,000.00	6,000.00	3,350.00	1,325.00 2,650.00	55.83
101-000-642.000	SALE OF CEMETERY LOTS	5,000.00	5,000.00	7,500.00	2,500.00 ( 2,500.00)	150.00
101-000-651.006	ACTIVITY CENTER ADVERTISING	.00	.00	3,000.00	500.00 ( 3,000.00)	.00
101-000-651.007	ACTIVITY CENTER REVENUES	3,000.00	3,000.00	4,650.00	750.00 ( 1,650.00)	155.00
101-000-665.000	INTEREST EARNINGS	50,000.00	50,000.00	118,599.49	28,769.54 ( 68,599.49)	237.20
101-000-666.001	MMRMA DISTRIBUTION	.00	.00	51,363.00	.00 ( 51,363.00)	.00
101-000-667.001	PARK: RENTALS	.00	.00	350.00	.00 ( 350.00)	.00
101-000-667.010	ACT CTR STEEPLE HALL UTILITIES	5,000.00	5,000.00	2,098.48	83.00 2,901.52	41.97
101-000-667.035	POLICE LEASE PAYMENTS	28,000.00	28,000.00	13,999.98	2,333.33 14,000.02	50.00
101-000-667.288	WOTA RENT	25,000.00	25,000.00	25,000.00	.00 .00	100.00
101-000-676.018	ELECTION REIMBURSEMENT	45,000.00	80,000.00	( 2,273.84)	.00 82,273.84 ( 2.84)	
101-000-676.029	ORDINANCE VIOLATION REIMBURSE	.00	.00	30.00	361.92 ( 30.00)	.00
101-000-676.030	SNOW REMOVAL REIMBURSEMENT	7,500.00	7,500.00	7,815.08	.00 ( 315.08)	104.20
101-000-677.031	MISCELLANEOUS	15,000.00	15,000.00	7,368.90	870.00 7,631.10	49.13
101-000-692.000	APPROPRIATION FUND BAL.	.00	606,707.00	.00	.00 606,707.00	.00
	<b>REVENUE</b>	<b>4,591,270.00</b>	<b>5,282,977.00</b>	<b>2,262,215.73</b>	<b>426,044.12 3,020,761.27</b>	<b>42.82</b>
	<b>TOTAL FUND REVENUE</b>	<b>4,591,270.00</b>	<b>5,282,977.00</b>	<b>2,262,215.73</b>	<b>426,044.12 3,020,761.27</b>	<b>42.82</b>

**CHARTER TOWNSHIP OF HIGHLAND**  
**EXPENDITURES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**GENERAL FUND**

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<b>LEGISLATIVE</b>							
101-102-702.000	LEGISLATIVE: SALARIES	27,552.00	27,552.00	12,874.61	2,119.61	14,677.39	46.73
101-102-820.000	LEGISLATIVE: DUES/ED/TRAVEL	6,000.00	6,000.00	.00	.00	6,000.00	.00
	<b>TOTAL LEGISLATIVE</b>	<b>33,552.00</b>	<b>33,552.00</b>	<b>12,874.61</b>	<b>2,119.61</b>	<b>20,677.39</b>	<b>38.37</b>
<b>SUPERVISOR</b>							
101-171-702.000	SUP DEPT: SALARIES	89,789.00	89,789.00	41,440.92	6,906.82	48,348.08	46.15
101-171-703.002	SUP DEPT: ASSISTANT WAGE F-T	53,488.00	53,488.00	24,796.78	4,224.24	28,691.22	46.36
101-171-704.003	SUP DEPT: CLERICAL WAGE P-T	33,409.00	33,409.00	13,035.62	2,393.28	20,373.38	39.02
101-171-704.005	SUP DEPT: MAINT WAGE P-T	34,507.00	34,507.00	15,764.32	2,654.08	18,742.68	45.68
101-171-704.007	SUP: COMMUNICATIONS WAGE P-T	31,743.00	31,743.00	13,224.71	2,299.72	18,518.29	41.66
101-171-705.000	SUP: PART-TIME SEASONAL MAINT	26,516.00	26,516.00	6,762.55	2,447.60	19,753.45	25.50
101-171-705.001	SUP: SEASONAL FLOATER WAGE P-	15,174.00	15,174.00	392.39	.00	14,781.61	2.59
101-171-820.000	SUP DEPT: DUES/ED/TRAVEL	2,500.00	2,500.00	180.00	.00	2,320.00	7.20
	<b>TOTAL SUPERVISOR</b>	<b>287,126.00</b>	<b>287,126.00</b>	<b>115,597.29</b>	<b>20,925.74</b>	<b>171,528.71</b>	<b>40.26</b>
<b>ACCOUNTING</b>							
101-191-703.000	ACCTG: BOOKKEEPER WAGE F-T	62,823.00	88,287.00	47,903.21	5,769.00	40,383.79	54.26
101-191-704.001	ACCTG: P-T ASSISTANT	27,649.00	27,649.00	12,786.32	2,127.36	14,862.68	46.25
101-191-820.000	ACCTG: DUES/ED/TRAVEL	3,000.00	3,000.00	1,048.16	.00	1,951.84	34.94
	<b>TOTAL ACCOUNTING</b>	<b>93,472.00</b>	<b>118,936.00</b>	<b>61,737.69</b>	<b>7,896.36</b>	<b>57,198.31</b>	<b>51.91</b>
<b>CLERK</b>							
101-215-702.002	CLERK: SALARIES	85,299.00	85,299.00	39,368.88	6,561.48	45,930.12	46.15
101-215-703.001	CLERK: DEPUTY WAGE F-T	66,984.00	66,984.00	30,708.97	5,152.52	36,275.03	45.85
101-215-703.005	CLERK: CLERICAL WAGE F-T	45,299.00	45,299.00	20,895.44	3,484.51	24,403.56	46.13
101-215-720.000	CLERK: RECORDING SECTY	1,800.00	1,800.00	.00	.00	1,800.00	.00
101-215-721.007	CLERK: ELECTION INSPECTORS	40,000.00	40,000.00	.00	( 31,628.50)	40,000.00	.00
101-215-721.008	CLERK: ELECTION WAGE	10,000.00	10,000.00	33.92	33.92	9,966.08	.34
101-215-730.000	CLERK: ELECTION EXPENSES SUPP	35,000.00	35,000.00	14,199.27	2,760.24	20,800.73	40.57
101-215-820.000	CLERK: DUES/ED/TRAVEL	7,000.00	7,000.00	1,722.64	459.00	5,277.36	24.61
101-215-935.000	CLERK: VOTING EQUIP MAINT	7,050.00	7,050.00	1,632.00	.00	5,418.00	23.15
101-215-957.000	CLERK: ELECT EXP TO BE REIMBUR	20,000.00	55,000.00	17,827.92	130.98	37,172.08	32.41
101-215-957.001	CLERK: ELECTION WAGE TO REIMBU	25,000.00	25,000.00	52,332.02	32,737.09	( 27,332.02)	209.33
	<b>TOTAL CLERK</b>	<b>343,432.00</b>	<b>378,432.00</b>	<b>178,721.06</b>	<b>19,691.24</b>	<b>199,710.94</b>	<b>47.23</b>

**CHARTER TOWNSHIP OF HIGHLAND**  
**EXPENDITURES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**GENERAL FUND**

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<b>TREASURER</b>							
101-253-702.001	TREAS: SALARIES	85,299.00	85,299.00	39,485.88	6,561.48	45,813.12	46.29
101-253-703.000	TREAS: DEPUTY WAGE F-T	59,094.00	59,094.00	27,476.08	4,546.52	31,617.92	46.50
101-253-703.003	TREAS: CLERICAL WAGE F-T	39,087.00	39,087.00	18,183.07	3,007.52	20,903.93	46.52
101-253-705.004	TREAS: PART-TIME SEASONAL	6,843.00	6,843.00	1,494.00	.00	5,349.00	21.83
101-253-820.000	TREAS: DUES/ED/TRAVEL	6,500.00	6,500.00	3,186.13	449.63	3,313.87	49.02
	<b>TOTAL TREASURER</b>	<b>196,823.00</b>	<b>196,823.00</b>	<b>89,825.16</b>	<b>14,565.15</b>	<b>106,997.84</b>	<b>45.64</b>
<b>ASSESSOR</b>							
101-257-720.000	ASSESSING: CONTRACTUAL SVCS	132,000.00	138,000.00	70,776.31	.00	67,223.69	51.29
101-257-720.001	ASSESSING: TAX BD OF REVIEW	1,500.00	2,500.00	1,957.44	.00	542.56	78.30
101-257-820.000	ASSESSING: DUES/ED/TRAVEL	600.00	600.00	272.54	100.56	327.46	45.42
	<b>TOTAL ASSESSOR</b>	<b>134,100.00</b>	<b>141,100.00</b>	<b>73,006.29</b>	<b>100.56</b>	<b>68,093.71</b>	<b>51.74</b>
<b>GENERAL GOVERNMENT</b>							
101-261-728.000	GEN GOV: OFFICE SUPPLIES	15,000.00	15,000.00	5,093.97	274.05	9,906.03	33.96
101-261-735.000	GEN GOV: POSTAGE	8,000.00	8,000.00	4,970.05	720.05	3,029.95	62.13
101-261-801.001	GEN GOV: PROF SERVICES	25,000.00	25,000.00	2,051.32	.00	22,948.68	8.21
101-261-802.000	GEN GOV: PAYROLL PROCESSING	.00	5,500.00	153.60	153.60	5,346.40	2.79
101-261-803.000	GEN GOV: SNOWPLOW SERV	43,000.00	43,000.00	14,390.67	.00	28,609.33	33.47
101-261-804.000	GEN GOV: LEGAL SERVICES	75,000.00	75,000.00	24,320.00	5,654.75	50,680.00	32.43
101-261-805.000	GEN GOV: AUDITING	85,000.00	90,000.00	89,755.00	.00	245.00	99.73
101-261-813.000	GEN GOV: STORM WATER PERMIT	500.00	500.00	500.00	.00	.00	100.00
101-261-821.000	GEN GOV: MEMBER FEES	13,000.00	13,000.00	12,261.75	26.00	738.25	94.32
101-261-822.000	GEN GOV: BANK FEES	6,000.00	6,000.00	.00	.00	6,000.00	.00
101-261-830.000	GEN GOV: GEN INSURANCE	68,000.00	68,000.00	65,113.00	15,006.50	2,887.00	95.75
101-261-850.000	GEN GOV: FIBER-OTHER COMMUNIC	13,000.00	13,000.00	4,938.00	823.00	8,062.00	37.98
101-261-850.001	GEN GOV: PHONE SERVICE	6,500.00	6,500.00	3,408.07	123.64	3,091.93	52.43
101-261-850.002	GEN GOV: WEBSITE	3,500.00	3,500.00	1,567.00	.00	1,933.00	44.77
101-261-900.000	GEN GOV: TAX BILL PRINTING	12,000.00	12,000.00	2,369.85	2,369.85	9,630.15	19.75
101-261-900.001	GEN GOV: ADVERTISING	25,000.00	25,000.00	3,820.52	486.28	21,179.48	15.28
101-261-900.002	GEN GOV: PRINTING	10,000.00	20,000.00	8,344.25	( 250.00)	11,655.75	41.72
101-261-920.000	GEN GOV: UTILITIES	75,000.00	75,000.00	37,705.31	3,666.65	37,294.69	50.27
101-261-936.000	GEN GOV: TOWNSHIP MAINTENANCE	45,000.00	45,000.00	30,508.45	8,624.35	14,491.55	67.80
101-261-937.000	GEN GOV: VEHICLE OP MAINT	5,000.00	5,000.00	2,484.90	682.78	2,515.10	49.70
101-261-938.000	GEN GOV: EQ/SW MAINT CONTRACT	50,000.00	50,000.00	44,464.04	14,560.04	5,535.96	88.93
101-261-955.000	GEN GOV: MISCELLANEOUS	20,000.00	20,000.00	1,537.38	( 4,077.12)	18,462.62	7.69
101-261-959.000	GEN GOV: METRO AUTHORITY EXP	27,000.00	27,000.00	556.09	528.13	26,443.91	2.06
101-261-971.000	GEN GOV: EQUIP CAP OUTLAY	150,000.00	150,000.00	48,467.85	1,705.93	101,532.15	32.31
101-261-971.001	GEN GOV: COMP CAP OUTLAY	5,000.00	5,000.00	419.74	.00	4,580.26	8.39
101-261-971.003	GEN GOV: COMPUTER SOFTWARE	18,000.00	18,000.00	1,387.44	59.99	16,612.56	7.71
101-261-995.401	GEN GOV: TRANS TO CAP IMPROV	1,000,000.00	1,500,000.00	.00	.00	1,500,000.00	.00
	<b>TOTAL GENERAL GOVERNMENT</b>	<b>1,803,500.00</b>	<b>2,374,000.00</b>	<b>410,588.25</b>	<b>51,138.47</b>	<b>1,963,411.75</b>	<b>17.30</b>



**CHARTER TOWNSHIP OF HIGHLAND**  
**EXPENDITURES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**GENERAL FUND**

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<b>GENERAL GOVERNMENT PERSONNE</b>							
101-279-710.000	GGP: EMPLR PAYROLL TAX	105,000.00	105,000.00	55,264.03	8,913.77	49,735.97	52.63
101-279-711.000	GGP: DEFINED CONTRIBUTION PLAN	115,000.00	115,000.00	53,162.43	25,559.19	61,837.57	46.23
101-279-712.000	GGP:HEALTH/DENTAL/LIFE/DIS INS	150,000.00	150,000.00	91,125.70	12,078.17	58,874.30	60.75
101-279-714.003	GGP: UNEMPLOYMENT CLAIMS	.00	.00	( 1,086.00)	.00	1,086.00	.00
101-279-715.000	GGP: CASH IN LIEU BENEF BUYOUT	80,000.00	80,000.00	42,429.74	7,491.07	37,570.26	53.04
101-279-717.002	GGP: BCN HEALTH REIMBURSEMEN	45,000.00	45,000.00	31,761.39	3,903.10	13,238.61	70.58
101-279-718.001	GGP: PTO CASH PAYOUT	20,000.00	20,000.00	909.30	.00	19,090.70	4.55
	<b>TOTAL GENERAL GOVERNMENT PER</b>	<b>515,000.00</b>	<b>515,000.00</b>	<b>273,566.59</b>	<b>57,945.30</b>	<b>241,433.41</b>	<b>53.12</b>
<b>BUILDING</b>							
101-371-703.000	BLDG: INSPECTOR WAGE F-T	71,386.00	71,386.00	32,949.08	5,491.51	38,436.92	46.16
101-371-703.001	BLDG: CLERICAL WAGE 1 F-T	42,976.00	42,976.00	20,907.08	3,484.51	22,068.92	48.65
101-371-703.002	BLDG: CLERICAL WAGE 2 F-T	40,653.00	40,653.00	17,951.90	3,127.51	22,701.10	44.16
101-371-705.000	BLDG: PART-TIME SEASONAL	8,845.00	8,845.00	.00	.00	8,845.00	.00
101-371-735.000	BLDG: POSTAGE	600.00	600.00	206.85	116.56	393.15	34.48
101-371-801.000	BLDG: INSP/ELEC/PLUMB/HTG	175,000.00	175,000.00	52,437.97	11,085.48	122,562.03	29.96
101-371-801.001	BLDG: SEWER TAP INSP	500.00	500.00	.00	.00	500.00	.00
101-371-820.000	BLDG: DUES/ED/TRAVEL	12,500.00	12,500.00	435.00	25.00	12,065.00	3.48
	<b>TOTAL BUILDING</b>	<b>352,460.00</b>	<b>352,460.00</b>	<b>124,887.88</b>	<b>23,330.57</b>	<b>227,572.12</b>	<b>35.43</b>
<b>CEMETERY</b>							
101-567-935.000	CEMETERY: SEXTON	49,704.00	49,704.00	24,852.00	4,142.00	24,852.00	50.00
101-567-935.001	CEMETERY: MAINTENANCE	15,000.00	15,000.00	1,569.95	.00	13,430.05	10.47
	<b>TOTAL CEMETERY</b>	<b>64,704.00</b>	<b>64,704.00</b>	<b>26,421.95</b>	<b>4,142.00</b>	<b>38,282.05</b>	<b>40.84</b>
<b>SOCIAL SERVICES</b>							
101-670-705.000	SOC SERV: CROSSING GUARDS	16,000.00	16,000.00	8,424.42	1,424.43	7,575.58	52.65
101-670-880.000	SOC SERV: COMMUNITY PROMOTION	8,500.00	8,500.00	.00	.00	8,500.00	.00
101-670-881.000	SOC SERV: YOUTH PROMOTION	8,500.00	8,500.00	.00	.00	8,500.00	.00
101-670-882.000	SOC SERV: DECOR-XMAS LIGHTS	5,000.00	5,000.00	175.00	.00	4,825.00	3.50
101-670-967.005	SOC SERV: CDBG EXPENSES	50,000.00	50,000.00	4,335.00	.00	45,665.00	8.67
	<b>TOTAL SOCIAL SERVICES</b>	<b>88,000.00</b>	<b>88,000.00</b>	<b>12,934.42</b>	<b>1,424.43</b>	<b>75,065.58</b>	<b>14.70</b>

**CHARTER TOWNSHIP OF HIGHLAND**  
**EXPENDITURES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**GENERAL FUND**

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<b>ACTIVITY CENTER</b>							
101-672-703.000	ACTIVITY CTR: DIR. WAGE F-T	53,221.00	53,221.00	24,561.07	4,093.52	28,659.93	46.15
101-672-703.001	ACT CTR: COORDINATOR WAGE F-T	.00	30,817.00	10,248.00	2,928.00	20,569.00	33.25
101-672-703.002	ACT CTR: COMMUNICATION WAGE F-T	40,116.00	40,116.00	18,513.06	3,085.52	21,602.94	46.15
101-672-704.001	ACT CTR: COORDINATOR WAGE P-T	29,432.00	24,400.00	8,782.36	3,121.56	15,617.64	35.99
101-672-704.003	ACT CTR: CLERICAL WAGE P-T	27,045.00	11,000.00	5,694.10	( 934.92)	5,305.90	51.76
101-672-704.006	ACTIVITY CTR: SECURITY P-T	7,000.00	7,000.00	1,799.20	193.60	5,200.80	25.70
101-672-704.007	ACTIVITY CTR: MAINTEN WAGE P-T	13,989.00	12,989.00	4,700.28	645.84	8,288.72	36.19
101-672-704.008	ACT CTR: FLOATER WAGE P-T	.00	17,800.00	2,860.00	492.80	14,940.00	16.07
101-672-728.000	ACTIVITY CTR: OFFICE SUPPLIES	3,000.00	3,000.00	917.39	112.38	2,082.61	30.58
101-672-729.000	ACTIVITY CTR: OPER. SUPPLIES	6,000.00	6,000.00	1,539.18	113.71	4,460.82	25.65
101-672-735.000	ACTIVITY CTR: POSTAGE	2,500.00	2,500.00	6.07	2.56	2,493.93	.24
101-672-820.000	ACTIVITY CTR: DUES/ED/TRAVEL	1,200.00	1,200.00	75.00	.00	1,125.00	6.25
101-672-850.000	ACTIVITY CTR: PHONE SERVICE	1,500.00	1,500.00	434.28	19.42	1,065.72	28.95
101-672-850.001	ACTIVITY CTR: INTERNET SERVICE	2,500.00	2,500.00	647.88	107.98	1,852.12	25.92
101-672-850.002	STEEPLE HALL: INTERNET SERVICE	3,500.00	3,500.00	1,686.96	281.16	1,813.04	48.20
101-672-900.000	ACTIVITY CTR: ADVERT./PRINTING	8,000.00	8,000.00	2,640.90	1,500.00	5,359.10	33.01
101-672-920.000	ACTIVITY CTR: UTILITIES	11,000.00	11,000.00	4,497.64	726.30	6,502.36	40.89
101-672-920.002	STEEPLE HALL: UTILITIES	9,000.00	9,000.00	2,975.27	365.20	6,024.73	33.06
101-672-936.000	ACTIVITY CTR: BUILDING MAINT	6,000.00	6,000.00	987.93	12.00	5,012.07	16.47
101-672-936.002	STEEPLE HALL: BUILDING MAINT	20,000.00	20,000.00	12,551.07	1,238.00	7,448.93	62.76
101-672-938.000	ACTIVITY CTR: OFF. EQUIP MAINT	2,500.00	10,500.00	3,580.00	.00	6,920.00	34.10
	<b>TOTAL ACTIVITY CENTER</b>	<b>247,503.00</b>	<b>282,043.00</b>	<b>109,697.64</b>	<b>18,104.63</b>	<b>172,345.36</b>	<b>38.89</b>
<b>PLANNING &amp; ORDINANCE</b>							
101-701-703.001	PLNG: DIR.PLAN & DEV. WAGE F-T	86,190.00	86,190.00	39,868.40	6,630.00	46,321.60	46.26
101-701-703.003	PLNG: ZONING ADMIN WAGE F-T	48,859.00	48,859.00	22,704.38	3,759.00	26,154.62	46.47
101-701-703.004	OE: ZONING ADMIN. WAGE F-T	58,406.00	58,406.00	27,029.95	4,492.51	31,376.05	46.28
101-701-703.005	OE: ORDINANCE OFFICER WAGE F-T	34,457.00	34,457.00	15,823.50	2,650.50	18,633.50	45.92
101-701-704.005	OE: ORDIN OFFICER WAGE ASST P-T	.00	31,743.00	8,314.76	2,399.70	23,428.24	26.19
101-701-820.000	PLNG: DUES/ED/TRAVEL	4,400.00	5,000.00	1,831.57	56.55	3,168.43	36.63
101-701-935.000	OE: VIOLATION CORRECTIONS	3,000.00	3,000.00	920.00	920.00	2,080.00	30.67
	<b>TOTAL PLANNING &amp; ORDINANCE</b>	<b>235,312.00</b>	<b>267,655.00</b>	<b>116,492.56</b>	<b>20,908.26</b>	<b>151,162.44</b>	<b>43.52</b>
<b>ZONING BOARD OF APPEALS (ZBA)</b>							
101-702-720.000	ZBA: MEETING PAY	15,480.00	15,480.00	5,580.00	.00	9,900.00	36.05
101-702-720.001	ZBA: RECORDING SECRETARY	2,400.00	2,400.00	.00	.00	2,400.00	.00
101-702-801.000	ZBA: PROFESSIONAL SERVICES	500.00	500.00	.00	.00	500.00	.00
101-702-820.000	ZBA: DUES/ED/TRAVEL	1,000.00	1,000.00	90.00	.00	910.00	9.00
101-702-900.000	ZBA: ADVERTISING	5,000.00	5,000.00	834.48	.00	4,165.52	16.69
	<b>TOTAL ZONING BOARD OF APPEALS</b>	<b>24,380.00</b>	<b>24,380.00</b>	<b>6,504.48</b>	<b>.00</b>	<b>17,875.52</b>	<b>26.68</b>

**CHARTER TOWNSHIP OF HIGHLAND**  
**EXPENDITURES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**GENERAL FUND**

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<b>PLANNING COMMISSION</b>							
101-703-720.000	PLNG COMM: RECORDING SECTY	2,400.00	2,400.00	.00	.00	2,400.00	.00
101-703-720.001	PLNG COMM: COMMISSION	19,800.00	19,800.00	5,010.00	.00	14,790.00	25.30
101-703-720.002	PLNG COMM: SUB-COMMITTEE	750.00	750.00	.00	.00	750.00	.00
101-703-801.000	PLNG COMM: MASTER PLAN PROF.	5,000.00	25,000.00	7,290.00	.00	17,710.00	29.16
101-703-801.001	PLNG COMM: ORDINANCE REVISION	8,000.00	8,000.00	.00	.00	8,000.00	.00
101-703-820.000	PLNG COMM: DUES/ED/TRAVEL	2,000.00	2,000.00	783.63	.00	1,216.37	39.18
101-703-900.000	PLNG COMM: ADVERTISING/PRTG	5,500.00	5,500.00	1,269.77	279.25	4,230.23	23.09
	<b>TOTAL PLANNING COMMISSION</b>	<b>43,450.00</b>	<b>63,450.00</b>	<b>14,353.40</b>	<b>279.25</b>	<b>49,096.60</b>	<b>22.62</b>
<b>PARKS</b>							
101-751-729.000	PARKS: HIGHLAND STATION	3,500.00	3,500.00	.00	.00	3,500.00	.00
101-751-729.001	PARKS: VETERAN'S PARK	2,500.00	2,500.00	1,586.99	775.00	913.01	63.48
101-751-729.002	PARKS: HICKORY RIDGE	3,000.00	3,000.00	470.00	125.00	2,530.00	15.67
101-751-729.003	PARKS: DUCK LAKE PINES	3,000.00	3,000.00	2,785.63	954.82	214.37	92.85
101-751-801.006	PARKS: FIREWORKS	15,000.00	15,000.00	11,000.00	.00	4,000.00	73.33
101-751-920.000	PARKS: UTILITIES	5,000.00	5,000.00	682.18	370.64	4,317.82	13.64
101-751-935.000	PARKS: MAINTENANCE	20,000.00	20,000.00	3,369.63	1,254.00	16,630.37	16.85
	<b>TOTAL PARKS</b>	<b>52,000.00</b>	<b>52,000.00</b>	<b>19,894.43</b>	<b>3,479.46</b>	<b>32,105.57</b>	<b>38.26</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>4,514,814.00</b>	<b>5,239,661.00</b>	<b>1,647,103.70</b>	<b>246,051.03</b>	<b>3,592,557.30</b>	<b>31.44</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>76,456.00</b>	<b>43,316.00</b>	<b>615,112.03</b>	<b>179,993.09</b>	<b>571,796.03</b>	

# CHARTER TOWNSHIP OF HIGHLAND

## BALANCE SHEET

JUNE 30, 2024

### ROAD FUND

#### ASSETS

203-000-002.000	HAULING ROUTE SAVINGS ACCT.	677,870.64
203-000-010.000	CASH - COMBINED SAVINGS	64,851.72
203-000-019.000	HAUL ROUTE RECEIVABLE	8,400.00

TOTAL ASSETS

751,122.36

#### LIABILITIES AND EQUITY

##### LIABILITIES

203-000-202.001	HAULING ROUTE PAYABLE	39,823.04
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TOTAL LIABILITIES

39,823.04

##### FUND EQUITY

203-000-390.000	FUND BALANCE	208,192.48
203-000-392.000	RESTRICTED FUND BALANCE	491,344.23
	REVENUE OVER EXPENDITURES - YTD	11,762.61

TOTAL FUND EQUITY

711,299.32

TOTAL LIABILITIES AND EQUITY

751,122.36

**CHARTER TOWNSHIP OF HIGHLAND**  
**REVENUES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**ROAD FUND**

	ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<u>REVENUE</u>						
203-000-604.000	55,000.00	55,000.00	.00	.00	55,000.00	.00
203-000-665.000	.00	.00	1,025.41	173.79	( 1,025.41)	.00
203-000-699.401	50,000.00	50,000.00	50,000.00	.00	.00	100.00
<b>REVENUE</b>	<b>105,000.00</b>	<b>105,000.00</b>	<b>51,025.41</b>	<b>173.79</b>	<b>53,974.59</b>	<b>48.60</b>
<b>TOTAL FUND REVENUE</b>	<b>105,000.00</b>	<b>105,000.00</b>	<b>51,025.41</b>	<b>173.79</b>	<b>53,974.59</b>	<b>48.60</b>
<u>ROAD</u>						
203-596-967.000	34,000.00	34,000.00	1,892.80	636.80	32,107.20	5.57
203-596-967.001	40,000.00	40,000.00	37,370.00	.00	2,630.00	93.43
<b>TOTAL ROAD</b>	<b>74,000.00</b>	<b>74,000.00</b>	<b>39,262.80</b>	<b>636.80</b>	<b>34,737.20</b>	<b>53.06</b>
<b>TOTAL FUND EXPENDITURES</b>	<b>74,000.00</b>	<b>74,000.00</b>	<b>39,262.80</b>	<b>636.80</b>	<b>34,737.20</b>	<b>53.06</b>
<b>NET REVENUE OVER EXPENDITURES</b>	<b>31,000.00</b>	<b>31,000.00</b>	<b>11,762.61</b>	<b>( 463.01)</b>	<b>( 19,237.39)</b>	

CHARTER TOWNSHIP OF HIGHLAND

BALANCE SHEET

JUNE 30, 2024

FIRE FUND

ASSETS

206-000-010.000 CASH - COMBINED SAVINGS 2,329,277.95

TOTAL ASSETS

2,329,277.95

LIABILITIES AND EQUITY

FUND EQUITY

206-000-390.000 FUND BALANCE 1,151,571.61  
REVENUE OVER EXPENDITURES - YTD 1,177,706.34

TOTAL FUND EQUITY

2,329,277.95

TOTAL LIABILITIES AND EQUITY

2,329,277.95

**CHARTER TOWNSHIP OF HIGHLAND**  
**REVENUES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**FIRE FUND**

	ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<u>REVENUE</u>						
206-000-402.000	1,863,453.00	1,863,453.00	1,844,139.48	57,608.88	19,313.52	98.96
206-000-604.000	.00	.00	511.68	511.68	( 511.68)	.00
206-000-627.000	.00	4,200.00	4,005.00	.00	195.00	95.36
206-000-638.000	350,000.00	350,000.00	283,784.33	44,348.46	66,215.67	81.08
206-000-665.000	10,000.00	43,647.02	58,967.00	15,319.98	( 15,319.98)	135.10
206-000-677.000	.00	10,256.66	10,256.66	.00	.00	100.00
206-000-693.000	.00	.00	1,500.00	1,500.00	( 1,500.00)	.00
REVENUE	<u>2,223,453.00</u>	<u>2,271,556.68</u>	<u>2,203,164.15</u>	<u>119,289.00</u>	<u>68,392.53</u>	<u>96.99</u>
TOTAL FUND REVENUE	<u><u>2,223,453.00</u></u>	<u><u>2,271,556.68</u></u>	<u><u>2,203,164.15</u></u>	<u><u>119,289.00</u></u>	<u><u>68,392.53</u></u>	<u><u>96.99</u></u>

**CHARTER TOWNSHIP OF HIGHLAND**  
**EXPENDITURES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**FIRE FUND**

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<b>FIRE</b>							
206-336-702.012	FIRE: CHIEF'S COMPENSATION	86,950.00	86,950.00	40,130.76	6,688.46	46,819.24	46.15
206-336-703.000	FIRE: F-T WAGE MEDIC M.D.	57,439.00	57,439.00	24,480.12	4,228.38	32,958.88	42.62
206-336-703.001	FIRE: F-T WAGE OFFICER D.K.	71,159.00	71,159.00	32,842.44	5,473.74	38,316.56	46.15
206-336-703.002	FIRE: F-T WAGE OFFICER G.B.	72,983.00	72,983.00	33,684.60	5,614.10	39,298.40	46.15
206-336-703.003	FIRE: F-T WAGE MEDIC C.S.	62,096.00	62,096.00	27,037.43	4,776.62	35,058.57	43.54
206-336-703.004	FIRE: F-T WAGE OFFICER M.B.	72,983.00	72,983.00	33,843.48	5,614.10	39,139.52	46.37
206-336-703.005	FIRE: F-T WAGE MEDIC A.G.	62,096.00	62,096.00	28,659.72	4,776.62	33,436.28	46.15
206-336-703.006	FIRE: F-T WAGE MEDIC H.K.	62,096.00	62,096.00	20,728.64	.00	41,367.36	33.38
206-336-703.007	FIRE: F-T WAGE MEDIC K.M.	62,096.00	62,096.00	27,587.64	4,450.94	34,508.36	44.43
206-336-703.008	FIRE: F-T WAGE MEDIC T.M.	62,096.00	62,096.00	28,023.84	4,776.62	34,072.16	45.13
206-336-703.009	FIRE: F-T WAGE MEDIC R.K.	57,250.00	57,250.00	24,861.08	2,149.48	32,388.92	43.43
206-336-703.012	FIRE: F-T WAGE MEDIC R.Y.	57,250.00	57,250.00	24,480.12	4,228.38	32,769.88	42.76
206-336-703.013	FIRE: MARSHAL COMPENSATION	34,460.00	34,460.00	15,982.50	2,650.50	18,477.50	46.38
206-336-703.014	FIRE: F-T WAGE MEDIC M.M.	57,250.00	57,250.00	24,480.12	4,228.38	32,769.88	42.76
206-336-704.001	FIRE: P-T WAGE CLERICAL QA/QI	6,000.00	836.53	836.53	.00	.00	100.00
206-336-706.008	FIRE: FIREFIGHTERS PAYROLL	323,853.00	285,000.00	138,668.76	23,053.21	146,331.24	48.66
206-336-707.007	FIRE: F-T OVERTIME	50,000.00	80,000.00	39,712.13	10,816.20	40,287.87	49.64
206-336-709.002	FIRE: FOOD ALLOWANCE	7,500.00	9,750.00	.00	.00	9,750.00	.00
206-336-709.003	FIRE: HOLIDAY ALLOWANCE	37,840.00	37,840.00	.00	.00	37,840.00	.00
206-336-710.000	FIRE: EMPLOYER PAYROLL TAX	96,241.00	95,169.09	41,916.82	6,941.76	53,252.27	44.04
206-336-711.000	FIRE: DEFINED CONTRIBUTION POC	16,193.00	16,193.00	.00	.00	16,193.00	.00
206-336-711.001	FIRE: DEFINED CONTRIBUTION F-T	43,910.00	43,910.00	17,824.59	9,817.65	26,085.41	40.59
206-336-712.001	FIRE: HEALTH/DENTAL/LIFE/DISINS	90,000.00	135,000.00	69,117.23	9,499.29	65,882.77	51.20
206-336-713.000	FIRE: FIREFIGHTERS MEDICAL	25,000.00	25,000.00	7,871.00	.00	17,129.00	31.48
206-336-714.000	FIRE: DISASTER RECOVERY	5,000.00	5,000.00	.00	.00	5,000.00	.00
206-336-715.000	FIRE: CASH IN LIEU BENEF BUYOUT	14,000.00	14,000.00	10,625.06	1,932.26	3,374.94	75.89
206-336-717.000	FIRE: BCN HEALTH REIMBURSEMEN	30,000.00	30,000.00	6,473.43	.00	23,526.57	21.58
206-336-719.000	FIRE: POST PLAN	24,000.00	24,000.00	.00	.00	24,000.00	.00
206-336-722.009	FIRE: PARAMEDIC TRAINING	14,997.00	14,997.00	8,720.74	.00	6,276.26	58.15
206-336-722.010	FIRE: INSTRUCTOR TRAINING	5,000.00	3,500.00	3,500.00	.00	.00	100.00
206-336-727.000	FIRE: SUPPLIES	9,450.00	12,000.00	9,195.53	217.98	2,804.47	76.63
206-336-731.000	FIRE: MEDICAL SUPPLIES	27,810.00	27,810.00	9,850.27	932.97	17,959.73	35.42
206-336-732.000	FIRE: UNIFORMS	15,450.00	15,450.00	5,088.19	( 71.99)	10,361.81	32.93
206-336-750.000	FIRE: VEHICLE GAS/OIL	50,000.00	40,000.00	15,114.75	3,208.93	24,885.25	37.79
206-336-804.000	FIRE: LEGAL SERVICES	5,000.00	5,000.00	70.00	.00	4,930.00	1.40
206-336-806.001	FIRE: COMPUTERS/SOFTWARE	4,000.00	12,000.00	10,908.29	5,347.77	1,091.71	90.90
206-336-809.000	FIRE: SOFTWARE MAINTENANCE	20,000.00	20,000.00	8,213.33	313.57	11,786.67	41.07
206-336-820.000	FIRE: DUES & EDUCATION	30,000.00	30,000.00	8,110.78	.00	21,889.22	27.04
206-336-830.000	FIRE: INSURANCE/BONDS	120,000.00	130,000.00	104,369.00	17,615.00	25,631.00	80.28
206-336-851.000	FIRE: RADIO COMMUNICATIONS	53,000.00	67,000.00	18,542.25	5,784.00	48,457.75	27.68
206-336-890.000	FIRE: PUBLIC EDUCATION	5,000.00	5,000.00	2,560.50	.00	2,439.50	51.21
206-336-920.000	FIRE: PUBLIC UTILITIES	61,800.00	85,000.00	42,006.83	5,190.96	42,993.17	49.42
206-336-930.000	FIRE: VEHICLE REPAIR	65,000.00	65,000.00	27,311.81	2,990.96	37,688.19	42.02
206-336-936.000	FIRE: BLDG MAINT/REPAIR	20,000.00	30,000.00	18,660.87	827.92	11,339.13	62.20
206-336-937.000	FIRE: EQUIP MAINT	20,600.00	20,600.00	12,869.28	7,213.61	7,730.72	62.47
206-336-955.000	FIRE: MISC EXPENSE	2,500.00	2,500.00	497.35	68.17	2,002.65	19.89
206-336-967.000	FIRE: NEW PROJECTS	2,500.00	2,500.00	.00	.00	2,500.00	.00
	<b>TOTAL FIRE</b>	<b>2,179,848.00</b>	<b>2,268,259.62</b>	<b>1,025,457.81</b>	<b>171,356.54</b>	<b>1,242,801.81</b>	<b>45.21</b>



# CHARTER TOWNSHIP OF HIGHLAND

## EXPENDITURES WITH COMPARISON TO BUDGET

FOR THE 6 MONTHS ENDING JUNE 30, 2024

### FIRE FUND

	ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
TOTAL FUND EXPENDITURES	<u>2,179,848.00</u>	<u>2,268,259.62</u>	<u>1,025,457.81</u>	<u>171,356.54</u>	<u>1,242,801.81</u>	<u>45.21</u>
NET REVENUE OVER EXPENDITURES	<u>43,605.00</u>	<u>3,297.06</u>	<u>1,177,706.34</u>	<u>( 52,067.54)</u>	<u>1,174,409.28</u>	

CHARTER TOWNSHIP OF HIGHLAND

BALANCE SHEET

JUNE 30, 2024

POLICE FUND

ASSETS

207-000-004.000	PETTY CASH	50.00
207-000-010.000	CASH - COMBINED SAVINGS	4,368,047.06

TOTAL ASSETS

4,368,097.06

LIABILITIES AND EQUITY

FUND EQUITY

207-000-390.000	FUND BALANCE	1,864,758.90
	REVENUE OVER EXPENDITURES - YTD	2,503,338.16

TOTAL FUND EQUITY

4,368,097.06

TOTAL LIABILITIES AND EQUITY

4,368,097.06

**CHARTER TOWNSHIP OF HIGHLAND**  
**REVENUES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**POLICE FUND**

	ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<b>REVENUE</b>						
207-000-402.000	CURRENT PROPERTY TAX	3,276,910.00	3,276,910.00	3,303,496.91	103,267.27 ( 26,586.91)	100.81
207-000-479.000	RETURNABLE LIQUOR LICENSE FEE	10,000.00	10,000.00	4,803.70	.00 5,196.30	48.04
207-000-582.000	MINI CONTRACT	12,000.00	12,000.00	3,136.30	( 265.74) 8,863.70	26.14
207-000-582.001	SCHOOL PARTICIPATION	113,500.00	113,500.00	113,443.55	.00 56.45	99.95
207-000-582.002	AMERICAN AG. CONTRACT	162,000.00	162,000.00	81,000.00	27,000.00 81,000.00	50.00
207-000-659.001	RESTITUTION	.00	.00	1,913.18	.00 ( 1,913.18)	.00
207-000-665.000	INTEREST EARNINGS	15,000.00	15,000.00	108,635.61	10,563.00 ( 93,635.61)	724.24
207-000-677.000	MISCELLANEOUS	.00	.00	320.00	.00 ( 320.00)	.00
	<b>REVENUE</b>	<b>3,589,410.00</b>	<b>3,589,410.00</b>	<b>3,616,749.25</b>	<b>140,564.53 ( 27,339.25)</b>	<b>100.76</b>
	<b>TOTAL FUND REVENUE</b>	<b>3,589,410.00</b>	<b>3,589,410.00</b>	<b>3,616,749.25</b>	<b>140,564.53 ( 27,339.25)</b>	<b>100.76</b>
<b>POLICE</b>						
207-301-704.001	POLICE: CLERICAL WAGE P-T	41,067.00	41,067.00	15,981.32	2,718.24 25,085.68	38.92
207-301-710.000	POLICE: EMPLOYER PAYROLL TAX	3,500.00	3,500.00	1,212.42	207.94 2,287.58	34.64
207-301-729.001	POLICE: DISASTER RECOVERY	5,000.00	5,000.00	.00	.00 5,000.00	.00
207-301-807.000	POLICE: OAKLAND CO SHER CONT	2,995,517.00	2,995,517.00	922,895.45	145,641.20 2,072,621.55	30.81
207-301-807.002	POLICE:SCHOOL RESOURCE OFFICE	113,500.00	113,500.00	113,443.55	113,443.55 56.45	99.95
207-301-807.003	POLICE: MINI CONTRACT	12,000.00	12,000.00	.00	.00 12,000.00	.00
207-301-807.004	POLICE: OVERTIME	235,000.00	235,000.00	29,727.98	4,670.58 205,272.02	12.65
207-301-920.000	POLICE: UTILITIES	16,000.00	16,000.00	3,761.39	622.91 12,238.61	23.51
207-301-935.000	POLICE: SHERIFF'S MAINT	15,500.00	15,500.00	6,581.34	891.03 8,918.66	42.46
207-301-940.000	POLICE: SUBSTATION LEASE/LC	28,000.00	28,000.00	13,999.98	2,333.33 14,000.02	50.00
207-301-955.000	POLICE: MISCELLANEOUS	10,000.00	10,000.00	145.00	.00 9,855.00	1.45
207-301-971.000	POLICE: RESERVE EQUIPMENT	2,500.00	2,500.00	.00	.00 2,500.00	.00
207-301-971.001	POLICE: EQUIP CAP OUTLAY	33,500.00	33,500.00	.00	.00 33,500.00	.00
207-301-971.002	POLICE: BUILDING RENOVATIONS	68,500.00	68,500.00	5,662.66	.00 62,837.34	8.27
	<b>TOTAL POLICE</b>	<b>3,579,584.00</b>	<b>3,579,584.00</b>	<b>1,113,411.09</b>	<b>270,528.78 2,466,172.91</b>	<b>31.10</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>3,579,584.00</b>	<b>3,579,584.00</b>	<b>1,113,411.09</b>	<b>270,528.78 2,466,172.91</b>	<b>31.10</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>9,826.00</b>	<b>9,826.00</b>	<b>2,503,338.16</b>	<b>( 129,964.25) 2,493,512.16</b>	

CHARTER TOWNSHIP OF HIGHLAND

BALANCE SHEET

JUNE 30, 2024

REFUSE FUND

ASSETS

227-000-010.000 CASH - COMBINED SAVINGS 873,868.83

TOTAL ASSETS 873,868.83

LIABILITIES AND EQUITY

FUND EQUITY

227-000-390.000 FUND BALANCE 200,618.84  
REVENUE OVER EXPENDITURES - YTD 673,249.99

TOTAL FUND EQUITY 873,868.83

TOTAL LIABILITIES AND EQUITY 873,868.83

**CHARTER TOWNSHIP OF HIGHLAND**  
**REVENUES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**REFUSE FUND**

	ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<b>REVENUE</b>						
227-000-626.000	REFUSE COLLECTION	1,206,000.00	1,218,000.00	1,218,239.81	.00 ( 239.81)	100.02
227-000-647.002	REFUSE CONTAINERS	.00	.00	1,138.84	.00 ( 1,138.84)	.00
227-000-665.000	INTEREST EARNINGS	1,500.00	1,500.00	7,316.07	1,422.31 ( 5,816.07)	487.74
227-000-677.000	MISCELLANEOUS	1,500.00	1,500.00	735.00	105.00	49.00
227-000-692.000	APPROPRIATION FUND BAL.	2,725.00	15,725.00	.00	.00	.00
	<b>REVENUE</b>	<b>1,211,725.00</b>	<b>1,236,725.00</b>	<b>1,227,429.72</b>	<b>1,527.31</b>	<b>99.25</b>
	<b>TOTAL FUND REVENUE</b>	<b>1,211,725.00</b>	<b>1,236,725.00</b>	<b>1,227,429.72</b>	<b>1,527.31</b>	<b>99.25</b>
<b>REFUSE</b>						
227-526-801.000	REFUSE: CONTRACTOR	1,092,100.00	1,092,100.00	549,425.76	91,598.00	542,674.24
227-526-812.000	REFUSE: FUND ADMIN COSTS	27,625.00	27,625.00	.00	.00	27,625.00
227-526-813.001	REFUSE: THIRD PARTY EXPENSES	2,000.00	2,000.00	.00	.00	2,000.00
227-526-967.000	REFUSE: COMM SERVICE PROJ	90,000.00	115,000.00	4,753.97	252.00	110,246.03
	<b>TOTAL REFUSE</b>	<b>1,211,725.00</b>	<b>1,236,725.00</b>	<b>554,179.73</b>	<b>91,850.00</b>	<b>682,545.27</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>1,211,725.00</b>	<b>1,236,725.00</b>	<b>554,179.73</b>	<b>91,850.00</b>	<b>682,545.27</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>673,249.99</b>	<b>( 90,322.69)</b>	<b>673,249.99</b>

CHARTER TOWNSHIP OF HIGHLAND

BALANCE SHEET

JUNE 30, 2024

OPIOID SETTLEMENT FUND

ASSETS

284-000-010.000	CASH - COMBINED SAVINGS	14,178.41
284-000-079.000	ACCOUNTS RECEIVABLE	41,624.28

TOTAL ASSETS

55,802.69

LIABILITIES AND EQUITY

FUND EQUITY

284-000-360.001	DEFERRED INFLOW	41,624.28
284-000-390.000	FUND BALANCE	2,706.70
	REVENUE OVER EXPENDITURES - YTD	11,471.71

TOTAL FUND EQUITY

55,802.69

TOTAL LIABILITIES AND EQUITY

55,802.69

# CHARTER TOWNSHIP OF HIGHLAND

## REVENUES WITH COMPARISON TO BUDGET FOR THE 6 MONTHS ENDING JUNE 30, 2024

### OPIOID SETTLEMENT FUND

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<u>REVENUE</u>							
284-000-685.000	OPIOID SETTLEMENT REVENUES	10,000.00	10,000.00	11,471.71	11,471.71	( 1,471.71)	114.72
	REVENUE	10,000.00	10,000.00	11,471.71	11,471.71	( 1,471.71)	114.72
	TOTAL FUND REVENUE	<u>10,000.00</u>	<u>10,000.00</u>	<u>11,471.71</u>	<u>11,471.71</u>	<u>( 1,471.71)</u>	<u>114.72</u>
<u>DEPARTMENT 718</u>							
284-718-880.000	OPIOID SETTLEMENT EXPENSE	10,000.00	10,000.00	.00	.00	10,000.00	.00
	TOTAL DEPARTMENT 718	10,000.00	10,000.00	.00	.00	10,000.00	.00
	TOTAL FUND EXPENDITURES	<u>10,000.00</u>	<u>10,000.00</u>	<u>.00</u>	<u>.00</u>	<u>10,000.00</u>	<u>.00</u>
	NET REVENUE OVER EXPENDITURES	<u>.00</u>	<u>.00</u>	<u>11,471.71</u>	<u>11,471.71</u>	<u>11,471.71</u>	

# CHARTER TOWNSHIP OF HIGHLAND

## BALANCE SHEET

JUNE 30, 2024

### CAPITAL IMPROVEMENT FUND

#### ASSETS

401-000-010.000	CASH - COMBINED SAVINGS	2,176,598.17
401-000-084.494	DUE TO/FROM DDA	7,520.10
401-000-189.001	LEASE RECEIVABLE NEXTEL 2009	1,228,606.00
401-000-189.002	LEASE RECEIVABLE CINGULAR NEW	153,096.00
401-000-189.003	LEASE RECEIVABLE SPRINT	182,861.00
401-000-189.004	LEASE RECEIVABLE NEXTEL 2021	4,475,159.00

#### TOTAL ASSETS

8,223,840.27

#### LIABILITIES AND EQUITY

##### FUND EQUITY

401-000-360.001	DEFERRED INFLOW 2009 NEXTEL	1,172,516.00
401-000-360.002	DEFERRED INFLOW NEW CINGULAR	152,553.00
401-000-360.003	DEFERRED INFLOW SPRINT	177,794.00
401-000-360.004	DEFERRED INFLOW 2021 NEXTEL	4,210,439.00
401-000-390.000	FUND BALANCE	2,535,982.68
	REVENUE OVER EXPENDITURES - YTD	( 25,444.41)

#### TOTAL FUND EQUITY

8,223,840.27

#### TOTAL LIABILITIES AND EQUITY

8,223,840.27



# CHARTER TOWNSHIP OF HIGHLAND

## REVENUES WITH COMPARISON TO BUDGET FOR THE 6 MONTHS ENDING JUNE 30, 2024

### CAPITAL IMPROVEMENT FUND

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<b>REVENUE</b>							
401-000-665.000	INTEREST EARNINGS	30,000.00	30,000.00	44,623.31	7,356.94	( 14,623.31)	148.74
401-000-665.001	INTEREST EARNINGS DDA LOAN	2,000.00	2,000.00	257.44	23.48	1,742.56	12.87
401-000-667.002	CELL TOWER LEASE	175,000.00	175,000.00	70,635.00	13,733.05	104,365.00	40.36
401-000-677.000	MISCELLANEOUS	.00	.00	( 37.00)	.00	37.00	.00
401-000-699.000	OPERATING TRANSFER IN	1,000,000.00	1,500,000.00	.00	.00	1,500,000.00	.00
	<b>REVENUE</b>	<b>1,207,000.00</b>	<b>1,707,000.00</b>	<b>115,478.75</b>	<b>21,113.47</b>	<b>1,591,521.25</b>	<b>6.77</b>
	<b>TOTAL FUND REVENUE</b>	<b>1,207,000.00</b>	<b>1,707,000.00</b>	<b>115,478.75</b>	<b>21,113.47</b>	<b>1,591,521.25</b>	<b>6.77</b>
<b>GENERAL GOVERNMENT</b>							
401-261-971.001	TOWNSHIP IMPROVEMENTS	100,000.00	100,000.00	4,635.60	.00	95,364.40	4.64
401-261-971.005	TOWNSHIP LIGHTING & SIGNAGE	30,000.00	30,000.00	.00	.00	30,000.00	.00
401-261-971.013	SEWER ANTICIPATION EXPENSE	100,000.00	100,000.00	.00	.00	100,000.00	.00
401-261-971.020	250 W LIVINGSTON IMPROVEMENTS	150,000.00	186,000.00	51,250.00	.00	134,750.00	27.55
401-261-995.103	TRANSFER TO ROAD FUND	50,000.00	50,000.00	50,000.00	.00	.00	100.00
401-261-995.402	TRANSFER TO FIRE CAPITAL FUND	.00	151,000.00	.00	.00	151,000.00	.00
	<b>TOTAL GENERAL GOVERNMENT</b>	<b>430,000.00</b>	<b>617,000.00</b>	<b>105,885.60</b>	<b>.00</b>	<b>511,114.40</b>	<b>17.16</b>
<b>ANNEX</b>							
401-523-971.000	STEEPLE HALL IMPROVEMENTS	40,000.00	40,000.00	7,218.80	.00	32,781.20	18.05
	<b>TOTAL ANNEX</b>	<b>40,000.00</b>	<b>40,000.00</b>	<b>7,218.80</b>	<b>.00</b>	<b>32,781.20</b>	<b>18.05</b>
<b>CEMETERY</b>							
401-567-971.000	CEMETERY IMPROVEMENTS	25,000.00	25,000.00	3,980.00	.00	21,020.00	15.92
	<b>TOTAL CEMETERY</b>	<b>25,000.00</b>	<b>25,000.00</b>	<b>3,980.00</b>	<b>.00</b>	<b>21,020.00</b>	<b>15.92</b>
<b>PARKS</b>							
401-751-971.000	HICKORY RIDGE PARK IMPROVEMEN	75,000.00	75,000.00	11,785.00	11,785.00	63,215.00	15.71
401-751-971.001	DUCK LAKE PARK IMPROVEMENT	100,000.00	100,000.00	12,053.76	686.89	87,946.24	12.05
401-751-971.002	NEW PARK PROPERTY	20,000.00	475,000.00	.00	.00	475,000.00	.00
	<b>TOTAL PARKS</b>	<b>195,000.00</b>	<b>650,000.00</b>	<b>23,838.76</b>	<b>12,471.89</b>	<b>626,161.24</b>	<b>3.67</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>690,000.00</b>	<b>1,332,000.00</b>	<b>140,923.16</b>	<b>12,471.89</b>	<b>1,191,076.84</b>	<b>10.58</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>517,000.00</b>	<b>375,000.00</b>	<b>( 25,444.41)</b>	<b>8,641.58</b>	<b>( 400,444.41)</b>	

CHARTER TOWNSHIP OF HIGHLAND

BALANCE SHEET

JUNE 30, 2024

FIRE CAPITAL FUND

ASSETS

402-000-010.000 CASH - COMBINED SAVINGS 923,787.98

TOTAL ASSETS 923,787.98

LIABILITIES AND EQUITY

FUND EQUITY

402-000-390.000 FUND BALANCE 467,938.92  
REVENUE OVER EXPENDITURES - YTD 455,849.06

TOTAL FUND EQUITY 923,787.98

TOTAL LIABILITIES AND EQUITY 923,787.98

# CHARTER TOWNSHIP OF HIGHLAND

## REVENUES WITH COMPARISON TO BUDGET FOR THE 6 MONTHS ENDING JUNE 30, 2024

### FIRE CAPITAL FUND

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<b>REVENUE</b>							
402-000-402.000	CURRENT PROPERTY TAX	1,002,423.00	1,002,423.00	961,230.38	30,086.73	41,192.62	95.89
402-000-665.000	INTEREST EARNINGS	10,000.00	23,074.28	23,074.28	3,575.79	.00	100.00
402-000-699.000	OPERATING TRANSFER IN	.00	201,000.00	.00	.00	201,000.00	.00
	<b>REVENUE</b>	<b>1,012,423.00</b>	<b>1,226,497.28</b>	<b>984,304.66</b>	<b>33,662.52</b>	<b>242,192.62</b>	<b>80.25</b>
	<b>TOTAL FUND REVENUE</b>	<b>1,012,423.00</b>	<b>1,226,497.28</b>	<b>984,304.66</b>	<b>33,662.52</b>	<b>242,192.62</b>	<b>80.25</b>
<b>FIRE</b>							
402-336-971.000	VEHICLES	400,000.00	400,000.00	34,292.90	34,292.90	365,707.10	8.57
402-336-971.002	CAPITAL EQUIPMENT	67,000.00	268,000.00	69,162.70	.00	198,837.30	25.81
402-336-991.000	FIRE CAP: DEBT SVC PRINCIPAL	275,000.00	305,000.00	305,000.00	.00	.00	100.00
402-336-993.001	FIRE CAP: DEBT SVC INTEREST	270,000.00	231,375.00	119,500.00	.00	111,875.00	51.65
402-336-993.002	FIRE CAP: BONDING AGENT FEES	.00	.00	500.00	500.00	( 500.00)	.00
	<b>TOTAL FIRE</b>	<b>1,012,000.00</b>	<b>1,204,375.00</b>	<b>528,455.60</b>	<b>34,792.90</b>	<b>675,919.40</b>	<b>43.88</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>1,012,000.00</b>	<b>1,204,375.00</b>	<b>528,455.60</b>	<b>34,792.90</b>	<b>675,919.40</b>	<b>43.88</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>423.00</b>	<b>22,122.28</b>	<b>455,849.06</b>	<b>( 1,130.38)</b>	<b>433,726.78</b>	

# CHARTER TOWNSHIP OF HIGHLAND

## BALANCE SHEET

JUNE 30, 2024

### DOWNTOWN DEVELOPMENT FUND

<u>ASSETS</u>			
494-000-010.000	CASH - COMBINED SAVINGS	592,440.87	
494-000-019.000	TAXES RECEIVABLE	95,249.00	
		<hr/>	
	TOTAL ASSETS		<u>687,689.87</u>
<u>LIABILITIES AND EQUITY</u>			
<u>LIABILITIES</u>			
494-000-280.000	DEFERRED REVENUE	155,183.00	
494-000-308.000	LONG-TERM LOAN	7,520.10	
		<hr/>	
	TOTAL LIABILITIES		162,703.10
<u>FUND EQUITY</u>			
494-000-390.000	FUND BALANCE	427,755.78	
	REVENUE OVER EXPENDITURES - YTD	97,230.99	
		<hr/>	
	TOTAL FUND EQUITY		<u>524,986.77</u>
	TOTAL LIABILITIES AND EQUITY		<u>687,689.87</u>

# CHARTER TOWNSHIP OF HIGHLAND

## REVENUES WITH COMPARISON TO BUDGET FOR THE 6 MONTHS ENDING JUNE 30, 2024

### DOWNTOWN DEVELOPMENT FUND

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<b>REVENUE</b>							
494-000-573.000	LOCAL COMMUNITY STABILIZATION	41,000.00	41,000.00	.00	.00	41,000.00	.00
494-000-665.000	INTEREST EARNINGS	2,000.00	2,000.00	9,494.41	976.89	( 7,494.41)	474.72
494-000-677.000	MISCELLANEOUS	.00	.00	186.00	.00	( 186.00)	.00
494-000-677.003	FOOD VENDORS	.00	.00	70.00	.00	( 70.00)	.00
494-000-677.005	FUNDRAISING	2,000.00	2,000.00	9,055.00	1,000.00	( 7,055.00)	452.75
494-000-677.008	FARMERS MARKET RESERVATIONS	1,000.00	1,000.00	390.00	240.00	610.00	39.00
494-000-677.010	TIF	287,081.00	287,081.00	165,535.61	17,905.16	121,545.39	57.66
494-000-692.000	APPROP FUND BALANCE	39,451.00	41,581.00	.00	.00	41,581.00	.00
	<b>REVENUE</b>	<b>372,532.00</b>	<b>374,662.00</b>	<b>184,731.02</b>	<b>20,122.05</b>	<b>189,930.98</b>	<b>49.31</b>
	<b>TOTAL FUND REVENUE</b>	<b>372,532.00</b>	<b>374,662.00</b>	<b>184,731.02</b>	<b>20,122.05</b>	<b>189,930.98</b>	<b>49.31</b>
<b>DOWNTOWN DEVELOPMENT AUTHO</b>							
494-729-702.001	DDA: DIRECTOR	46,298.00	46,928.00	21,895.04	3,609.84	25,032.96	46.66
494-729-705.000	DDA: PART-TIME SEASONAL	4,000.00	4,000.00	4,374.89	873.13	( 374.89)	109.37
494-729-710.000	DDA: EMPLOYER PAYROLL TAX	4,000.00	4,000.00	1,953.23	381.19	2,046.77	48.83
494-729-715.000	DDA: CASH IN LIEU BENEF BUYOUT	6,000.00	6,000.00	3,000.00	500.00	3,000.00	50.00
494-729-720.002	DDA: RECORDING SECRETARY	1,200.00	1,200.00	250.00	.00	950.00	20.83
494-729-728.000	DDA: OFFICE SUPPLIES	1,200.00	2,700.00	296.33	139.10	2,403.67	10.98
494-729-729.000	DDA: MEETING PUBLIC ED SUPPLIES	500.00	500.00	228.78	.00	271.22	45.76
494-729-801.000	DDA: PROF SERVICES	3,000.00	3,000.00	.00	.00	3,000.00	.00
494-729-801.001	DDA: MASTER PLAN	10,000.00	10,000.00	.00	.00	10,000.00	.00
494-729-808.000	DDA: MARKETING CONSULTANT	12,000.00	12,000.00	4,710.00	1,280.00	7,290.00	39.25
494-729-808.001	DDA: SPECIAL PROJ CONSULTANT	2,000.00	2,000.00	.00	.00	2,000.00	.00
494-729-820.000	DDA: DUES/ED/TRAVEL	5,000.00	5,000.00	4,166.67	851.53	833.33	83.33
494-729-850.000	DDA: WEBSITE	700.00	700.00	.00	.00	700.00	.00
494-729-880.001	DDA: PROMOTIONS	27,450.00	27,450.00	17,579.17	10,435.00	9,870.83	64.04
494-729-880.002	DDA: ECONOMIC RESTRUCTURING	14,400.00	14,400.00	1,394.62	.00	13,005.38	9.68
494-729-880.003	DDA: DESIGN	107,300.00	107,300.00	16,806.58	8,758.03	90,493.42	15.66
494-729-880.004	DDA: ORGANIZATION	15,000.00	15,000.00	2,365.00	.00	12,635.00	15.77
494-729-900.000	DDA: ADVERTISING/PRINTING	3,000.00	3,000.00	1,124.99	886.99	1,875.01	37.50
494-729-900.001	DDA: FUNDRAISER EXPENSE	3,000.00	3,000.00	1,185.00	175.00	1,815.00	39.50
494-729-920.000	DDA: RENT/ UTILITIES	3,000.00	3,000.00	1,606.09	297.92	1,393.91	53.54
494-729-935.000	DDA: MAINTENANCE STREETScape	4,432.00	4,432.00	520.00	245.00	3,912.00	11.73
494-729-967.000	DDA: FARMERS' MARKET	12,500.00	12,500.00	739.00	485.00	11,761.00	5.91
494-729-967.002	DDA: DDA SPONSORSHIPS	3,000.00	3,000.00	1,831.20	1,331.20	1,168.80	61.04
494-729-967.007	DDA: CART PROJECT	2,500.00	2,500.00	1,216.00	1,216.00	1,284.00	48.64
494-729-971.000	DDA: CAPITAL IMPROVEMENT PROJ	40,000.00	40,000.00	.00	.00	40,000.00	.00
494-729-991.000	DDA: PRINCIPAL EXP-BUDGET ONLY	38,752.00	38,752.00	.00	.00	38,752.00	.00
494-729-993.000	DDA: INTEREST EXPENSE	2,300.00	2,300.00	257.44	23.48	2,042.56	11.19
	<b>TOTAL DOWNTOWN DEVELOPMENT</b>	<b>372,532.00</b>	<b>374,662.00</b>	<b>87,500.03</b>	<b>31,488.41</b>	<b>287,161.97</b>	<b>23.35</b>

# CHARTER TOWNSHIP OF HIGHLAND

## EXPENDITURES WITH COMPARISON TO BUDGET

FOR THE 6 MONTHS ENDING JUNE 30, 2024

### DOWNTOWN DEVELOPMENT FUND

	ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
TOTAL FUND EXPENDITURES	372,532.00	374,662.00	87,500.03	31,488.41	287,161.97	23.35
NET REVENUE OVER EXPENDITURES	.00	.00	97,230.99	( 11,366.36)	97,230.99	

# CHARTER TOWNSHIP OF HIGHLAND

## BALANCE SHEET

JUNE 30, 2024

### WATER SYSTEM

#### ASSETS

591-000-001.000	CASH - CHECKING	29,075.93
591-000-010.000	CASH - COMBINED SAVINGS	54,117.45
591-000-033.000	UTILITY RECEIVABLE WATER SYSTE	67,951.93
591-000-035.000	UNBILLED RECEIVABLE WATER SYST	96,104.92
591-000-152.000	WATERMAINS	8,210,423.82
591-000-153.000	A/D WATER MAINS	( 955,668.52)

#### TOTAL ASSETS

7,502,005.53

#### LIABILITIES AND EQUITY

##### LIABILITIES

591-000-202.000	ACCOUNTS PAYABLE	8,912.63
591-000-202.001	ACCOUNTS PAYABLE VOUCHER	56,732.06
591-000-203.000	DEPOSITS LIABILITY	1,376.74
591-000-209.000	INTEREST PAYABLE	1,295.00
591-000-300.000	BONDS PAYABLE CURRENT WATER SY	69,000.00
591-000-300.001	SPECIAL ASSESSMENT BOND	449,000.00

#### TOTAL LIABILITIES

586,316.43

##### FUND EQUITY

591-000-373.000	CONTRIBUTED CAPITAL NET POSITI	6,736,755.00
591-000-392.000	MAJOR MAINT.RESERVE-RESTRICTED	( 343,790.27)
591-000-392.001	EMERG.MAINT.RESERVE-RESTRICTED	77,058.94
591-000-392.002	CAP. IMPRV RESERVE-RESTRICTED	677,428.17
591-000-399.000	UNRESTRICTED NET ASSETS	( 48,035.18)
	REVENUE OVER EXPENDITURES - YTD	( 183,727.56)

#### TOTAL FUND EQUITY

6,915,689.10

#### TOTAL LIABILITIES AND EQUITY

7,502,005.53

**CHARTER TOWNSHIP OF HIGHLAND**  
**REVENUES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**WATER SYSTEM**

	ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET	
<u>REVENUE</u>							
591-000-629.002	CHARGES FOR SERVICES RENDERE	.00	.00	197,395.41	96,092.07	( 197,395.41)	.00
591-000-629.003	FIXED CHARGE DEBT SERVICES	.00	.00	38,756.15	.00	( 38,756.15)	.00
591-000-629.004	FIXED CHARGE MAJOR MAINT	.00	.00	59,907.30	29,965.56	( 59,907.30)	.00
591-000-629.005	FIXED CHARGE CAPITAL IMPR	.00	.00	49,520.35	24,770.02	( 49,520.35)	.00
591-000-665.000	INTEREST EARNINGS	.00	.00	975.79	226.01	( 975.79)	.00
591-000-677.000	OTHER REVENUE	.00	.00	109.14	46.25	( 109.14)	.00
	<b>REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>346,664.14</b>	<b>151,099.91</b>	<b>( 346,664.14)</b>	<b>.00</b>
	<b>TOTAL FUND REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>346,664.14</b>	<b>151,099.91</b>	<b>( 346,664.14)</b>	<b>.00</b>
<u>WATER</u>							
591-536-812.000	FUND ADMINISTRATION COST	.00	.00	39,130.80	17,679.51	( 39,130.80)	.00
591-536-921.000	SYSTEMS	.00	.00	29,421.89	16,783.52	( 29,421.89)	.00
591-536-921.001	PLAN REVIEW & PERMITTING	.00	.00	745.39	237.44	( 745.39)	.00
591-536-921.002	MAPPING UNIT	.00	.00	3,356.11	371.58	( 3,356.11)	.00
591-536-921.003	BILLING SERVICES	.00	.00	6,384.96	3,200.93	( 6,384.96)	.00
591-536-935.000	MAINTENANCE	.00	.00	126,107.81	91,125.21	( 126,107.81)	.00
591-536-938.001	WATER SYSTEMS	.00	.00	24,285.10	14,625.02	( 24,285.10)	.00
591-536-938.002	WATER MAINTENANCE	.00	.00	123,586.58	58,020.05	( 123,586.58)	.00
591-536-938.003	PUMP MAINTENANCE	.00	.00	173,473.48	95,896.32	( 173,473.48)	.00
591-536-993.001	INTEREST EXPENSE	.00	.00	3,899.58	.00	( 3,899.58)	.00
	<b>TOTAL WATER</b>	<b>.00</b>	<b>.00</b>	<b>530,391.70</b>	<b>297,939.58</b>	<b>( 530,391.70)</b>	<b>.00</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>530,391.70</b>	<b>297,939.58</b>	<b>( 530,391.70)</b>	<b>.00</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>( 183,727.56)</b>	<b>( 146,839.67)</b>	<b>( 183,727.56)</b>	



# CHARTER TOWNSHIP OF HIGHLAND

## BALANCE SHEET

JUNE 30, 2024

### HIGHLAND ADVISORY COUNCIL

<u>ASSETS</u>			
702-000-010.000	CASH - COMBINED SAVINGS	<u>7,499.41</u>	
	TOTAL ASSETS		<u>7,499.41</u>
<u>LIABILITIES AND EQUITY</u>			
<u>FUND EQUITY</u>			
702-000-390.000	FUND BALANCE	4,337.68	
	REVENUE OVER EXPENDITURES - YTD	<u>3,161.73</u>	
	TOTAL FUND EQUITY		<u>7,499.41</u>
	TOTAL LIABILITIES AND EQUITY		<u>7,499.41</u>

# CHARTER TOWNSHIP OF HIGHLAND

## REVENUES WITH COMPARISON TO BUDGET FOR THE 6 MONTHS ENDING JUNE 30, 2024

### HIGHLAND ADVISORY COUNCIL

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
	<u>REVENUE</u>						
702-000-674.000	CONTRIBUTIONS	.00	.00	12,320.03	125.00	( 12,320.03)	.00
	REVENUE	.00	.00	12,320.03	125.00	( 12,320.03)	.00
	TOTAL FUND REVENUE	<u>.00</u>	<u>.00</u>	<u>12,320.03</u>	<u>125.00</u>	<u>( 12,320.03)</u>	<u>.00</u>
	<u>GENERAL GOVERNMENT</u>						
702-261-729.000	HAAC: DEDUCTIONS	.00	.00	9,158.30	526.42	( 9,158.30)	.00
	TOTAL GENERAL GOVERNMENT	.00	.00	9,158.30	526.42	( 9,158.30)	.00
	TOTAL FUND EXPENDITURES	<u>.00</u>	<u>.00</u>	<u>9,158.30</u>	<u>526.42</u>	<u>( 9,158.30)</u>	<u>.00</u>
	NET REVENUE OVER EXPENDITURES	<u>.00</u>	<u>.00</u>	<u>3,161.73</u>	<u>( 401.42)</u>	<u>3,161.73</u>	

# CHARTER TOWNSHIP OF HIGHLAND

## BALANCE SHEET

JUNE 30, 2024

### CURRENT TAX COLLECT

#### ASSETS

703-000-010.000	CASH - COMBINED SAVINGS	18,568.49
703-000-019.000	TAXES RECEIVABLE-OTHER GOVTS	2,015,421.61
703-000-214.000	DUE TO/FR GENERAL FUND	( 14,758.65)

TOTAL ASSETS

2,019,231.45

#### LIABILITIES AND EQUITY

##### LIABILITIES

703-000-274.000	TAX COLLECTIONS TO DISTRIBUTE	391.11
703-000-280.000	DEFERRED REVENUE	2,015,421.61

TOTAL LIABILITIES

2,015,812.72

##### FUND EQUITY

REVENUE OVER EXPENDITURES - YTD	<u>3,418.73</u>
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TOTAL FUND EQUITY

3,418.73

TOTAL LIABILITIES AND EQUITY

2,019,231.45

# CHARTER TOWNSHIP OF HIGHLAND

## REVENUES WITH COMPARISON TO BUDGET FOR THE 6 MONTHS ENDING JUNE 30, 2024

### CURRENT TAX COLLECT

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
	<u>REVENUE</u>						
703-000-665.000	INTEREST EARNINGS	.00	.00	4,827.73	35.71	( 4,827.73)	.00
	REVENUE	.00	.00	4,827.73	35.71	( 4,827.73)	.00
	TOTAL FUND REVENUE	<u>.00</u>	<u>.00</u>	<u>4,827.73</u>	<u>35.71</u>	<u>( 4,827.73)</u>	<u>.00</u>
	<u>TRUST &amp; AGENCY ADMIN</u>						
703-255-822.000	TAX: BANK FEES	.00	.00	1,409.00	225.00	( 1,409.00)	.00
	TOTAL TRUST & AGENCY ADMIN	.00	.00	1,409.00	225.00	( 1,409.00)	.00
	TOTAL FUND EXPENDITURES	<u>.00</u>	<u>.00</u>	<u>1,409.00</u>	<u>225.00</u>	<u>( 1,409.00)</u>	<u>.00</u>
	NET REVENUE OVER EXPENDITURES	<u>.00</u>	<u>.00</u>	<u>3,418.73</u>	<u>( 189.29)</u>	<u>3,418.73</u>	

# CHARTER TOWNSHIP OF HIGHLAND

## BALANCE SHEET

JUNE 30, 2024

### POST-RETIREMENT BENEFITS

#### ASSETS

737-000-010.000	CASH - COMBINED SAVINGS	88,500.67
737-000-017.001	MUTUAL FUNDS	670,909.03
737-000-017.002	LPL INVESTMENTS	48,860.00

TOTAL ASSETS

808,269.70

#### LIABILITIES AND EQUITY

#### FUND EQUITY

737-000-390.000	FUND BALANCE	785,784.62
	REVENUE OVER EXPENDITURES - YTD	22,485.08

TOTAL FUND EQUITY

808,269.70

TOTAL LIABILITIES AND EQUITY

808,269.70

# CHARTER TOWNSHIP OF HIGHLAND

## REVENUES WITH COMPARISON TO BUDGET FOR THE 6 MONTHS ENDING JUNE 30, 2024

### POST-RETIREMENT BENEFITS

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<b>REVENUE</b>							
737-000-665.000	INTEREST EARNINGS	20,000.00	20,000.00	9,678.63	2,302.31	10,321.37	48.39
737-000-669.001	GAINS/LOSSES	.00	.00	29,510.05	5,829.86	( 29,510.05)	.00
737-000-692.002	APPROPRIATION FUND BAL.	50,000.00	50,000.00	.00	.00	50,000.00	.00
	<b>REVENUE</b>	<b>70,000.00</b>	<b>70,000.00</b>	<b>39,188.68</b>	<b>8,132.17</b>	<b>30,811.32</b>	<b>55.98</b>
	<b>TOTAL FUND REVENUE</b>	<b>70,000.00</b>	<b>70,000.00</b>	<b>39,188.68</b>	<b>8,132.17</b>	<b>30,811.32</b>	<b>55.98</b>
<b>GENERAL GOVERNMENT PERSONNE</b>							
737-279-719.000	RETIREE OPEB EXPENSE	60,000.00	60,000.00	13,512.49	2,095.40	46,487.51	22.52
737-279-822.000	OPEB: BANK FEES	10,000.00	10,000.00	3,191.11	.00	6,808.89	31.91
	<b>TOTAL GENERAL GOVERNMENT PER</b>	<b>70,000.00</b>	<b>70,000.00</b>	<b>16,703.60</b>	<b>2,095.40</b>	<b>53,296.40</b>	<b>23.86</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>70,000.00</b>	<b>70,000.00</b>	<b>16,703.60</b>	<b>2,095.40</b>	<b>53,296.40</b>	<b>23.86</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>22,485.08</b>	<b>6,036.77</b>	<b>22,485.08</b>	

CHARTER TOWNSHIP OF HIGHLAND

BALANCE SHEET

JUNE 30, 2024

DUCK LAKE ASSOC

ASSETS

764-000-010.000 CASH - COMBINED SAVINGS 200,976.82

TOTAL ASSETS 200,976.82

LIABILITIES AND EQUITY

FUND EQUITY

764-000-390.000 FUND BALANCE 221,994.31  
REVENUE OVER EXPENDITURES - YTD ( 21,017.49)

TOTAL FUND EQUITY 200,976.82

TOTAL LIABILITIES AND EQUITY 200,976.82

**CHARTER TOWNSHIP OF HIGHLAND**  
**REVENUES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**DUCK LAKE ASSOC**

	ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<u>REVENUE</u>						
764-000-581.000	.00	.00	222,441.28	.00	( 222,441.28)	.00
764-000-665.000	.00	.00	2,716.22	302.94	( 2,716.22)	.00
	<u>.00</u>	<u>.00</u>	<u>225,157.50</u>	<u>302.94</u>	<u>( 225,157.50)</u>	<u>.00</u>
	<u>.00</u>	<u>.00</u>	<u>225,157.50</u>	<u>302.94</u>	<u>( 225,157.50)</u>	<u>.00</u>
<u>TRUST &amp; AGENCY ADMIN</u>						
764-255-956.000	.00	.00	246,174.99	83,382.52	( 246,174.99)	.00
	<u>.00</u>	<u>.00</u>	<u>246,174.99</u>	<u>83,382.52</u>	<u>( 246,174.99)</u>	<u>.00</u>
	<u>.00</u>	<u>.00</u>	<u>246,174.99</u>	<u>83,382.52</u>	<u>( 246,174.99)</u>	<u>.00</u>
	<u>.00</u>	<u>.00</u>	<u>246,174.99</u>	<u>83,382.52</u>	<u>( 246,174.99)</u>	<u>.00</u>
	<u>.00</u>	<u>.00</u>	<u>( 21,017.49)</u>	<u>( 83,079.58)</u>	<u>( 21,017.49)</u>	



CHARTER TOWNSHIP OF HIGHLAND

BALANCE SHEET

JUNE 30, 2024

HIGHLAND LAKE ASSOC

ASSETS

765-000-010.000 CASH - COMBINED SAVINGS 86,056.49

TOTAL ASSETS 86,056.49

LIABILITIES AND EQUITY

FUND EQUITY

765-000-390.000 FUND BALANCE 61,069.89  
REVENUE OVER EXPENDITURES - YTD 24,986.60

TOTAL FUND EQUITY 86,056.49

TOTAL LIABILITIES AND EQUITY 86,056.49

**CHARTER TOWNSHIP OF HIGHLAND**  
**REVENUES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**HIGHLAND LAKE ASSOC**

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
	<u>REVENUE</u>						
765-000-581.000	CONTRIBUTIONS-HIGHLAND LAKE	.00	.00	25,341.30	.00	( 25,341.30)	.00
765-000-665.000	INTEREST EARNINGS	.00	.00	701.77	129.72	( 701.77)	.00
	<b>REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>26,043.07</b>	<b>129.72</b>	<b>( 26,043.07)</b>	<b>.00</b>
	<b>TOTAL FUND REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>26,043.07</b>	<b>129.72</b>	<b>( 26,043.07)</b>	<b>.00</b>
	<u>TRUST &amp; AGENCY ADMIN</u>						
765-255-956.000	HIGHLAND LAKE: DEDUCTIONS	.00	.00	1,056.47	27.85	( 1,056.47)	.00
	<b>TOTAL TRUST &amp; AGENCY ADMIN</b>	<b>.00</b>	<b>.00</b>	<b>1,056.47</b>	<b>27.85</b>	<b>( 1,056.47)</b>	<b>.00</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>1,056.47</b>	<b>27.85</b>	<b>( 1,056.47)</b>	<b>.00</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>24,986.60</b>	<b>101.87</b>	<b>24,986.60</b>	

CHARTER TOWNSHIP OF HIGHLAND

BALANCE SHEET

JUNE 30, 2024

TAGGETT LAKE ASSOC

ASSETS

766-000-010.000 CASH - COMBINED SAVINGS 40,157.68

TOTAL ASSETS 40,157.68

LIABILITIES AND EQUITY

FUND EQUITY

766-000-390.000 FUND BALANCE 32,431.87  
REVENUE OVER EXPENDITURES - YTD 7,725.81

TOTAL FUND EQUITY 40,157.68

TOTAL LIABILITIES AND EQUITY 40,157.68

**CHARTER TOWNSHIP OF HIGHLAND**  
**REVENUES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**TAGGETT LAKE ASSOC**

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
	<u>REVENUE</u>						
766-000-581.000	CONTRIBUTIONS-TAGGETT LAKE	.00	.00	15,000.00	.00	( 15,000.00)	.00
766-000-665.000	INTEREST EARNINGS	.00	.00	379.41	60.53	( 379.41)	.00
	<b>REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>15,379.41</b>	<b>60.53</b>	<b>( 15,379.41)</b>	<b>.00</b>
	<b>TOTAL FUND REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>15,379.41</b>	<b>60.53</b>	<b>( 15,379.41)</b>	<b>.00</b>
	<u>TRUST &amp; AGENCY ADMIN</u>						
766-255-956.000	TAGGETT LAKE: DEDUCTIONS	.00	.00	7,653.60	15.55	( 7,653.60)	.00
	<b>TOTAL TRUST &amp; AGENCY ADMIN</b>	<b>.00</b>	<b>.00</b>	<b>7,653.60</b>	<b>15.55</b>	<b>( 7,653.60)</b>	<b>.00</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>7,653.60</b>	<b>15.55</b>	<b>( 7,653.60)</b>	<b>.00</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>7,725.81</b>	<b>44.98</b>	<b>7,725.81</b>	

CHARTER TOWNSHIP OF HIGHLAND

BALANCE SHEET

JUNE 30, 2024

KELLOGG LAKE ASSOC

ASSETS

767-000-010.000 CASH - COMBINED SAVINGS 47,182.39

TOTAL ASSETS 47,182.39

LIABILITIES AND EQUITY

FUND EQUITY

767-000-390.000 FUND BALANCE 38,705.01  
REVENUE OVER EXPENDITURES - YTD 8,477.38

TOTAL FUND EQUITY 47,182.39

TOTAL LIABILITIES AND EQUITY 47,182.39

**CHARTER TOWNSHIP OF HIGHLAND**  
**REVENUES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**KELLOGG LAKE ASSOC**

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
	<u>REVENUE</u>						
767-000-581.000	CONTRIBUTIONS-KELLOGG LAKE	.00	.00	14,695.83	.00	( 14,695.83)	.00
767-000-665.000	INTEREST EARNINGS	.00	.00	428.29	71.12	( 428.29)	.00
	<b>REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>15,124.12</b>	<b>71.12</b>	<b>( 15,124.12)</b>	<b>.00</b>
	<b>TOTAL FUND REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>15,124.12</b>	<b>71.12</b>	<b>( 15,124.12)</b>	<b>.00</b>
	<u>TRUST &amp; AGENCY ADMIN</u>						
767-255-956.000	KELLOGG LAKE: DEDUCTIONS	.00	.00	6,646.74	1,571.64	( 6,646.74)	.00
	<b>TOTAL TRUST &amp; AGENCY ADMIN</b>	<b>.00</b>	<b>.00</b>	<b>6,646.74</b>	<b>1,571.64</b>	<b>( 6,646.74)</b>	<b>.00</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>6,646.74</b>	<b>1,571.64</b>	<b>( 6,646.74)</b>	<b>.00</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>8,477.38</b>	<b>( 1,500.52)</b>	<b>8,477.38</b>	

CHARTER TOWNSHIP OF HIGHLAND

BALANCE SHEET

JUNE 30, 2024

CHARLICK LAKE ASSOC

ASSETS

768-000-010.000 CASH - COMBINED SAVINGS 62,363.21

TOTAL ASSETS 62,363.21

LIABILITIES AND EQUITY

FUND EQUITY

768-000-390.000 FUND BALANCE 39,772.93  
REVENUE OVER EXPENDITURES - YTD 22,590.28

TOTAL FUND EQUITY 62,363.21

TOTAL LIABILITIES AND EQUITY 62,363.21

**CHARTER TOWNSHIP OF HIGHLAND**  
**REVENUES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**CHARLICK LAKE ASSOC**

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
	<u>REVENUE</u>						
768-000-581.000	CONTRIBUTIONS-CHARLICK LAKE	.00	.00	27,675.96	.00	( 27,675.96)	.00
768-000-665.000	INTEREST EARNINGS	.00	.00	557.37	94.00	( 557.37)	.00
	<b>REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>28,233.33</b>	<b>94.00</b>	<b>( 28,233.33)</b>	<b>.00</b>
	<b>TOTAL FUND REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>28,233.33</b>	<b>94.00</b>	<b>( 28,233.33)</b>	<b>.00</b>
	<u>TRUST &amp; AGENCY ADMIN</u>						
768-255-956.000	CHARLICK LAKE: DEDUCTIONS	.00	.00	5,643.05	1,026.90	( 5,643.05)	.00
	<b>TOTAL TRUST &amp; AGENCY ADMIN</b>	<b>.00</b>	<b>.00</b>	<b>5,643.05</b>	<b>1,026.90</b>	<b>( 5,643.05)</b>	<b>.00</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>5,643.05</b>	<b>1,026.90</b>	<b>( 5,643.05)</b>	<b>.00</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>22,590.28</b>	<b>( 932.90)</b>	<b>22,590.28</b>	



CHARTER TOWNSHIP OF HIGHLAND

BALANCE SHEET

JUNE 30, 2024

WOODRUFF LAKE ASSOC

ASSETS

769-000-010.000 CASH - COMBINED SAVINGS 51,984.94

TOTAL ASSETS

51,984.94

LIABILITIES AND EQUITY

FUND EQUITY

769-000-390.000 FUND BALANCE 40,085.89  
REVENUE OVER EXPENDITURES - YTD 11,899.05

TOTAL FUND EQUITY

51,984.94

TOTAL LIABILITIES AND EQUITY

51,984.94

# CHARTER TOWNSHIP OF HIGHLAND

## REVENUES WITH COMPARISON TO BUDGET FOR THE 6 MONTHS ENDING JUNE 30, 2024

### WOODRUFF LAKE ASSOC

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
	<u>REVENUE</u>						
769-000-581.000	CONTRIBUTIONS-WOODRUFF LAKE	.00	.00	25,440.00	.00	( 25,440.00)	.00
769-000-665.000	INTEREST EARNINGS	.00	.00	509.15	78.36	( 509.15)	.00
	<b>REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>25,949.15</b>	<b>78.36</b>	<b>( 25,949.15)</b>	<b>.00</b>
	<b>TOTAL FUND REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>25,949.15</b>	<b>78.36</b>	<b>( 25,949.15)</b>	<b>.00</b>
	<u>TRUST &amp; AGENCY ADMIN</u>						
769-255-956.000	WOODRUFF LAKE: DEDUCTIONS	.00	.00	14,050.10	37.80	( 14,050.10)	.00
	<b>TOTAL TRUST &amp; AGENCY ADMIN</b>	<b>.00</b>	<b>.00</b>	<b>14,050.10</b>	<b>37.80</b>	<b>( 14,050.10)</b>	<b>.00</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>14,050.10</b>	<b>37.80</b>	<b>( 14,050.10)</b>	<b>.00</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>11,899.05</b>	<b>40.56</b>	<b>11,899.05</b>	

CHARTER TOWNSHIP OF HIGHLAND  
BALANCE SHEET  
JUNE 30, 2024

WHITE LAKE IMPROVEMENT

<u>ASSETS</u>			
770-000-010.000	CASH - COMBINED SAVINGS	<u>313,930.21</u>	
	TOTAL ASSETS		<u>313,930.21</u>
<u>LIABILITIES AND EQUITY</u>			
<u>FUND EQUITY</u>			
770-000-390.000	FUND BALANCE	205,386.57	
	REVENUE OVER EXPENDITURES - YTD	<u>108,543.64</u>	
	TOTAL FUND EQUITY		<u>313,930.21</u>
	TOTAL LIABILITIES AND EQUITY		<u>313,930.21</u>

# CHARTER TOWNSHIP OF HIGHLAND

## REVENUES WITH COMPARISON TO BUDGET FOR THE 6 MONTHS ENDING JUNE 30, 2024

### WHITE LAKE IMPROVEMENT

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<u>REVENUE</u>							
770-000-581.000	CONTRIBUTIONS-WHITE LAKE	.00	.00	110,404.00	.00	( 110,404.00)	.00
770-000-665.000	INTEREST EARNINGS	.00	.00	2,475.14	473.20	( 2,475.14)	.00
	<b>REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>112,879.14</b>	<b>473.20</b>	<b>( 112,879.14)</b>	<b>.00</b>
	<b>TOTAL FUND REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>112,879.14</b>	<b>473.20</b>	<b>( 112,879.14)</b>	<b>.00</b>
<u>TRUST &amp; AGENCY ADMIN</u>							
770-255-956.000	WHITE LAKE: DEDUCTIONS	.00	.00	4,335.50	.00	( 4,335.50)	.00
	<b>TOTAL TRUST &amp; AGENCY ADMIN</b>	<b>.00</b>	<b>.00</b>	<b>4,335.50</b>	<b>.00</b>	<b>( 4,335.50)</b>	<b>.00</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>4,335.50</b>	<b>.00</b>	<b>( 4,335.50)</b>	<b>.00</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>108,543.64</b>	<b>473.20</b>	<b>108,543.64</b>	

CHARTER TOWNSHIP OF HIGHLAND  
BALANCE SHEET  
JUNE 30, 2024

TOMAHAWK LAKE IMPROVEMENT

<u>ASSETS</u>			
771-000-010.000	CASH - COMBINED SAVINGS	<u>2,950.51</u>	
	TOTAL ASSETS		<u>2,950.51</u>
<u>LIABILITIES AND EQUITY</u>			
<u>FUND EQUITY</u>			
771-000-390.000	FUND BALANCE	2,837.11	
	REVENUE OVER EXPENDITURES - YTD	<u>113.40</u>	
	TOTAL FUND EQUITY		<u>2,950.51</u>
	TOTAL LIABILITIES AND EQUITY		<u>2,950.51</u>

# CHARTER TOWNSHIP OF HIGHLAND

## REVENUES WITH COMPARISON TO BUDGET FOR THE 6 MONTHS ENDING JUNE 30, 2024

### TOMAHAWK LAKE IMPROVEMENT

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<u>REVENUE</u>							
771-000-581.000	CONTRIBUTIONS-TOMAHAWK LAKE	.00	.00	4,878.28	.00	( 4,878.28)	.00
771-000-665.000	INTEREST EARNINGS	.00	.00	35.12	4.45	( 35.12)	.00
	<b>REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>4,913.40</b>	<b>4.45</b>	<b>( 4,913.40)</b>	<b>.00</b>
	<b>TOTAL FUND REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>4,913.40</b>	<b>4.45</b>	<b>( 4,913.40)</b>	<b>.00</b>
<u>TRUST &amp; AGENCY ADMIN</u>							
771-255-956.000	TOMAHAWK LAKE: DEDUCTIONS	.00	.00	4,800.00	.00	( 4,800.00)	.00
	<b>TOTAL TRUST &amp; AGENCY ADMIN</b>	<b>.00</b>	<b>.00</b>	<b>4,800.00</b>	<b>.00</b>	<b>( 4,800.00)</b>	<b>.00</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>4,800.00</b>	<b>.00</b>	<b>( 4,800.00)</b>	<b>.00</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>113.40</b>	<b>4.45</b>	<b>113.40</b>	

CHARTER TOWNSHIP OF HIGHLAND

BALANCE SHEET

JUNE 30, 2024

GOURD LAKE IMPROVEMENT

ASSETS

773-000-010.000 CASH - COMBINED SAVINGS 5,513.34

TOTAL ASSETS 5,513.34

LIABILITIES AND EQUITY

FUND EQUITY

773-000-390.000 FUND BALANCE 1,747.31  
REVENUE OVER EXPENDITURES - YTD 3,766.03

TOTAL FUND EQUITY 5,513.34

TOTAL LIABILITIES AND EQUITY 5,513.34

# CHARTER TOWNSHIP OF HIGHLAND

## REVENUES WITH COMPARISON TO BUDGET FOR THE 6 MONTHS ENDING JUNE 30, 2024

### GOURD LAKE IMPROVEMENT

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<u>REVENUE</u>							
773-000-581.000	CONTRIBUTIONS-GOURD LAKE	.00	.00	5,432.70	.00	( 5,432.70)	.00
773-000-665.000	INTEREST EARNINGS	.00	.00	47.67	8.31	( 47.67)	.00
	<b>REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>5,480.37</b>	<b>8.31</b>	<b>( 5,480.37)</b>	<b>.00</b>
	<b>TOTAL FUND REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>5,480.37</b>	<b>8.31</b>	<b>( 5,480.37)</b>	<b>.00</b>
<u>TRUST &amp; AGENCY ADMIN</u>							
773-255-956.000	GOURD LAKE: DEDUCTIONS	.00	.00	1,714.34	.00	( 1,714.34)	.00
	<b>TOTAL TRUST &amp; AGENCY ADMIN</b>	<b>.00</b>	<b>.00</b>	<b>1,714.34</b>	<b>.00</b>	<b>( 1,714.34)</b>	<b>.00</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>1,714.34</b>	<b>.00</b>	<b>( 1,714.34)</b>	<b>.00</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>3,766.03</b>	<b>8.31</b>	<b>3,766.03</b>	



CHARTER TOWNSHIP OF HIGHLAND

BALANCE SHEET

JUNE 30, 2024

PENNINSULA LAKE

ASSETS

774-000-010.000 CASH - COMBINED SAVINGS 10,753.79

TOTAL ASSETS 10,753.79

LIABILITIES AND EQUITY

FUND EQUITY

774-000-390.000 FUND BALANCE 6,099.98  
REVENUE OVER EXPENDITURES - YTD 4,653.81

TOTAL FUND EQUITY 10,753.79

TOTAL LIABILITIES AND EQUITY 10,753.79



# CHARTER TOWNSHIP OF HIGHLAND

## BALANCE SHEET

JUNE 30, 2024

### LOWER PETTIBONE LAKE

#### ASSETS

775-000-010.000 CASH - COMBINED SAVINGS 4,166.79

TOTAL ASSETS

4,166.79

#### LIABILITIES AND EQUITY

#### FUND EQUITY

775-000-390.000 FUND BALANCE 4,733.82  
REVENUE OVER EXPENDITURES - YTD ( 567.03)

TOTAL FUND EQUITY

4,166.79

TOTAL LIABILITIES AND EQUITY

4,166.79

**CHARTER TOWNSHIP OF HIGHLAND**  
**REVENUES WITH COMPARISON TO BUDGET**  
**FOR THE 6 MONTHS ENDING JUNE 30, 2024**

**LOWER PETTIBONE LAKE**

	ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<u>REVENUE</u>						
775-000-581.000	.00	.00	6,313.00	.00	( 6,313.00)	.00
775-000-665.000	.00	.00	78.97	6.28	( 78.97)	.00
	<u>.00</u>	<u>.00</u>	<u>6,391.97</u>	<u>6.28</u>	<u>( 6,391.97)</u>	<u>.00</u>
	<u>.00</u>	<u>.00</u>	<u>6,391.97</u>	<u>6.28</u>	<u>( 6,391.97)</u>	<u>.00</u>
<u>TRUST &amp; AGENCY ADMIN</u>						
775-255-956.000	.00	.00	6,959.00	6,959.00	( 6,959.00)	.00
	<u>.00</u>	<u>.00</u>	<u>6,959.00</u>	<u>6,959.00</u>	<u>( 6,959.00)</u>	<u>.00</u>
	<u>.00</u>	<u>.00</u>	<u>6,959.00</u>	<u>6,959.00</u>	<u>( 6,959.00)</u>	<u>.00</u>
	<u>.00</u>	<u>.00</u>	<u>6,959.00</u>	<u>6,959.00</u>	<u>( 6,959.00)</u>	<u>.00</u>
	<u>.00</u>	<u>.00</u>	<u>( 567.03)</u>	<u>( 6,952.72)</u>	<u>( 567.03)</u>	

CHARTER TOWNSHIP OF HIGHLAND

BALANCE SHEET

JUNE 30, 2024

DUNLEAVY/LEONARD LAKE

ASSETS

776-000-010.000 CASH - COMBINED SAVINGS 18,102.46

TOTAL ASSETS

18,102.46

LIABILITIES AND EQUITY

FUND EQUITY

776-000-390.000 FUND BALANCE 7,377.51  
REVENUE OVER EXPENDITURES - YTD 10,724.95

TOTAL FUND EQUITY

18,102.46

TOTAL LIABILITIES AND EQUITY

18,102.46

# CHARTER TOWNSHIP OF HIGHLAND

## REVENUES WITH COMPARISON TO BUDGET FOR THE 6 MONTHS ENDING JUNE 30, 2024

### DUNLEAVY/LEONARD LAKE

		ORIGINAL BUDGET	AMENDED BUDGET	YTD ACTUAL	CUR MONTH	VARIANCE	% OF BUDGET
<b>REVENUE</b>							
776-000-581.000	CONTRIBUTIONS-DUNLEAVY/LEONA	.00	.00	10,575.00	.00	( 10,575.00)	.00
776-000-665.000	INTEREST EARNINGS	.00	.00	149.95	27.29	( 149.95)	.00
	<b>REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>10,724.95</b>	<b>27.29</b>	<b>( 10,724.95)</b>	<b>.00</b>
	<b>TOTAL FUND REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>10,724.95</b>	<b>27.29</b>	<b>( 10,724.95)</b>	<b>.00</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>10,724.95</b>	<b>27.29</b>	<b>10,724.95</b>	

# CHARTER TOWNSHIP OF HIGHLAND FIRE DEPARTMENT

## MONTHLY REPORT



**August-24**

Last Year (2023)

This Year (2024)

Cost of Firefighter's by Station

Station One	\$11,029.32	\$13,113.35
Station Two	\$13,445.33	\$9,083.17
Station Three	\$7,252.38	\$2,418.10
<b>Total</b>	<b>\$31,727.03</b>	<b>\$24,614.62</b>

Cost of Firefighter's Last Month

**\$87,195.03**

**\$99,738.08**

Alarms through Current Month

**1139**

**1248**

Total Alarms last Year

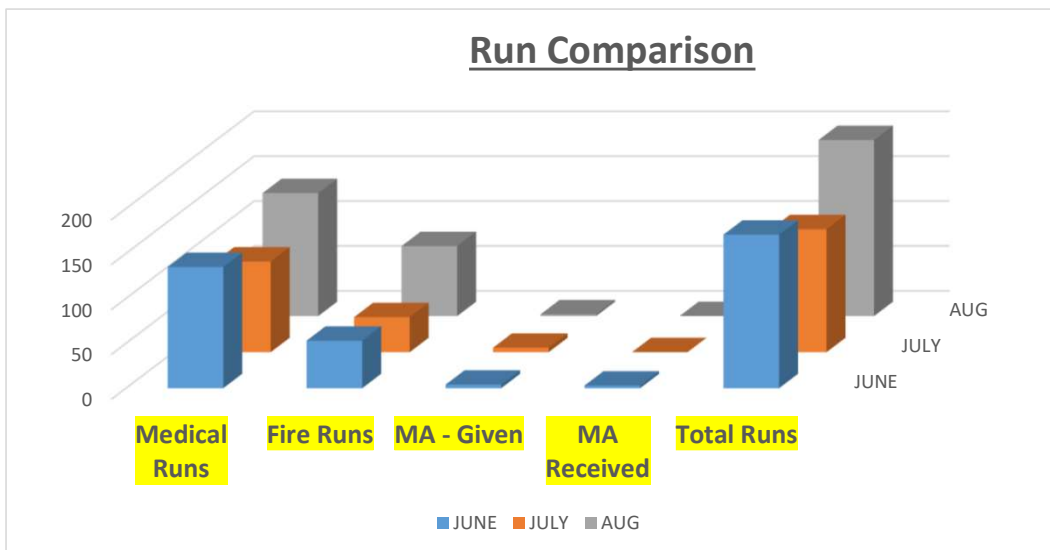
1731

Runs Ahead of Last Year

**109**

### STATISTICS

	<u>Last Month</u>	<u>This Month</u>
Amount Endangered by Fire	\$366,100.00	\$240,000.00
Amount Lost by Fire	\$9,000.00	\$5,000.00
Fire Loss	2%	2%
Average Personnel Per Run	4	4
Medical Related Runs	101	137
Fire Related Runs	39	78
Mutual Aid - Given	5	2
Mutual Aid - Received	0	0
Total Runs	137	196
EMS Transports	72	84
Fire Staff Hours	3934	3836.75
Administration Staff Hours	410	453



Submitted by...

Chief Nick George

**Highland Township Public Library  
Board Meeting Minutes  
Tuesday, July 2, 2024**

**Members Present:** J. Gaglio, C. Hamill, J. Matthews, D. Mecklenborg, K. Polidori, and Director B. Dunseth

**Members Absent:** C. Dombrowski

**Guest:** None

The Highland Township Library Board meeting was called to order at 5:30 pm by D. Mecklenborg

**Motion:** C. Hamill moved and J. Matthews seconded to approve the agenda. Unanimous vote; motion carried.

**Motion:** K.Polidori moved and J. Gaglio seconded to approve the Board Meeting minutes of June 2024. Roll call - unanimous vote; motion carried.

**Bills:** Total bills for June, 2024 are \$59,865.21. Total bills for July, 2024 are \$99,213.83, with the addition of Applied Innovation, Bredernitz Wagner & Co. P.C., Digital Document Store, DTE Energy, ODP Business Solutions LLC, T-Mobile, and Telnet Worldwide, when received.

**Motion:** K.Polidori moved and C. Hamill/J. Gaglio seconded to approve the June and July 2024 bills. Roll call - unanimous vote; motion carried.

**FYI:** Budget report available for review.

**Director's Report:** Available for review.

**Communications:** Nice letter from volunteer B. Piper; also presented for review, an article on Brilliant Detroit.

## **UNFINISHED BUSINESS**

**The Library Network:** Succinct page presenting values related to cost of services. Statistics presented for Michigan Public Library class size requirements for State Aid; education requirements for Staff.

**Building Maintenance:** Old magazine section still no major renovations to be pursued. Cost of \$1860 to replace and refresh, add more stones to path. B. Dunseth will ask landscape company for their recommendation, if any, for adding retainer risers to keep stone from washing out. Goyette will wait for appropriate time of season to power off A/C for next installation piece. Power outage took down some of phone system, TelNet tech restored.

## **Strategic Planning:**

**Partnerships:** Friends of the Highland Library have been great help with funding, especially summer reading.



T. Flowers requested voter's information be supplied and displayed in Library

**Outreach:** Summer reading for kids is supplying weekly prizes.  
Snoopy cards for September Library Card month have been ordered.

## **NEW BUSINESS**

**Procedures:** Temporary cards are issued to new patrons in the TLN service area.

**Policies:** Fund balance policy updated to include verbiage on assigned fund balance intentions.  
"Minimum level of 6 months of operating expenses" to be added under Implementation and Review.

**Motion:** J. Matthews moved and K. Polidori seconded to accept the amended Fund Balance Policy changes as presented. Roll call - unanimous vote; motion carried.

**Personnel:** Staff photos taken, will be added to website.  
VOYA representative discussed 401A and 457B plans with Staff.

**August Meeting:** The August 6, 2024 Library Board meeting will be held in the Community Room, at 5:30 pm.  
D. Mecklenborg and J. Matthews will be absent from 8/6/24 meeting.

**Public Comment:** None

**Adjournment:** J. Matthews moved and J. Gaglio seconded to adjourn. Meeting adjourned at 6:08 pm.

Respectfully Submitted,

*Jill E Matthews*

### Circulation of Physical Items

	April 5,843	May 4,797	June 5,985
Books:	Adult 2,188 (1,938)	Teen 83 (56)	Youth 3,459 (1,760)
	DVD 725 (525)	Realia 106 (38)	Board Games 35(15)
<b>Interlibrary Loan:</b>			
Other TLN Library material to Highland: 921			
Highland Materials to other TLN Libraries: 1,426			
MeLCat Interloan Service: 18			

### Digital Usage

	May	June
<b>Overdrive</b>		
Overall	2,712	2,594
e-books	1,111	1,164
e-audiobooks	1,258	1,156
e-magazines	343	274
New Users	31	20
Unique User	563	561
Libby Users	2,404	2,339
Hoopla Borrows	866	732
Kanopy Plays	39	18
Consumer Reports Page View	293	355
Mango Languages	22	3
Brainfuse	5	6
World Book	1	10
Ancestry	102	169

### Library Happenings

- Patrons are using our MAP passes to save money at State Parks, Metroparks and local venues such as Howell Nature Center and Legoland.
- Library staff attended the Red, White and Blue festival to promote summer reading.
- The Township will have Voters registration information available at the library. Applications will be returned to the township.
- The Friends of the Library have granted close to \$7,000 to help with library programming and supplies for the summer season.
- We saw a 19% increase in foot traffic in June and a 53% increase in books checked out. Highland residents are **READING** this summer!

### Programs & Reference

	<b>June</b>	<b>Programs</b>	<b>#</b>
Adult	8		79
Teen	2		13
Youth	17		403
<b>Total</b>	<b>19</b>		<b>495</b>
May	29		478
Passive Yth	2		359
Passive Adt	1		29
<b>Reference</b>			
Adult & Teen		854	
Youth		1,067	
<b>Total</b>		<b>1,921</b>	
Last Month		1,147	
<b>People Count 5,351</b>			
Last year		5,332	
Last Month		4,497	

### Public Computer Usage

<b>Computers</b>	
Adult	236
Teen	2
Youth	16
AWE (392)	579
ABC Mouse	1
Wireless:	369

### Website

- MAP passes: 13 families**
- 4 State Parks**
- 5 Metro Parks**
- Legoland**
- Howell Nature Center**

**TREASURER'S REPORT**  
July 31, 2024

BANK	FUND	ACCOUNT TYPE	FUND	O/S CHECKS	BANK BALANCE	BANK STATEMENT
CHASE	GENERAL	CHECKING	101	143,628.38	2,187.80*	780,593.37
CHASE	GENERAL	H.R.A.	101		66,575.26	*In Chase checking account
CHASE	GENERAL	F.S.A CHECKING	101		10,748.95	
CHASE	GENERAL	CHECKING (SAVINGS)	101		557,588.17*	
CHASE	FIRE OPERATING	MONEY MARKET	206		36,712.52	
CHASE	ROAD	MONEY MARKET	203		11,862.64	
CHASE	HAUL ROUTE	MONEY MARKET	203		409,223.15	
CHASE	POLICE	MONEY MARKET	207		54,273.98	
CHASE	REFUSE	MONEY MARKET	227		484,094.38	
CHASE	OPIOID SETTLEMENT	CHECKING	284		14,178.41*	
CHASE	HAAC	CHECKING	702		8,893.16*	
CHASE	DDA	MONEY MARKET	494		20,362.37	
CHASE	WATERMAIN	CHECKING	591		54,117.45*	
CHASE	DUCK LAKE IMP. BOARD	MONEY MARKET	764		188,455.36	
CHASE	HIGHLAND LAKE IMP BRD	MONEY MARKET	765		71,400.47	
CHASE	TAGGETT LK IMP BRD	MONEY MARKET	766		35,907.16	
CHASE	KELLOGG LK IMP BRD	MONEY MARKET	767		47,071.04	
CHASE	CHARLICK LK IMP BRD	MONEY MARKET	768		55,026.96	
CHASE	WOODRUFF LK IMP BRD	MONEY MARKET	769		48,795.70	
CHASE	WHITE LK IMP BRD	MONEY MARKET	770		312,325.30	
CHASE	TOMAHAWK LK IMP BRD	MONEY MARKET	771		2,903.95	
CHASE	GOURD LK IMP BRD	MONEY MARKET	773		3,916.56	
CHASE	PENINSULA LAKE	MONEY MARKET	774		8,394.83	
CHASE	LOWER PETTIBONE LAKE	MONEY MARKET	775		4,104.07	
CHASE	DUNLEAVY LEONARD	MONEY MARKET	776		7,039.07	
COMERICA	CAPITAL IMP.	PBMM	401		143,819.90	
COMERICA	CAPITAL IMP.	JFUND	401		122,185.15	
COMERICA	GENERAL	JFUND	101		235,965.52	
FLAGSTAR	PERPETUAL FUND	CD	101		1,158.74	
FLAGSTAR	GENERAL	CD	101		444,384.96	
FLAGSTAR	POLICE	CD	207		325,716.41	
FLAGSTAR	CAPITAL IMP.	SAVINGS	401		29,288.43	
FLAGSTAR	DDA	SAVINGS	494		242,037.30	
FLAGSTAR	FIRE	SAVINGS	206		1,697,450.80	
FLAGSTAR	FIRE CAPITAL	SAVINGS	402		512,039.12	
FLAGSTAR	GENERAL	SAVINGS	101		19,169.04	
FLAGSTAR	CURRENT TAX	CHECKING	703	1,011.75	1,359,028.02	
FLAGSTAR	POLICE	SAVINGS	207		2,100,424.81	
HVSB	FIRE	CD	206		279,669.79	
HVSB	GENERAL	CD	101		228,591.93	
HVSB	HAUL ROUTE	CD	203		290,856.58	
HVSB	POLICE	CD	207		278,764.59	
LPL FINANCIAL	POST EMPLOYEE BENEFITS	INVESTMENT POOL	737		163,206.30	
LPL FINANCIAL	POST EMPLOYEE BENEFITS	INVESTMENT POOL	737		650,789.43	
MI CLASS	CAPITAL IMP.	INVESTMENT POOL	401		2,919,788.45	
MI CLASS	FIRE HALL CONSTRUCTION	INVESTMENT POOL	402		406,913.63	
MI CLASS	POLICE	INVESTMENT POOL	207		425,865.61	
MI CLASS	ROAD	INVESTMENT POOL	203		6,094.61	
MI CLASS	STATE SHARED REV	INVESTMENT POOL	101		831,595.23	
OAKLAND CO	FIRE	INVESTMENT POOL	206		24,230.09	
OAKLAND CO	FIRE CAPITAL	INVESTMENT POOL	402		10,027.05	
OAKLAND CO	GENERAL	INVESTMENT POOL	101		23,771.65	
OAKLAND CO	POLICE	INVESTMENT POOL	207		152,762.98	
OAKLAND CO	REFUSE	INVESTMENT POOL	227		162,392.47	
CIBC	GENERAL	CD	101		282,719.91	
CIBC	FIRE	CD	206		177,875.17	
CIBC	POLICE	CD	207		286,844.48	
CIBC	POLICE	CD	207		493,429.32	
CIBC	CAPITAL IMP.	CD	401		376,067.98	
CIBC	ESCROW	CD	101		342,302.50	
CIBC	DDA	CD	494		128,393.75	
CIBC	DDA	CD	494		186,710.41	
HUNTINGTON	GENERAL	CD	101		224,590.69	
					19,103,081.51	

CHASE	2,516,158.71
COMERICA	501,970.57
FLAGSTAR	6,730,697.63
HVSB	1,077,882.89
LPL FINANCIAL	813,995.73
MI CLASS	4,590,257.53
OAKLAND COUNTY	373,184.24
CIBC	2,087,633.11
HUNTINGTON	224,590.69
<b>TOTAL</b>	<b>18,916,371.10</b>

Flagstar Bank Statement  
1,360,039.77

Respectfully submitted,  
Jennifer Frederick, Treasurer

BANK/GL REC. SORTED BY			FUND		LEDGER		BANK		FUND	
July 31, 2024										
BANK	FUND	ACCOUNT TYPE	FUND	DIFFERENCE	BALANCE	BALANCE		TOTAL	FUND	NUMBER
CHASE	GENERAL	CHECKING	101			2,187.80				
CHASE	GENERAL	H.R.A. CHECKING	101			66,575.26				
CHASE	GENERAL	F.S.A. CHECKING	101			10,748.95				
CHASE	GENERAL	CHECKING (SAVINGS)	101			557,588.17				
COMERICA	GENERAL	JFUND	101			235,965.52				
FLAGSTAR	GENERAL	MAX SAVINGS	101			19,169.04				
HVSB	GENERAL	CD	101			228,591.93				
OAKLAND CO	GENERAL	INVESTMENT POOL	101			23,771.65				
CIBC	GENERAL	CD	101			282,719.91				
CIBC	GENERAL - ESCROW	CD	101			342,302.50				
HUNTINGTON	GENERAL	CD	101			224,590.69				
FLAGSTAR	GENERAL	CD	101			444,384.96				
FLAGSTAR	PERPETUAL FUND	CD	101			1,158.74				
MI CLASS	STATE SHARED REV	INVESTMENT POOL	101	-5,884.05	3,277,234.40	831,595.23		3,271,350.35		101
CHASE	ROAD	SAVINGS	203			11,862.64				
MI CLASS	ROAD	INVESTMENT POOL	203			6,094.61				
CHASE	HAUL ROUTE	SAVINGS	203			409,223.15				
HVSB	HAUL ROUTE	CD	203	0.00	718,036.98	290,856.58		718,036.98		201
FLAGSTAR	FIRE	MAX SAVINGS	206			1,697,450.80				
HVSB	FIRE	CD	206			279,669.79				
OAKLAND CO	FIRE	INVESTMENT POOL	206			24,230.09				
CIBC	FIRE	CD	206			177,875.17				
CHASE	FIRE	SAVINGS	206	4,640.08	2,211,298.29	36,712.52		2,215,938.37		206
CHASE	POLICE	SAVINGS	207			54,273.98				
FLAGSTAR	POLICE	MAX SAVINGS	207			2,100,424.81				
FLAGSTAR	POLICE	CD	207			325,716.41				
HVSB	POLICE	CD	207			278,764.59				
MI CLASS	POLICE	INVESTMENT POOL	207			425,865.61				
OAKLAND CO	POLICE	INVESTMENT POOL	207			152,762.98				
CIBC	POLICE	CD	207			286,844.48				
CIBC	POLICE	CD	207	0.00	4,118,082.18	493,429.32		4,118,082.18		207
CHASE	OPIOID SETTLEMENT	CHECKING	284	0.00	14,178.41	14,178.41		14,178.41		284
LPL FINANCIAL	POST EMPLOYEE BENEFITS	CASH ACCOUNT	737			163,206.30				
LPL FINANCIAL	POST EMPLOYEE BENEFITS	BOND	737	0.00	813,995.73	650,789.43		813,995.73		737
CHASE	REFUSE	SAVINGS	227			484,094.38				
OAKLAND CO	REFUSE	INVESTMENT POOL	227	0.00	646,486.85	162,392.47		646,486.85		227
CHASE	HAAC	CHECKING	702	0.00	8,893.16	8,893.16		8,893.16		702
COMERICA	CAPITAL IMP.	PBMM	401			143,819.90				
COMERICA	CAPITAL IMP.	JFUND	401			122,185.15				
FLAGSTAR	CAPITAL IMP.	MAX SAVINGS	401			29,288.43				
MI CLASS	CAPITAL IMP.	INVESTMENT POOL	401			2,919,788.45				
CIBC	CAPITAL IMP.	CD	401	0.00	3,591,149.91	376,067.98		3,591,149.91		401
FLAGSTAR	FIRE CAPITAL	MAX SAVINGS	402			512,039.12				
MI CLASS	FIRE CAPITAL	CONSTRUCTION	402			406,913.63				
OAKLAND CO	FIRE CAPITAL	INVESTMENT POOL	402	0.00	928,979.80	10,027.05		928,979.80		402
CHASE	DDA	SAVINGS	494			20,362.37				
CIBC	DDA	CD	494			128,393.75				
CIBC	DDA	CD	494			186,710.41				
FLAGSTAR	DDA	MAX SAVINGS	494	-0.03	577,503.86	242,037.30		577,503.83		494
CHASE	WATERMAIN	CHECKING	591	0.00	54,117.45	54,117.45		54,117.45		591
FLAGSTAR	TAX	CHECKING	703	0.00	1,359,028.02	1,359,028.02		1,359,028.02		703
CHASE	DUCK LAKE IMP. BOARD	SAVINGS	764	0.00	188,455.36	188,455.36		188,455.36		764
CHASE	HIGHLAND LAKE IMP BRD	SAVINGS	765	0.00	71,400.47	71,400.47		71,400.47		765
CHASE	TAGGETT LK IMP BRD	SAVINGS	766	0.00	35,907.16	35,907.16		35,907.16		766
CHASE	KELLOGG LK IMP BRD	SAVINGS	767	0.00	47,071.04	47,071.04		47,071.04		767
CHASE	CHARLICK LAKE IMP BRD	SAVINGS	768	0.00	55,026.96	55,026.96		55,026.96		768
CHASE	WOODRUFF LK IMP BRD	SAVINGS	769	0.00	48,795.70	48,795.70		48,795.70		769
CHASE	WHITE LK IMP BRD	SAVINGS	770	0.00	312,325.30	312,325.30		312,325.30		770
CHASE	TOMAHAWK LK IMP BRD	SAVINGS	771	0.00	2,903.95	2,903.95		2,903.95		771
CHASE	GOURD LK IMP BRD	SAVINGS	773	0.00	3,916.56	3,916.56		3,916.56		773
CHASE	PENINSULA LAKE	SAVINGS	774	0.00	8,394.83	8,394.83		8,394.83		774
CHASE	LOWER PETTIBONE	SAVINGS	775	0.00	4,104.07	4,104.07		4,104.07		775
CHASE	DUNLEAVY LEONARD	SAVINGS	776	0.00	7,039.07	7,039.07		7,039.07		776
<b>TOTAL</b>					-1,244.00	19,104,325.51	19,103,081.51		19,103,081.51	
	Fund 101 Chase Credit Cards in Transit		-1,244.00							
RLO 08/19/24	Fund 206 to Fund 101 Payroll correction		4,640.08							
	Fund 101 to Fund 494 Payroll correction		-0.03							
CTRL, ALT, SHIFT, F9	Net difference		-1,244.00							

CHARTER TOWNSHIP OF HIGHLAND  
ZONING BOARD OF APPEALS  
APPROVED MINUTES  
July 17, 2024

The meeting was held at Highland Township Auditorium, 205 N. John St, Highland, MI, 48357.

The meeting was called to order at 7:30 p.m.

**ROLL CALL:**

David Gerathy, Chairman  
Michael Borg, Vice Chairman  
Anthony Raimondo, Secretary  
Grant Charlick - absent  
Peter Eichinger  
Robert Hoffman  
John Jickling  
(Alternate) Mary Michaels  
(Alternate) Michael Zeolla

Kariline P. Littlebear, Zoning Administrator

Visitors: 1

Chairman Gerathy welcomed the public and reviewed the procedures for addressing the Board. Four affirmative votes are required to approve a variance. If a variance is approved, the applicant has one year to act upon the variance. The alternate member, Mary Michaels, will participate in the meeting in place of the absent regular member. After the roll was called and a full board was confirmed the alternate member, Michael Zeolla, excused himself to rejoin the HDDA meeting at Steeple Hall.

**NEW BUSINESS:**

1. CASE NUMBER: 24-13  
COMPLAINT: EE24-0112  
ZONING: LV – Lake and Village Residential District  
PARCEL #: 11-12-303-004  
PROPERTY ADDRESS: 2390 Dean Dr  
APPLICANT: Andrew Grossman  
OWNER: Andrew Grossman and Maureen Pichner  
VARIANCE REQUESTED: A 30-foot variance from the required 65-foot ordinary high-water mark setback to 35-feet provided.  
(9.02.D.)  
This request is for the construction of an approx. 130 square foot uncovered deck and stairs.

Chairman Gerathy introduced the case and asked if the applicant was present. The applicant stepped up to the podium. Mr. Gerathy asked if the Zoning Administrator had anything to add. Mrs. Littlebear noted that this case was before them on an enforcement and that once Mr. Grossman knew that he needed a permit he came in to get one and found that a variance would be required.

**Discussion from the Applicant:**

Andrew Grossman, applicant, was present and went over the case as presented.

**Discussion from the Public:**

No public comment was offered.

**Discussion from the Board:**

Mr. Eichinger stated that the deck is not blocking any neighbor's views and seems to be a very reasonably sized deck. Mrs. Michaels agreed with Mr. Eichinger's observations.

Mr. Hoffman noted that it is very difficult to even see the deck from the road and asked how it was found out that he had built this deck without a permit. Mrs. Littlebear stated that the Building Official was in the neighborhood doing inspections and saw the front deck constructed without a permit. When he investigated further, he found that the rear deck had also been recently constructed without a permit. When Mr. Grossman came in to get permits it was then discovered that the front deck meets setbacks and so moved forward with a building permit, but the rear deck would require a variance to stay in place.

Mr. Jickling stated that he is disappointed that again there is another case of asking forgiveness instead of permission. He asked if the Building Official would do something to check the depth of the footings. Mr. Grossman said that the Building Official has stated that he will either have to probe the footings or have Mr. Grossman dig down next to the posts to verify the footing depth.

Mr. Borg stated that he agrees with everyone's previous statements.

Mr. Raimondo asked the applicant if he plans to enclose the rear deck in the future. Mr. Grossman stated that he did not have any plans to do so.

**Facts and Findings**

This request is the minimum necessary.

The need for the variance is not self-created.

The house itself encroaches on the ordinary high-water mark setback.

The applicant stated that he will not enclose the deck.

This request will not obstruct the view of the wetlands for the neighbors.

This request is in keeping with the character of the neighborhood.

**Motion:**

Mr. Eichinger made a motion in Case #24-13, parcel # 11-12-303-004, commonly known as 2390 Dean Dr, to approve a 30-foot variance from the required 65-foot ordinary high-water mark setback to 35-feet provided for the construction of an approx. 130 square foot uncovered deck and stairs.

Mr. Hoffman supported the motion.

**Roll Call Vote:** Mr. Hoffman-yes, Mr. Borg-yes, Mr. Eichinger-yes, Mrs. Michaels-yes, Mr. Raimondo-yes, Mr. Jickling-yes, Mr. Gerathy-yes, (7 yes votes). The motion carried and the variance was approved.

Board members discussed the possibility of a Final Determination but decided not to execute one as this request came before them on an enforcement basis.

- |                     |   |
|---------------------|---|
| 2. CASE NUMBER:     | 24-14   |
| COMPLAINT:          | Postponed to August 7, 2024   |
| ZONING:             | LV – Lake and Village Residential District  |
| PARCEL #:           | 11-11-181-004   |
| PROPERTY ADDRESS:   | 1511 Ludean Dr  |
| APPLICANT:          | Paul & Mary Lynn Lipscomb   |
| OWNER:              | Janet Lipscomb  |
| VARIANCE REQUESTED: | This case must be postponed to the August 7, 2024 meeting due to a defect in the newspaper advertisement. |

Chairman Gerathy introduced the case noting that it is being postponed. He then asked the Zoning Administrator if she could explain. Mrs. Littlebear explained that the case needs to be tabled to the next meeting due to a defect in the newspaper advertisement. She stated that the advertisement has been corrected.

**Motion:**

Mrs. Michaels made a motion in Case #24-14, parcel # 11-11-181-004, commonly known as 1511 Ludean Dr, to table the case to the August 7, 2024 meeting. Mr. Borg supported the motion, and it was approved with a unanimous voice vote.

**CALL TO THE PUBLIC:**

No public comment was offered.

**MINUTES:**

Mr. Borg made a motion to approve the minutes of June 19, 2024, as presented. Mrs. Michaels supported the motion. It was approved with a voice vote of six (6) yeses with Mr. Jickling abstaining due to his absent on that date.

**DISCUSSION:**

Mr. Jickling stated that he will be stepping down from the board and that his last meeting will be the second Wednesday of September 2024. Mrs. Michaels stated that she would like to be appointed as his replacement. The board members all expressed their appreciation for his service on the board these last four years.

**ADJOURN:**

At 7:51 p.m., Mrs. Michaels made a motion to adjourn the meeting. Mr. Hoffman supported the motion, and it was approved with a unanimous voice vote.

Respectfully submitted,

Anthony Raimondo  
AR/kpl

CHARTER TOWNSHIP OF HIGHLAND  
ZONING BOARD OF APPEALS  
APPROVED MINUTES  
August 7, 2024

The meeting was held at Highland Township Auditorium, 205 N. John St, Highland, MI, 48357.

The meeting was called to order at 7:30 p.m.

**ROLL CALL:**

David Gerathy, Chairman  
Michael Borg, Vice Chairman  
Anthony Raimondo, Secretary - absent  
Grant Charlick  
Peter Eichinger  
Robert Hoffman  
John Jickling - absent  
(Alternate) Mary Michaels  
(Alternate) Michael Zeolla  
  
Kariline P. Littlebear, Zoning Administrator

Visitors: 8

Chairman Gerathy welcomed the public and reviewed the procedures for addressing the Board. Four affirmative votes are required to approve a variance. If a variance is approved, the applicant has one year to act upon the variance. The alternate members, Mary Michaels and Michael Zeolla, will participate in the meeting in place of the absent regular members.

**OLD BUSINESS:**

**Motion:**

Mr. Borg made a motion to remove Case #24-14 from the table. Mrs. Michaels supported the motion and it carried with a unanimous voice vote.

- |                     |  |
|---------------------|--|
| 1. CASE NUMBER:     | 24-14  |
| ENFORCEMENT:        | <b>Tabled from July 17, 2024</b>   |
| ZONING:             | LV – Lake and Village Residential District   |
| PARCEL #:           | 11-11-181-004  |
| PROPERTY ADDRESS:   | 1511 Ludean Dr   |
| APPLICANT:          | Paul & Mary Lynn Lipscomb  |
| OWNER:              | Janet Lipscomb   |
| VARIANCE REQUESTED: | A 0.1-foot variance from the required 10-foot east side yard setback to 9.9-feet provided; and<br>A 5-foot variance from the required 15-foot west side yard setback to 10-feet provided; and<br>A 7.5-foot variance from the required 25-foot total side yards setback to 17.5-feet provided.<br>(Sec. 9.02.B.b.)<br>This request is for the construction of an approx. 175 square foot residential addition and a 220 square foot garage addition. |



Chairman Gerathy introduced the case and asked if the applicant was present. The applicants stepped up to the podium. Mr. Gerathy asked if the Zoning Administrator had anything to add. Mrs. Littlebear reminded the Board that the reason that this case had been table was due to an error in the original advertisement and that it has since been correctly advertised and is ready for review.

**Discussion from the Applicant:**

Paul and Mary Lynn Lipscomb, applicants and owners, were present and went over the case as presented.

**Discussion from the Public:**

Mr. Gerathy read into the record a letter of support from Dan and Laurie Metz, 1509 Ludean Dr, and a letter of support from Brian and Kristin Weaver, 1543 Ludean Dr.

**Discussion from the Board:**

Mr. Borg stated that he felt that this request is pretty cut and dry. The applicant is maintaining the same side yard setbacks that were established when the home was built as the additions are projecting forward without encroaching into the required 40-foot front yard setback, the septic system is compliant with Oakland County Health Division (OCHD), the new additions will not interfere with anyone's view of the lake, and the new additions will fit in with the neighborhood.

Mr. Hoffman stated that he agreed with Mr. Borg noting that each house on either side of this request actually extend further toward the road than the new additions.

Mr. Eichinger stated that he agreed with the other Board members and asked about the 0.1-foot variance. Mr. Lipscomb stated that the 0.1-foot variance request is on the garage side. Mr. Eichinger asked why they are only adding 10 feet to the garage. Mr. Lipscomb stated that the extra 10 feet inside the garage would provide for storage.

Mr. Gerathy and Mr. Zeolla noted that the two additions will add some architectural interest to a nice looking but fairly flat façade.

**Facts and Findings**

This request is the minimum necessary.

The need for the variance is not self-created.

The house itself encroaches on the side yard setbacks.

This request will not increase the existing encroachments.

This request will not obstruct the view of the lake for the neighbors.

This request is in keeping with the character of the neighborhood.

**Motion:**

Mr. Borg made a motion in Case #24-14, parcel # 11-11-181-004, commonly known as 1511 Ludean Dr, to approve a 0.1-foot variance from the required 10-foot east side yard setback to 9.9-feet provided and a 5-foot variance from the required 15-foot west side yard setback to 10-feet provided and a 7.5-foot variance from the required 25-foot total side yards setbacks to 17.5-feet provided for the construction of an approx. 175 square foot residential addition and a 220 square foot garage addition

Mr. Eichinger supported the motion.

**Roll Call Vote:** Mr. Hoffman-yes, Mr. Borg-yes, Mr. Eichinger-yes, Mrs. Michaels-yes, Mr. Zeolla-yes, Mr. Charlick-yes, Mr. Gerathy-yes, (7 yes votes). The motion carried and the variance was approved.

Mr. Gerathy and Mr. Borg asked the applicants if they need a Final Determination form signed to pull permits right away. Mr. Lipscomb stated that it was not necessary since they wanted to wait for a decision on the variance request before commissioning the final construction drawings for a building permit.

**NEW BUSINESS:**

2. CASE NUMBER: 24-15  
ENFORCEMENT: EE23-0254  
ZONING: LV – Lake and Village Residential District  
PARCEL #: 11-15-276-019  
PROPERTY ADDRESS: 881 Dunleavy Dr  
APPLICANT: Kyle Teagan  
OWNER: Allan M. Teagan  
VARIANCE REQUESTED: A 25-foot variance from the calculated 37-foot front yard setback to 12-feet provided; and  
A 26-foot 4-inch variance from the calculated 61-foot 4-inch ordinary high-water mark setback to 35-feet provided.  
(Sec. 9.02.B.a. & Sec. 9.02.D.)  
This request is for the construction of a 160 square foot covered front porch and a 602 square foot uncovered rear deck.

Chairman Gerathy introduced the case and asked if the applicant was present. The applicants stepped up to the podium. Mr. Gerathy asked if the Zoning Administrator had anything to add. Mrs. Littlebear stated that she did not have anything to add.

**Discussion from the Applicant:**

Kyle Teagan, applicant, was present. He went over the case as presented and stated that his desire is to enhance the neighborhood by updating this house.

**Discussion from the Public:**

No public comment was offered.

**Discussion from the Board:**

Mr. Hoffman stated that this request seems reasonable since the property line/road right-of-way is so close to the house but there is another 40 feet or so between the house and the road itself. He stated that he did not believe that the road would ever be expanded in this neighborhood. He also felt that this request will enhance the house as well as the neighborhood. Further, he noted that the request will not block the view of the canal for any of the neighbors.

Mr. Borg noted that the previous front porch was not as appealing as this proposed one. He confirmed with the Zoning Administrator that the original porch was a legal non-conformity. Mr. Borg asked how long the applicant has owned the property and Mr. Teagan stated that it was in 2012.

Mr. Eichinger asked for clarification on the enforcement. Mrs. Littlebear stated that there are active permits for interior work at the home and when the building official came out to do an inspection for one of those permits, he found that they had started working on the front porch. He let Mr. Teagan know that the front porch would need a separate permit so Mr. Teagan came into the office and found that a variance would be necessary to obtain a building permit for the front porch.

**Facts and Findings**

This parcel is shallow and irregularly shaped.

The existing structure already encroaches into the front and high-water mark setbacks.

This request is the minimum necessary.

The need for the variance is not self-created.

This request is in keeping with the character of the neighborhood.

This request will not obstruct the view of the lake for the neighbors.

The house itself encroaches into the front yard and ordinary high-water mark setbacks.

**Motion:**

Mrs. Michaels made a motion in Case #24-15, parcel # 11-15-276-019, commonly known as 881 Dunleavy Dr, to approve a 25-foot variance from the calculated 37-foot front yard setback to 12-feet provided and a 26-foot 4-inch variance from the calculated 61-foot 4-inch ordinary high-water mark setback to 35-feet provided for the construction of a 160 square foot covered front porch and a 602 square foot uncovered rear deck.

Mr. Hoffman supported the motion.

**Roll Call Vote:** Mr. Hoffman-yes, Mr. Borg-yes, Mr. Eichinger-yes, Mrs. Michaels-yes, Mr. Zeolla-yes, Mr. Charlick-yes, Mr. Gerathy-yes, (7 yes votes). The motion carried and the variance was approved.

**Motion:**

Mrs. Michaels made a motion in Case #24-15, parcel # 11-15-276-019, commonly known as 881 Dunleavy Dr, to approve a Final Decision. Mr. Eichinger supported the motion, and it was approved with a unanimous voice vote.

3. CASE NUMBER: 24-16  
ENFORCEMENT:  
ZONING: ARR – Agricultural and Rural Residential District  
PARCEL #: 11-02-300-002  
PROPERTY ADDRESS: 1131 White Lake Rd  
APPLICANT: Khaled Mheisen  
OWNER: Imagination Station Two, LLC  
VARIANCE REQUESTED: A 56-foot variance from the required 125-foot west front yard setback to 69-feet provided; and  
A 40.7-foot variance from the required 125-foot south front yard setback to 84.3-feet provided; and  
A 6.1-foot variance from the required 40-foot north side yard setback to 33.9-feet provided.  
(Sec. 4.15.)  
This request is for the construction of a 1776 square foot daycare building.  
And  
A 27-foot variance from the required 40-foot east side yard setback to 13-feet provided; and  
A 3-foot variance from the required north side yard setback to 37-feet provided.  
(Sec. 4.15)  
This request is for the construction of a 254 square foot accessory structure.

Chairman Gerathy introduced the case and asked if the applicant was present. The applicant and his representatives stepped up to the podium. Mr. Gerathy asked if the Zoning Administrator had anything to add. Mrs. Littlebear noted that the advertisement and thus the agenda for this case included a variance request for an existing accessory structure. She explained that it has been included because at the time of the advertisement deadline she had still not found evidence of the structure having been issued a permit or a variance. She further explained that she was finally able to locate the original approved site plan for the daycare facility from 1985 that shows that not only was the schoolhouse already existing but the accessory structure was already existing at that time as well. That means that both existing structures are considered legally non-conforming and thus do not require variances or permits at this time.

**Discussion from the Applicant:**

Brandon Chaney, representative for the applicant, and Khaled Mheisen, applicant, were present and went over the case as presented. They noted that the state requires certain safety standards for portable school buildings and they searched among multiple states before they found one that met those standards and was in good shape.

**Discussion from the Public:**

Mr. Borg read into the record a letter of support from Courtney LaMirand, a letter of support from Erika Roberts, a letter of support from Amanda Boatright, a letter of support from Chelsea Ferguson, and a letter of support from Julia Sage.

**Discussion from the Board:**

Mr. Borg asked how many employees and how many children are on site at one time. The applicant stated that there are either 5 or 6 employees and no more than 30 children on site at a time. Mr. Borg stated that it seemed that there is not enough proposed parking provided and was concerned about how emergency vehicles would access the site if necessary.

Mr. Chaney stated that the Fire Marshal has asked that they keep the existing entrance on White Lake Rd for emergency access to the site from both roads.

Mr. Borg asked the Zoning Administrator if she was aware of any traffic concerns or issues created by the daycare at this busy intersection. Mrs. Littlebear stated that she has not been made aware of any traffic issues created by the daycare. She stated that she believes that this is because the daycare has staggered drop off and pick up times unlike a school.

Mr. Borg asked how many more students the new building would add to the site. Mr. Chaney stated that they would increase the number of children to 60 at a time.

Mr. Charlick relayed to the Board, the August 1, 2024, Planning Commission meeting discussion with regards to this project. He explained that the Commission members agreed that expansion of the use was a good idea but that the Special Use had been recommended for approval with conditions. The primary condition is that the proposed structure be made to look more like a residential building so as to fit in with the character of the rural residential neighborhood but also that other issues like vehicle circulation, site lighting, and landscaping be addressed as well.

Mr. Charlick stated that the Planning Commission did not have a look at the original approved site plan from 1985 and noted that the second building that was approved at that time was actually going to be closer to the roads than the currently proposed structure. He asked the Zoning Administrator for any insight. Mrs. Littlebear stated that there was indeed a second structure approved in 1985 but that the property owner never followed through with the construction and approved site plans expire after two years if the approved construction has not had significant progress completed and approved.

The applicant stated that after the Planning Commission meeting, he directed his architect to come up with a new concept for the proposed structure that would reflect what the Planning Commission wanted, and he's directed his engineers to address the other issues for site plan approval. That new information will be presented at the next Planning Commission meeting.

Mr. Borg, Mrs. Michaels, Mr. Eichinger, Mr. Gerathy, and Mr. Hoffman all stated that they believed that the expansion of the use is appropriate and that they are not necessarily opposed to granting variances for a new building but none of them were comfortable granting variances without seeing renderings of the revised proposed structure that will be presented to the Planning Commission at the beginning of September.

Mr. Zeolla and Mr. Borg suggested that the case be tabled until the new renderings were ready for review.

Mrs. Michaels stated that she feels that the proposed structure is very unattractive and that she would vote no to this request because it does not fit the character of the neighborhood. She stated that she feels that there are two options before the ZBA. She felt that they could either table the case so as to wait for new renderings or approve the setbacks with conditions that the proposed structure be made to look like it would fit the aesthetic

of the neighborhood. Mrs. Michaels asked when the next Planning Commission meeting was. Mrs. Littlebear stated that the next Planning Commission meeting was Thursday, September 5, 2024, then they would go before the Board of Trustees on Monday, September 9, 2024, and then next ZBA meeting after that was not until Wednesday, September 18, 2024.

The applicant stated that the renderings should be ready by next week, so Mrs. Michaels suggested that the case be tabled to the August 21, 2024 ZBA meeting.

The other Board members stated that they felt comfortable with that suggestion.

**Motion:**

Mrs. Michaels made a motion in Case #24-16, parcel # 11-02-300-002, commonly known as 1131 White Lake Rd, to table the case to the August 21, 2024 meeting. Mr. Hoffman supported the motion, and it carried with a unanimous voice vote.

**CALL TO THE PUBLIC:**

No public comment was offered.

**MINUTES:**

Mr. Borg made a motion to approve the minutes of July 17, 2024, as presented. Mr. Hoffman supported the motion, and it carried with a unanimous voice vote.

**DISCUSSION:**

Mr. Hoffman congratulated Mr. Charlick on winning a Board of Trustee seat during the primary election last night. Mr. Charlick and Mr. Gerathy congratulated Mr. Hoffman on winning a County Commissioner seat during the primary election last night.

**ADJOURN:**

At 8:39 p.m., Mrs. Michaels made a motion to adjourn the meeting. Mr. Borg supported the motion, and it carried with a unanimous voice vote.

Respectfully submitted,

Michael Zeolla  
MZ/kpl



## **Charter Township of Highland - Fire Department**

**1600 W. Highland Rd.**

**Highland, MI 48357**

**(248)887-9050**

TO: Highland Township Board

FROM: Nick George, Fire Chief

SUBJECT: Notification of Open Position

DATE: September 4, 2024

The fire service has become a very competitive profession due to the shortages of providers; it has allowed many employees moving from department to department for a variety of reasons. With this we are losing a couple members to other departments. One of the members is full time. His projected leave time is in November so we are starting the hiring process now so the position can be filled at the same time he leaves. We have multiple great internal candidates that have already applied internally, and we will be posting the position externally to see if we can get any Paramedic candidates since we currently don't have any internal Paramedics.

Thank you and let me know any questions you may have!



## **Charter Township of Highland - Fire Department**

**1600 W. Highland Rd.**

**Highland, MI 48357**

**(248)887-9050**

TO: Highland Township Board

FROM: Nick George, Fire Chief

SUBJECT: The Percy A. Duncan and Ethel J. Duncan Trust

DATE: September 4, 2024

Highland residents, Percy and Ethel Duncan, were gracious enough to give back to the community even in their passing. The Duncan's disbursed \$46,155.60 each to West Highland Baptist Church, American Cancer Society, Diabetes Foundation, Arthritis Foundation, American Legion, Highland Library, and Highland Fire Department.

After discussion with officer staff on the department we have decided to put the money received for a second set of extrication tools. We use these tools for multiple things, but the primary purpose is to assist in getting patients out of vehicles after vehicle accidents. At this time, we only have one full set on our primary engine, and thanks to the Duncan's we will be able to outfit our second out engine. This will result in the department being able to be more versatile when responding to multiple incidents and mutual aid to other departments, along with standardizing our fleet. We are currently awaiting the quotes to present to the board, hopefully by the October meeting.

When we receive the extrication equipment we are planning to do an announcement in the Township newsletter, thanking the Duncans for all they have done.

Thank you!

## **6. Announcements and Information Inquiry**

- a) Farmers' Market every Saturday thru October 5th at Highland Township Complex



# Highland Farmers' market

**SATURDAYS  
10AM-2PM**

JUNE 22 - OCT 5, 2024



SCAN FOR MORE INFO  
[highlandfarmmarket.com](http://highlandfarmmarket.com)

FOLLOW US:  

**COME  
RAIN OR  
SHINE!**

**NEW LOCATION!**

Highland Township Hall  
205 N. John Street

**ENJOY...**

- LOCAL VENDORS
- LIVE MUSIC WEEKLY
- FESTIVE MARKET DAYS
- FAMILY FUN ZONE



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## **7. Public Comment**

## **8. Presentation**

a) Highland DDA 2024 Accreditation

## **9. Public Hearing**

- a) Resolution 24-26 to Proceed with the Lower Pettibone Lake Special Assessment District for the Control of Weeds in Peninsula Lake and related Services Pursuant to 1954 P.A. 188 as Amended

Begin Time:

End Time:

Comments:



**RESOLUTION #24-26: TO PROCEED WITH THE  
LOWER PETTIBONE LAKE SPECIAL ASSESSMENT  
DISTRICT FOR THE CONTROL OF WEEDS IN  
PENINSULA LAKE AND RELATED SERVICES PURSUANT  
TO 1954 P.A. 188, AS AMENDED**

At a regular meeting of the Township Board (the "Board") of the Charter Township of Highland, Oakland County, Michigan (the "Township"), held on the 9<sup>th</sup> day of September, 2024:

Present:

Absent:

The following resolution was offered by \_\_\_\_\_ and supported by \_\_\_\_\_:

WHEREAS, on August 12, 2024 the Township Board ("the Board") of the Charter Township of Highland ("the Township"), Oakland County, Michigan, pursuant to a petition filed by the owners of more than fifty (50%) percent of the affected property, tentatively determined to provide for the control of weeds in Peninsula Lake ("the Project"); and

WHEREAS the Board had designated a proposed special district against which all or part of the costs thereof are to be specially assessed; and

WHEREAS the Board set September 9, 2024 as the date and 6:30p.m. as the time for a hearing on whether to proceed with the Project and establish the District ("the hearing"); and

WHEREAS a Notice of Hearing on the Project and the District were published twice in the Milford Times, which first publication was at least ten days prior to the Hearing and such notices were also mailed to the persons with record ownership or interests as required by Act No. 188, Public Acts of Michigan 1954, as amended; and

WHEREAS the Board has held the Hearing and heard objections to the Project, to the Petition, and to the Special Assessment District, copies of which, if any, are on file with the Township Clerk; and

WHEREAS as a result of the foregoing hearing, the Township believes the Project to be in the best interests of the Township and that the costs thereof should be assessed to the Special Assessment District proposed to be established therefore;

NOW THEREFORE BE IT RESOLVED AS FOLLOWS:

1. The petition(s) filed by the owners of more than fifty (50%) percent of the affected property for the chemical treatment of weeds and related services for Lower Pettibone Lake is hereby approved.

2. The plans for the Project and the estimate of cost for the completion thereof of \$41,354.00 (Forty-one thousand, three hundred and fifty-four dollars) are approved and the Township hereby determines to proceed with the Project which shall also be known as the Lower Pettibone Lake Weed Control Project.

3. A Special Assessment District to be known as the Lower Pettibone Lake 2024 Special Assessment District is approved against which the costs of the Project shall be assessed according to benefits, the area in the Township described on Exhibit A attached hereto. The District shall last five years or until all special assessments are paid.

4. The Supervisor or Assessing Officer is directed to prepare a special assessment roll in the amount of \$41,354.00 (Forty-one thousand, three hundred and fifty-four dollars), upon which shall be entered and described all the parcels of land to be assessed with the names of respective owners thereof if known, and a total amount to be assessed against each parcel of land within the Lower Pettibone Lake Special Assessment District, which amount shall be a relative portion of the whole sum to be levied against other parcels of land in the Special Assessment District as the benefit to the parcel of land bears to the total benefit to all parcels of land in the Special Assessment District. When same has been completed, the Supervisor's or Assessing Officer's Certificate shall be affixed thereto, stating that the roll was prepared pursuant to and conforms in all respects with this Resolution and the applicable state statutes.

5. The Special Assessment Roll for the Project shall be filed with the Township Clerk no later than September 9th, 2024 and shall be available for public examination during regular office hours until the public hearing upon the same and may be further examined at the public hearing.

6. The Board shall hold a public hearing at the Township Hall at 205 N. John Street, Highland Township, MI 48357, on October 7, 2024 at 6:30p.m. for the purpose of hearing any objections to the special assessment roll described herein.

7. Notice of such public hearing shall be given by publication of the Notice at least twice in a newspaper of general circulation in the proposed special assessment district, with the first publication being at least ten (10) days prior to the public hearing, and the Township Clerk shall also give notice of such public hearing to each owner of or party in interest in property to be assessed whose name appears upon the last ad valorem tax assessment records, by mailing such notice by first class mail at least ten (10) days prior to the public hearing. The notices shall state that the proposed Special Assessment Roll is on file with the Township Clerk for public examination, shall state the time and place designated in the resolution provided to hear any objections and shall state that any persons objecting to the improvements shall file their objections thereto in writing with the Township Board at or prior to the public hearing. The notice shall also contain such other language as to the right to appeal the assessment roll as required by law.

8. All previous resolutions, or parts of previous resolutions, of the Board which are inconsistent with this resolution are hereby rescinded.

This resolution passed this 9th day of September, 2024 at a regular meeting of the Charter Township of Highland Township Board. A roll call vote was taken on the foregoing resolution and was as follows:

YEAS:

NAYS:

ABSTAIN:

RESOLUTION DECLARED ADOPTED

\_\_\_\_\_  
Rick A. Hamill, Township Supervisor

\_\_\_\_\_  
Tami Flowers MiPMC, Township Clerk

I, Tami Flowers, Charter Township of Highland Clerk, do hereby certify that the foregoing is a true and complete copy of a resolution, the original of which is on file in my office, approved by the Charter Township of Highland Board of Trustees at a Regular Meeting thereof held on September 9, 2024.

\_\_\_\_\_  
Tami Flowers MiPMC, Clerk

**Lower Pettibone Lake Special Assessment  
Resolution #24-26  
Exhibit A**

11-27-328-004	11-27-400-009	11-34-128-010
11-27-328-005	11-27-400-010	11-34-128-011
11-27-328-006	11-27-400-011	11-34-128-014
11-27-328-011	11-27-400-012	11-34-128-017
11-27-328-012	11-27-400-013	11-34-128-021
11-27-328-013	11-27-400-014	11-34-128-022
11-27-328-014	11-27-400-015	11-34-128-023
11-27-377-002	11-27-400-016	11-34-128-024
11-27-377-003	11-27-400-017	11-34-128-025
11-27-377-004	11-27-400-018	11-34-201-001
11-27-377-005	11-27-400-019	11-34-201-002
11-27-377-006	11-27-400-020	11-34-201-003
11-27-377-007	11-27-400-021	11-34-201-004
11-27-377-008	11-27-400-022	11-34-201-005
11-27-377-009	11-27-400-025	11-34-201-006
11-27-377-010	11-27-400-027	11-34-201-017
11-27-377-011	11-34-128-001	
11-27-377-012	11-34-128-002	
11-27-377-013	11-34-128-004	
11-27-377-014	11-34-128-005	
11-27-377-015	11-34-128-006	
11-27-377-016	11-34-128-007	
11-27-377-017	11-34-128-008	
11-27-377-021	11-34-128-009	





## Memorandum

To: Board of Trustees  
From: Elizabeth J Corwin, PE, AIPC; Planning Director  
Date: September 4, 2024  
Re: URSA 24-04/SPR 24-05  
Applicant and Property Owner: Tarek Gayar, G&G Investments, LLC  
394 N Milford  
PIN 11-22-376-008

---

The project before you is for Special Approval of Land Use to establish a gas station at the SE Corner of M-59 and Milford Road at the former site of a Marathon Gas Station.

The Planning Commission reviewed the request at a public hearing held August 1, 2024. The only comments came from the owners of the neighboring Wee Friends childcare center, who had specific concerns about whether groundwater contamination would continue to be monitored, and the integrity of the fencing/landscaping at the shared border. The Planning Commission recommended Special Approval of the Land Use for a gas station, subject to conditions including modifications of the landscaping plan, the architectural character of the façade (for greater compliance with Highland Station design guidelines), limits to the hours of operation and some internal traffic circulation patterns.

In the Planning Commission record, you will find the review letter from Carlisle-Wortman Associates which leads you through the analysis of whether the proposal meets the standards of approval for a Special Land Use Approval. This letter also addresses issues that relate to the details of site plan approval, which is not yet granted by the Planning Commission. The applicant has resubmitted the site plan for review, which is scheduled for consideration at the September 5<sup>th</sup> Planning Commission meeting. The resubmitted plans, which have not been reviewed, are at the back of your packet. The applicant still owes the Planning Commission details of the canopy.

There are also a couple of ordinance issues for the Planning Commission to address, whether that be to amend



the ordinance due to calibration issues in the Highland Station District or direct the applicant to modify the plans or seek a variance.

Please review the record the Planning Commission meeting and the consultant's report. The primary issue for your discussion will likely be whether the proposed renderings conform to the character of the Highland Station District, and whether the traffic patterns are acceptable.

Your possible actions could be:

MOTION TO APPROVE: Move to approve Special Land Use URSA 24-04 for a gas station/convenience store at 394 N. Milford Road, parcel 11-22-376-009 based on a site plan prepared by Zia-Al-Baba Engineering, dated June 27, 2024 and subject to conditions included in the motion of recommendation for approval by the Planning Commission on August 1, 2024, the recommendations of Carlisle-Wortman and further based on the Board's finding that the proposed plan conforms with the required standards of approval under Section 6.03H of the Zoning Ordinance.

*If the Board wishes to add or modify the recommended conditions of approval, those should be specifically detailed in the motion.*

MOTION TO POSTPONE: Move to postpone a decision on Special Land Use URSA 24-04 for a gas station/convenience store at 394 N. Milford Road, parcel 11-22-376-009 until \_\_\_\_\_ to allow \_\_\_\_\_ to provide \_\_\_\_\_ to address \_\_\_\_\_.

*If the Board wishes to postpone, it should be based for information to address a specific concern. If you can identify who should provide that information (whether that be staff or the applicant) that should be included as well.*

MOTION TO APPROVE: Move to approve Special Land Use URSA 24-04 for a gas station/convenience store at 394 N. Milford Road, parcel 11-22-376-009 based on the Board's finding that the proposed plan as presented does not conform with the required standards of approval under Section 6.03H of the Zoning Ordinance, specifically

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*If the Board wishes to deny, despite the Planning Commission and Consultant recommendations, the reason should be clearly delineated and tied back to one or more of the standards of approval for Special Land Use.*

RECORD OF THE PLANNING COMMISSION  
PUBLIC HEARING

**Agenda Item #2:**

Parcel # 11-22-376-009  
Zoning: HS- Highland Station Business District  
Address: 394 N Milford  
File#: URSA 24-04  
Request: Use Requiring Special Approval for gas station  
Applicant: Tarek Gayer, G&G Investments, LLC  
Owner: G&G Investments, LLC

Mr. Charlick invited the applicant to explain his proposal.

Mr. Tarek Gayar of G&G Investments explained that he is proposing a new gas station at the southeast corner of Highland Road and North Milford Road, on the site of the former Marathon gas station. This will be a 4 dispenser facility, under a canopy with a small retail building offering convenience food sales. The project satisfies Oakland County Health Division requirements for a septic system and will be served by municipal water. He has also received feedback from the Michigan Department of Transportation regarding his driveway on Highland Road.

Mr. Charlick noted that this is not proposed as a 24-hour operation. Mr. Gayar explained that hours will be limited to 6:00 am to midnight, perhaps 11:00 p.m. on the weekdays.

Mr. Charlick opened the public hearing at 8:36 p.m.

Mr. Larry Williams, 3900 Pepperidge, White Lake and owner of the Wee Friends Child Care Center at 105 E Ruggles, which shares a boundary line with the subject parcel. Mr. Williams asked for an explanation of the provisions to protect from another accidental spill at the new gas station.

Mr. Gayar explained that modern standards require double wall containment of all underground components, as well as sensors under dispensers, automatic shutoffs for the pumps and alarms. He noted that these engineering controls are required by law, and there is no room for error. He noted that he has developed gas stations for over 10 years and have had no accidental spills. He also noted that there is a significant financial liability insurance requirement.

Laura Palmer, also with Wee Friends, asked whether there will be continued testing of the monitor wells installed after the Marathon Oil leak was detected. Mr. Gayar replied that there would be continued monitoring and that he had done due diligence to assure himself that he would not be placed at jeopardy for reusing this site. He noted that there are strict reporting requirements for the operators to the State to demonstrate that there is no loss of product.

Mr. Charlick closed the public hearing at 8:45 p.m.

Ms. Corwin noted that there was no correspondence from the public to enter the record. There are review memos from the Fire Marshall, Carlisle-Wortman and Hubbell, Roth and Clark.

Mr. O'Leary asked if stormwater management is required in the Highland Station District. Ms. Corwin noted that there will be stormwater management, but that preference is given to low impact design standards. She noted that in these small infill sites, the Township must accommodate some creative solutions such as underground basins. She noted that Hubbell, Roth & Clark had reviewed the site enough that they believe a solution can be devised.

Mr. Charlick asked about the status of the recent ordinance amendments that would permit the gas station as a special use. Ms. Corwin noted that the amendments had been adopted by the Board and circulated to the Planning Commission prior to the meeting.

She noted that the Supervisor, who is a member of the Highland Downtown Development Authority design committee had reviewed the drawings briefly today, and suggested that alternative materials, such as horizontal siding and residential scale windows would be more appropriate. She also noted that the canopy exceeds 18 feet and would require a finding from the Planning Commission that the excess height is justified by a design element such as wrapping the canopy posts in similar materials as the building or a special roof design.

Mr. O'Leary noted that the façade uses utility scale brick, which is a relatively modern development. He noted that this is not historically appropriate and suggested other materials should be considered. Mr. Gayar agreed that he could consider other models he has used with cement board siding, such as is employed in the Township Hall.

Mr. Charlick spoke about the traffic patterns, recalling how the site operated in the past and the issues with the Milford Road driveway. He noted that the site will not have easy access to and from all directions. Mr. York asked about left turns into and out of the Milford Road driveway, which would have the potential to back up traffic into the nearby intersection. Mr. Gayar explained that he has not approached the Road Commission for Oakland County for approval of the driveways. He was also concerned about the turning movements of tanker trucks, which must drive under the canopy to access Milford Road. It did not appear there would be room to square the truck to turn north. He commented that the site was very tight, and he was not confident that the traffic conflicts would not be a serious issue.

Mr. Charlick asked if the pumps could be pushed further east on the site. Mr. Gayar said the septic system requirements pose a constraint. He believed there was room for maneuvering. Mr. York suggested the delivery company be given an opportunity for input. Mr. Gayar stated that fuel deliveries can be scheduled for non-peak traffic hours, and that delivery trucks would wait until customer traffic cleared to position themselves under the canopy. Mr. York suggested that the Planning Commission could condition site plan approval upon limiting deliveries to after midnight.

Mr. York was also concerned about the number of customer parking spaces and the limits of space for queuing cars at the pump. He noted that industry wide, customer traffic is down 70 percent from pre-COVID levels but that he was confident this site would be an attractive business for the area and do well. He said each pump is capable of dispensing approximately 50,000 gallons of gas per month, but that he is expecting to sell about 75,000 gallons per month for the entire station. Mr. York asked if 8 pumps are necessary. Mr. Gayar explained it is for customer convenience during peak periods.

Mr. Tierney asked whether the Highland Road driveway could be centered on the site. Mr. Gayar explained that it is already optimally placed per MDOT requirement and that one driveway that Marathon previously used must be closed due to its proximity to the intersection.

Mr. York was concerned about the grading plan, noting that the back of the building is 4 feet lower than the existing contour at the property line. He saw that there was a large tree on the property line, that perhaps interfered with options for grading. He did wonder if a commercial fence should be installed on this lot line.

Ms. Palmer injected there is a scrubby Chinese Elm on the property line that should be removed, and that there was an aged fence that serves as a boundary for the outdoor playground and asked that some sort of fence be maintained at the south property line.

Chris Heyn noted that some sort of fence should be required on the commercial site plan, so that future owners are obligated to maintain a fence.

Mr. York asked if the nature of the takeout had been determined. Mr. Gayar noted that he has not decided yet, but that the peak hour varies by the type of food served. Mr. York asked about the parking calculations in this case, whether the parking for the takeout is in addition to the gas station. Ms. Corwin explained that the gas station parking requirements presume a convenience retail or food service, but that the standard of one space per 150 square feet in our current ordinance exceeds what would be required of retail or a restaurant at one space per 200 square feet. She reminded the Planning Commissioners that the last gas station site plan they had reviewed included a second parking lot sort of removed from the building and seemed as if though it was unlikely to be used. She thought the Planning Commission should study those requirements and decide if the parking standard should be brought in line with other retail uses so that we did not end up with an “overparking” scenario as that creates different problems. She noted that Mr. Gayar’s site plan does not meet the one space per 150 square feet standard.

Ms. Corwin noted there is similarly an issue with the maximum lot coverage. Given the lot sizes in this district, 20 percent seems much too restrictive. For example, a residential property in the Lakes and Villages District would be allowed 35 to 40 percent coverage. Ms. Corwin explained that our ordinance counts only roofs and decks, not all impervious areas. The Highland Station District ordinance has never been applied to a vacant site. Ms. Corwin is convinced that the lot coverage is not properly calibrated to the typical lots size and that an ordinance amendment is necessary for this issue. The parking issue requires further consideration. This site shows 24 percent coverage per the Ordinance definition.

Mr. York suggested the takeout be placed on the west side of the building to support neighborhood traffic and wondered if a walk up take out window should be considered with seating for pedestrians. He suggested that the sidewalks should be extended onto the site rather than make pedestrians walk up driveways. He reminded the applicant that the intent of the Highland Station District is to promote a pedestrian-friendly downtown atmosphere.

Mr. York asked if it was acceptable to have a passive use of the septic area, such as seating. Ms. Corwin noted that this has been allowed in the past, but that one would not want to promote vehicle traffic or other compacting activities.

Mr. Charlick noted that there was a photometric plan and reminded the applicant that even though the photometrics show acceptable levels at the property lines, the lighting fixtures must also be fully shielded, downward directed in compliance with the ordinance.

Mr. Charlick offered the following motion: To recommend approval of the special land use permit, URSA 24-04, for a gas station in the Highland Station Business District, 394 N Milford Road, Parcel 11-22-376-009, based on the site plan by Ziad Al-Baba Engineering, dated June 27, 2024 with the following conditions: a) the canopy must be modified with architectural features to qualify for consideration of a greater height than 18 feet; b) Landscape features shall be modified to utilize greater variety of trees and consider canopy trees along right-of-way c) the internal traffic circulation should be refined to improve traffic flow; d) grading agreements must be obtained for any offsite grading on the south or east property lines e) consideration of utilizing horizontal siding and other architectural features to improve compliance with the Highland Station Design Guidelines, f) hours of operation limited to 6 am to 12 midnight g) reasonable screening between the gas station and the child care center to the south. This motion is based on the Planning Commission’s review and consideration and recommendations of Carlisle-Wortman Associates for conformance with the required standards of approval under Section 6.03H of the Zoning Ordinance. Mr. Heyn supported the motion. Vote: Temple, yes; Tierney, yes; Smith, yes; Charlick, yes; Heyn, yes; O’Leary, yes. Motion carried (6 yes votes, 0 no votes).

**Agenda Item #4:**

Parcel # 11-22-376-009  
Zoning: HS- Highland Station Business District  
Address: 394 N Milford  
File#: SPR 24-05  
Request: Site Plan Review  
Applicant: Tarek Gayer, G&G Investments, LLC  
Owner: G&G Investments, LLC

Mr. Charlick moved to table the site plan review. Mr. O’Leary supported the motion. Vote: Temple, yes; Tierney, yes; Smith, yes; Charlick, yes; Heyn, yes; O’Leary, yes. Motion carried (6 yes votes, 0 no votes).

**Agenda Item #6:**

Parcel # 11-22-176-016  
Zoning: IM – Industrial Manufacturing  
Address: 828 N Milford  
File#: SPR 24-07  
Request: Site Plan Review  
Applicant: Deanna & Juan Bueno  
Owner: Beuno Investment Group, LLC

Mr. Charlick invited the applicant to explain the proposal. Mr. Brad Thompson, BF Thompson, PC explained that the site had been partially developed by Synergy Electric under an approved site plan, although that work had never been fully completed. The proposal is for a less intense use to support Ms. Bueno’s taco cart business and Mr. Bueno’s security business. The pole barn is notably smaller than that originally approved.

Ms. Bueno explained that the taco carts are stored onsite, but she tows them to event locations. Everything used for events is disposable, and the carts are stored onsite empty and clean. There are currently 4 carts, and she hopes to add a 5<sup>th</sup> cart.

Synergy had completed the drainage system improvements, but had brought in asphalt millings and compacted them, whereas the plan originally called for hot mix pavement. There is a drainage structure that needs a casting. A second structure needs to be adjusted for grade. There is no as-built drawing of the storm sewer currently. Other adjustments may be needed before paving.

The proposal calls for completing a small parking lot on the west side of the residential building, with the hope to display a cart when weather permits. The driveway approach and all pavement west of the house would have new asphalt paving with the appropriate cross-section. The applicant would like to continue to use the asphalt millings at the east side of the house for those areas which are used for cart storage and employee parking. These areas are not necessarily open to the public.

The house includes an office space for the security business, but the rest of the house will be rented out as a “watchman’s dwelling.” The Fire Marshal has already inspected the house for entry into the Township rental program.

Mr. O’Leary asked for clarification that there would be no new buildings. Mr. Thompson explained that the shed that sits east of the south now may be sitting on the septic system and does not comply with the setbacks. The shed will be moved east of the barn. There was a side yard setback variance granted for the pole barn.



## Memorandum

To: Planning Commission Members  
From: Elizabeth J Corwin, PE, AIPC; Planning Director  
Date: July 26, 2024  
Re: URSA 24-04/SPR 24-05  
Applicant and Property Owner: Tarek Gayar, G&G Investments, LLC  
394 N Milford  
PIN 11-22-376-008

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The project before you is for redevelopment of the former Marathon Gas Station site at 394 N Milford Road. Although this is a former gas station, the use as a gas station is not assured, but rather requires the Special Approval of the Board of Trustees, based on the standards of review for such uses included in Section 6.03 of the Zoning Ordinance. Ms. Masson-Minock is preparing an analysis of the use and its conformance with the standards. My purpose in this memorandum is to provide some additional background information I think will be useful in your review.

This site is located in the Highland Station Business District. As you know, we recently drafted an ordinance amendment for Board approval to allow gas stations on highway-fronted parcels in the district. I have attached the adopted ordinance for your use, since it has not yet been incorporated into the municode website.

The site is environmentally cleared for redevelopment as a gas station, subject to some design considerations enumerated in deed restrictions (such as use of vapor barriers and requirements for handling onsite soils.) It cannot be used for residential purposes.

Staff provided the plans to the Highland Downtown Development Design Committee for review and comment. They are satisfied that the plans are consistent with the character illustrated in their design guidelines and Master Plan and support the project. You should also review the design guidelines to determine whether you agree with that conclusion. Those documents were provided earlier this summer and can be found online under the document center (Plans & Studies)





[https://highlandtwp.net/index.php?option=com\\_content&view=article&id=151&catid=2&Itemid=1856](https://highlandtwp.net/index.php?option=com_content&view=article&id=151&catid=2&Itemid=1856)

As you may know, the site is served by municipal water but must be served by an onsite sewage disposal system. As part of the Marathon site cleanup, water has already been extended to all of the immediate neighbors, including the Wee Friends Child Care center, and residential parcels on Ruggles and St. John. The limitations of the septic system on this small site will limit the intensity of the food handling activity, so the expectation would be that this will be mostly convenience, packaged food sales.

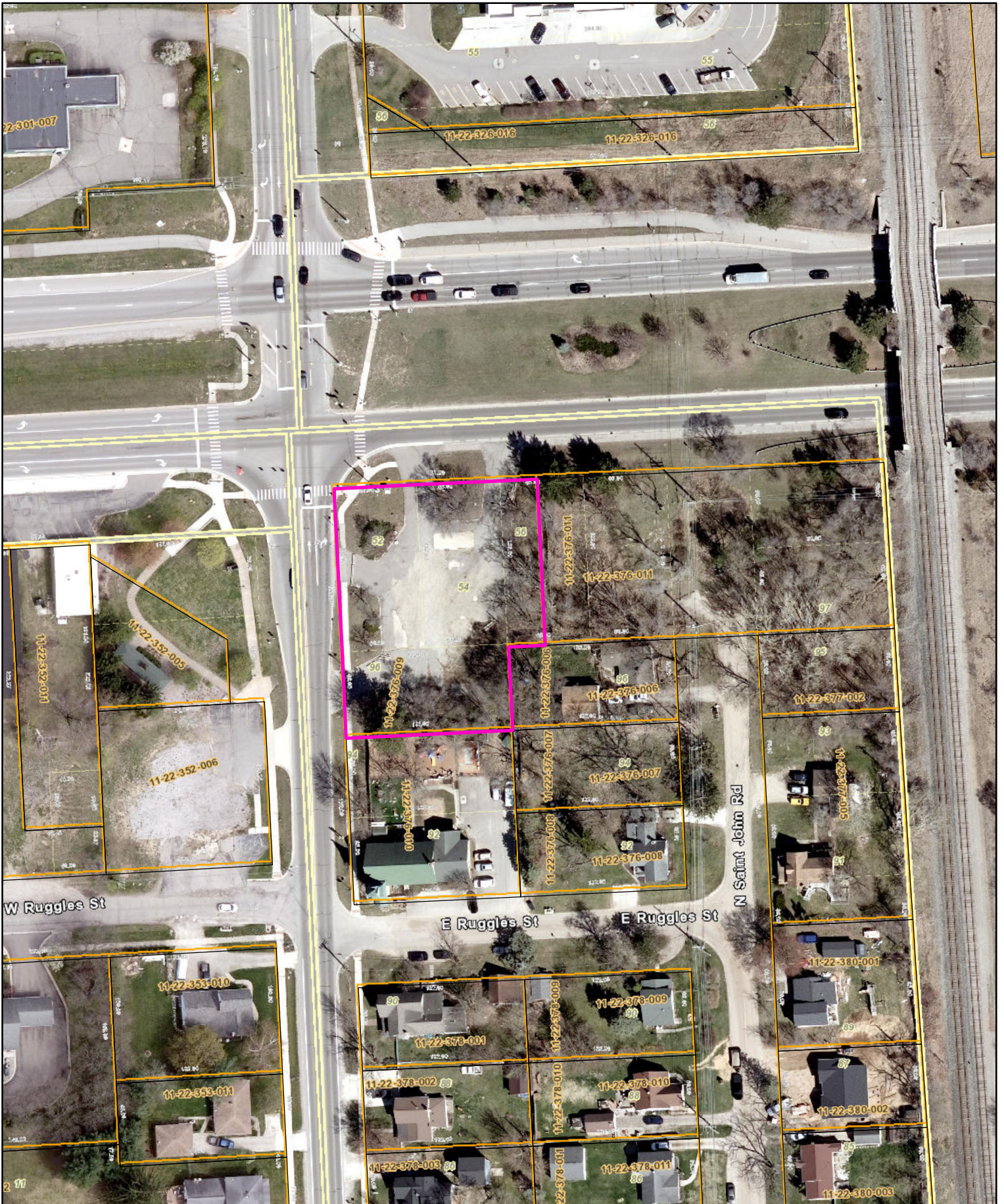
The Fire Marshal and Township Engineer have reviewed the plans and are satisfied with the design concepts presented. The plans received a cursory initial review from both the Road Commission for Oakland County and MDOT, and their initial comments assisted the designer in refining the plans as presented to you. Access to this corner has some challenges, so the driveways have been pushed as far from the intersections as reasonable. Given that M-59 has a divided highway cross section at this location, turns will be limited to right turns in and out of the site.

Staff also notes that the minimum requirements for a site plan review have been provided, including a landscaping plan, sidewalks, lighting and photometrics, and utility plans, which would be acceptable for a thorough site plan review by the Planning Commission.





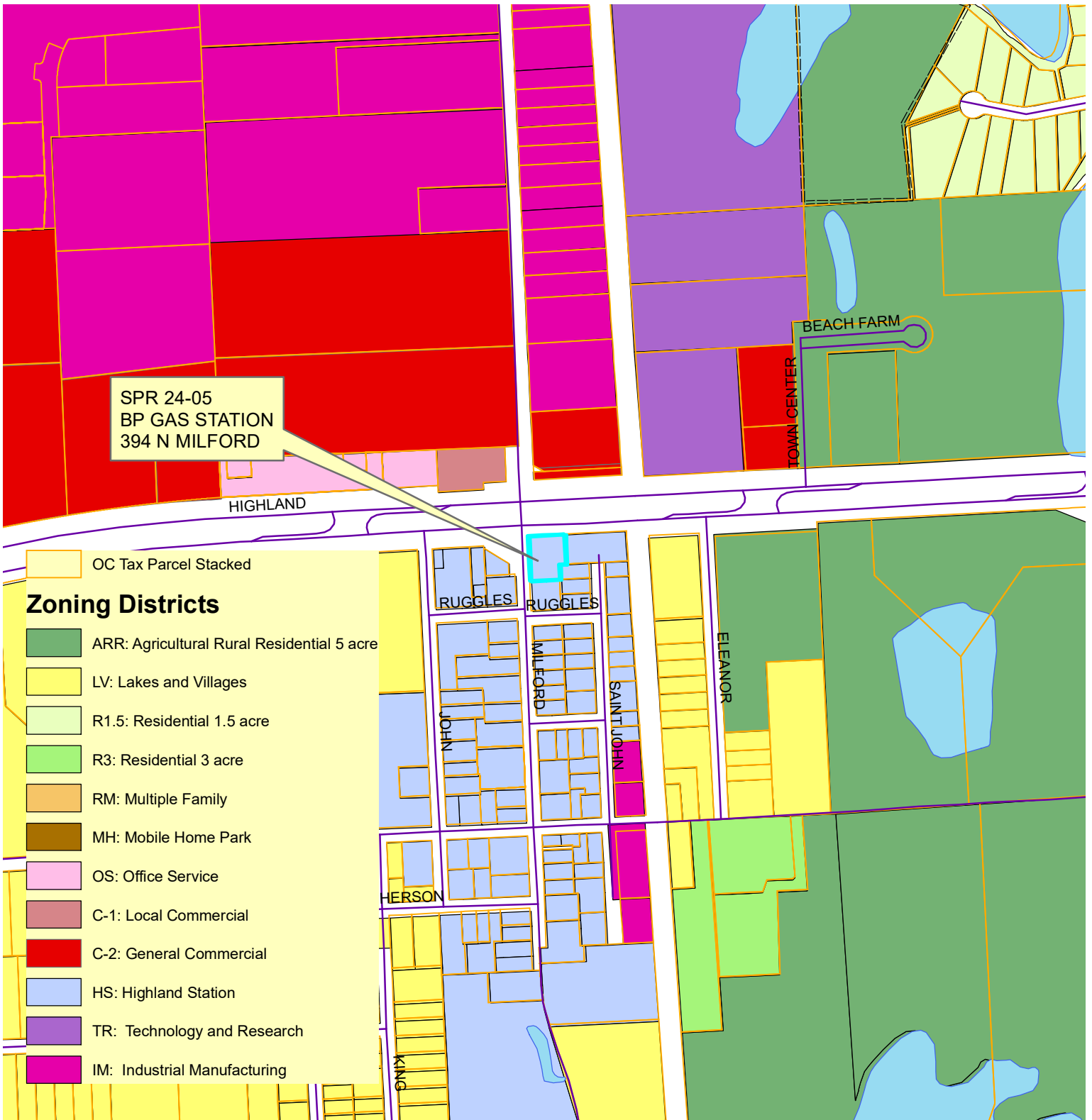
SPR 24-05 HIGHLAND BP STATION  
394 N MILFORD



110 55 0 110 Feet



# CHARTER TOWNSHIP OF HIGHLAND ZONING MAP



ENACTED: November 18, 2010



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: July 26, 2024

## Special Land Use Review For Highland Township, Michigan

<b>Applicant:</b>	G & G Investments LLC
<b>Project Name:</b>	Highland BP Gas Station
<b>Plan Date:</b>	June 27, 2024
<b>Location:</b>	394 N Milford Road Parcel #11-22-376-009 Corner of E Highland Road and N Milford Road
<b>Zoning:</b>	Highland Station (HS)
<b>Action Requested:</b>	Special Land Use Approval

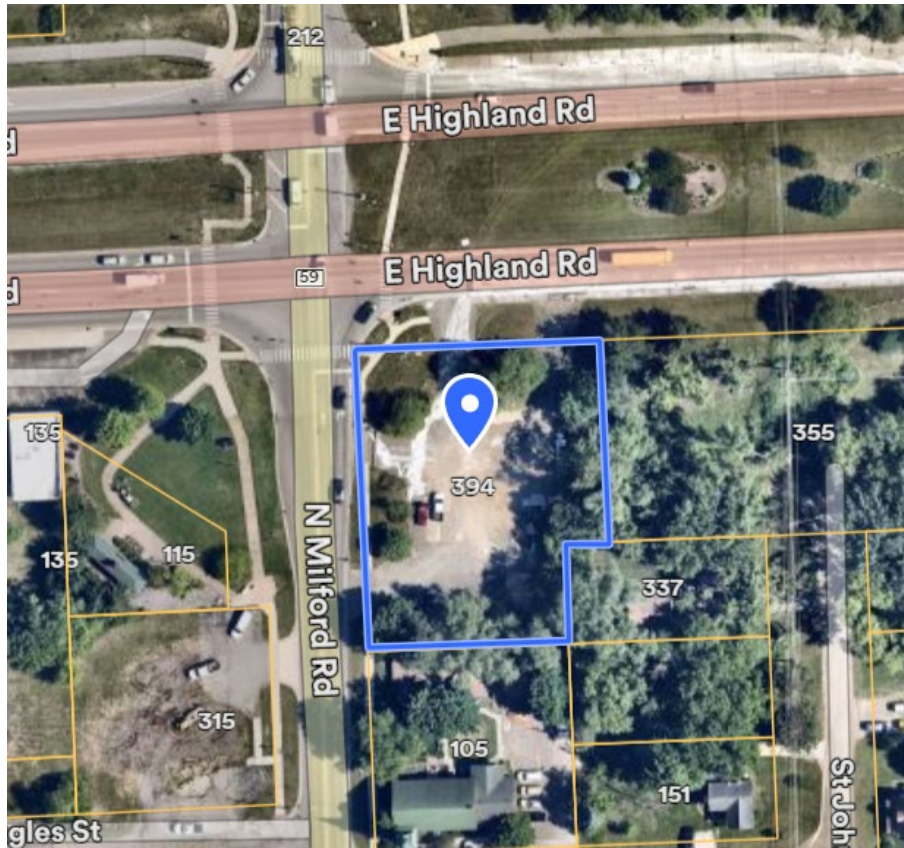
### PROJECT AND SITE DESCRIPTION

The applicant has submitted a preliminary site plan dated June 27, 2024, that proposes a BP Gas station at 394 W Milford Road (#11-22-376-009) at the corner of E Highland Road and N Milford Road. The submitted plans propose a 3,000 square foot building and four (4) fuel dispensers covered by a canopy.

The site is currently vacant and virtually all concrete with an increase in topography at the east property line. The parcel is the former site of a gas station and currently has four (4) points of entry, two (2) on Milford Road and two (2) on E. Highland Road. In the submitted plans, access is proposed to be reduced to one (1) point of entry on each street. The one-story building is proposed to be placed at the parcel's southern boundary line. The proposed gas station is permitted as a special land use in the Highland Station Zoning District.

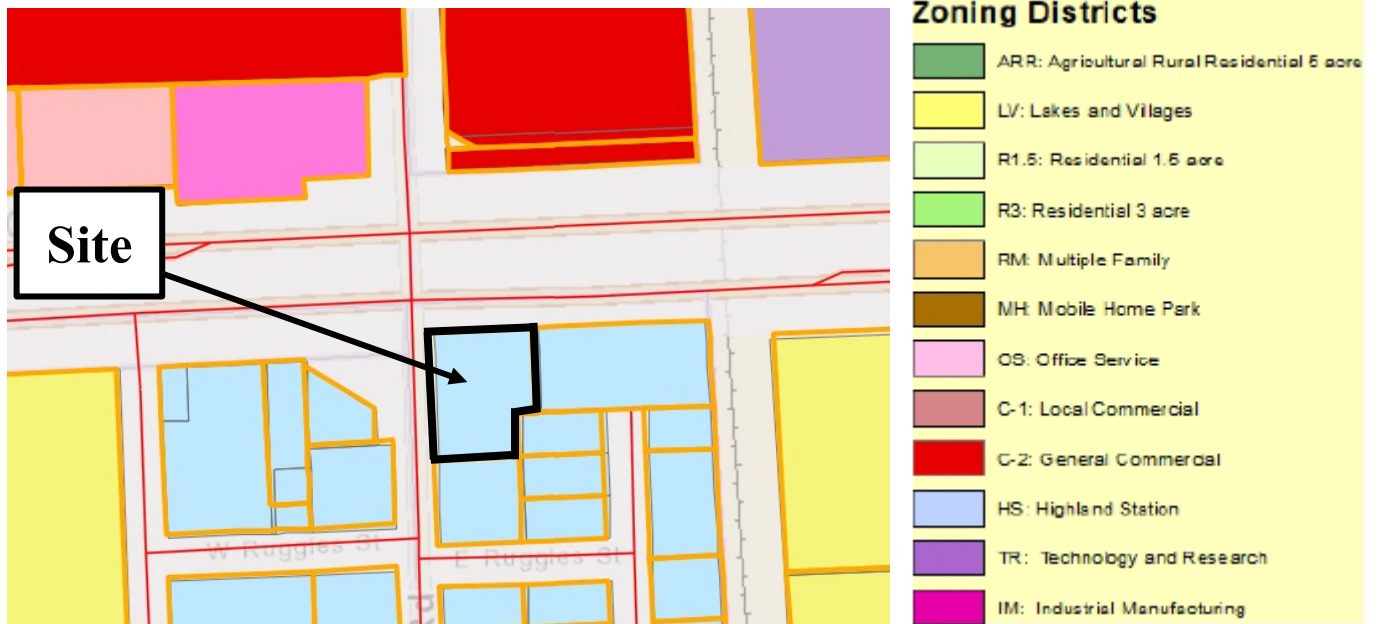
Benjamin R. Carlisle, *President* John L. Enos, *Vice President* Douglas J. Lewan, *Principal*  
David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal* Craig Strong, *Principal*  
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Principal*  
Richard K. Carlisle, *Past President/Senior Principal*

**Figure 1. Aerial Image of Subject Site and Vicinity**



Source: NearMap

**Figure 2. Zoning Map**



The intent of the Highland Station District is:

*“To provide a lively, inviting and identifiable community core in Highland Township. It is envisioned that this zoning district would permit residential, commercial and public land uses in a walkable environment. Other elements are intended to further enhance the district such as streetscape features, public open space amenities and architectural character.*

*Development patterns shall be guided by the Historic Highland Station Master Plan adopted by the Planning Commission on March 6, 2008, the Historic Highland Station Design Guidelines adopted by the Planning Commission on October 16, 2008, and other guidance documents that might be adopted by resolution of the Planning Commission. The Planning Commission and/or Planning staff will seek the recommendation of the Highland Downtown Development Authority when reviewing site plans and/or permit applications.*

*The Objectives include the Design Goals listed in the Historic HS Design Guidelines, Page 1 of the Introduction, and the following:*

- 1. Provide a mix of housing types, costs and ownership opportunities.*
- 2. Provide site design flexibility to encourage shared site improvements and cross access through a series of marginal access driveways and pathways.*
- 3. Promote site design characteristics that encourage greater pedestrian traffic, and reinforce pedestrian safety, comfort and convenience.*
- 4. Provide pathways for pedestrians, cyclists and equestrians that include linkages to neighborhoods and developments outside the core area of Highland Station.*

**Items to be Addressed: None.**

## NEIGHBORING ZONING, LAND USE AND MASTER PLAN

Table 1 lists the existing land use, zoning, and master plan future land use designations of the subject site and neighboring properties. Figure 3 shows the land use designations for the subject site and surrounding properties from the Future Land Use Map last updated on September 9, 2021.

**Table 1. Existing Land Use, Zoning Districts, and Future Land Use Designations**

	Existing Land Use	Zoning	Future
Subject Site	Vacant	Highland Station (HS)	Highland Station (HS)

	Existing Land Use	Zoning	Future
North	M-59 McDonald's	General Commercial (C-2)	General Commercial (C-2)
South	Child Care Center	Highland Station (HS)	Highland Station (HS)
East	E Highland Rd: Vacant N Saint John: Residential	Highland Station (HS)	Highland Station (HS)
West	T-Mobile	Highland Station (HS)	Highland Station (HS)

**Figure 3. Future Land Use Map**



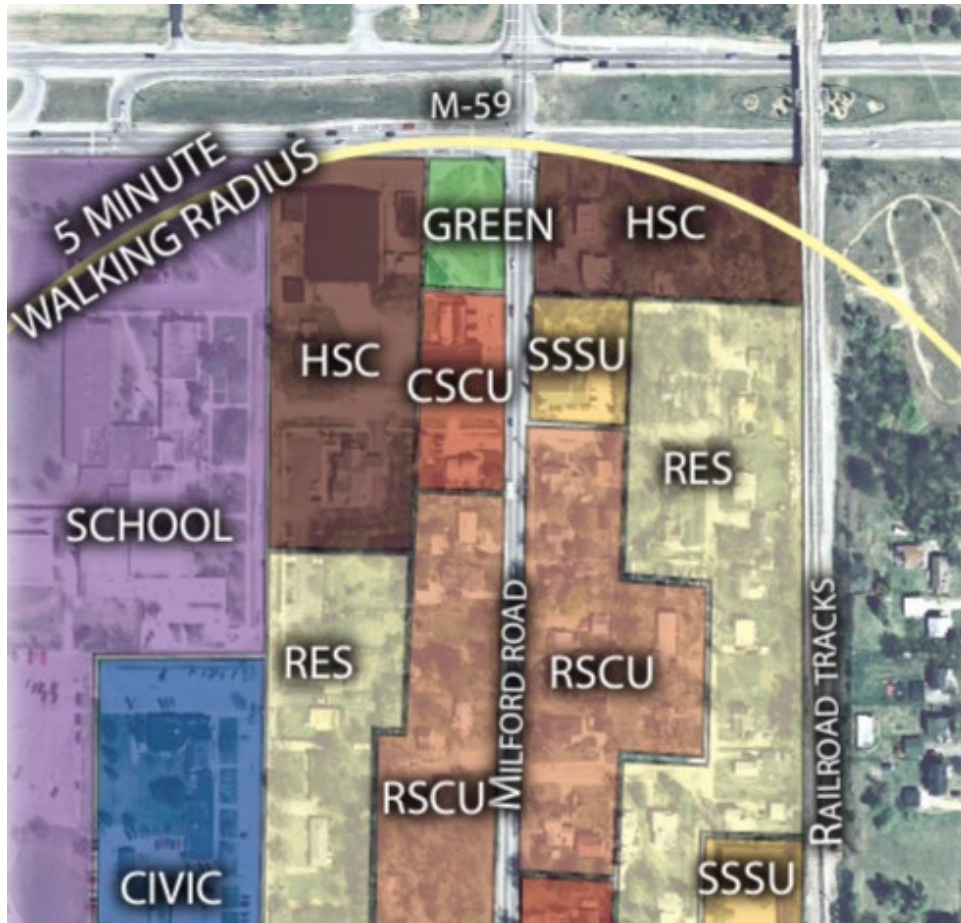
**HISTORIC HIGHLAND STATION PLAN AND DESIGN GUIDELINES**

The Historic Highland Station Master Plan of 2008 designates the site as Highland Station Commercial (HSC) which refers to commercial uses oriented towards M-59 or where larger sites suggest greater parking intensity. HSC sites are meant to have a style distinct from that within Highland station but are to still refer to the town’s spirit and differentiate themselves from other developments along the highway. Examples of this type of designation include restaurants and gas stations. As Highland Station makes changes to its infrastructure and densities increase, it is critical to carefully plan the layout of Milford Road. Sidewalks, boulevards, parking, drive lanes, utilities, intersections, and driveways must all Be coordinated to function properly while



maintaining the Highland Station aesthetic. Figure 4 below shows the site's designation and the surrounding five (5) minute walking radius.

**Figure 4. Highland Station Framework**



*Source: Historic Highland Station Master Plan of 2008*

New construction within the HSC District is encouraged to focus on including decorative exterior millwork, pedestrian scaled openings, interesting and special building entries, vertically oriented windows, and the combination of traditional and 21st Century forms. Pedestrian accessibility is encouraged and can be achieved through providing overhead protection such as awnings, providing attractive rear and front entryways, and including appropriate façade and eave lighting.

The plan indicates that preferred landscaping locations include the entries of buildings, along long runs of walls and edges or corners, along pedestrian connections and thoroughfares, and as screening of utilities and trash enclosures.

Additionally, it is recommended that commercial sites avoid using bollard lights, colored floodlights and tree lights outside of holiday season, and lights as an attractive feature on the



structure. Rather, lighting for this site should consider security and safety and implore simplistic forms that are proportionate to the structure with balanced placement and compatible colors.

**Items to be Addressed:** None.

**AREA, WIDTH, HEIGHT, SETBACKS**

The table summarizes the Coverage, Placement, and Height Regulations for the site plan associated with the use. The proposed structures do not appear to meet all of the dimensional regulations in the Zoning Ordinance.

**Table 2. Coverage, Placement, and Height Regulations**

	<b>Required</b>	<b>Provided</b>
<b>Maximum Lot Coverage</b>	20%	70%
<b>Minimum Front Setback</b>	Planning Commission Determination	M-59: 116 feet 8 inches N Milford: 20 feet
<b>Minimum Side Setback</b>	Planning Commission Determination	East Lot Line: 28 feet 8 inches South Lot Line: 10 feet
<b>Maximum Building Height</b>	2 Stories or 28 Feet Canopy Cover 18 Feet	15 Feet Not Provided

The Planning Commission approves setbacks in the Highland Station Zoning District. In making the determinations on setbacks, the Planning Commission shall consider the following factors:

1. The character of the development.
2. The dimensions of the front, side and rear setbacks being similar to the setbacks of similarly sized parcels within two hundred (200) feet.
3. Accessibility to the front, side or rear yards by pedestrians, visitors' vehicles, and emergency vehicles which shall be accommodated on either the subject parcel itself or in conjunction with one or more adjacent parcels.
4. Required front, side and rear yards shall be unobstructed from the ground level to the sky, except by natural vegetation and by specifically permitted accessory uses and facilities as follows:
  - a. Signs as set forth in Section 9.05.H, Signs Permitted in the Highland Station District.
  - b. Fences as set forth in Section 9.05.F, Fence Standards.
  - c. Exterior lighting as set forth in Section 9.05.G, Lighting Standards.

- d. Accessory structures and uses as set forth in Section 8.03, Accessory Structures and Uses.
- e. Site furnishings, including but not limited to, litter containers, benches, bike racks and other street furniture for public use as recommended by the Highland Township Downtown Development Authority (HDDA).

**Items to be Addressed:** 1) Planning Commission to determine appropriate front and side setbacks. 2) Applicant to provide canopy height. 3) Applicant shall apply for a variance or reduce lot coverage to the maximum 20%.

### BUILDING LOCATION AND SITE ARRANGEMENT

The facility will be accessible from Highland Road (M-59) and N Milford Road. The plan includes the creation of a 3,000 square foot building, 7,195 square feet of landscaping, fifteen (15) parking spaces, a septic field on the Eastern side of the parcel and two (2) underground fuel storage tanks.

**Items to be Addressed:** None.

### PARKING, LOADING

Per Section 11.02, vehicle fueling stations require 1 space for each 125 square feet of net floor area, plus 2 parking spaces per fueling station. The proposed building is 3,000 square feet and four (4) fuel pumps. Therefore, the required parking for the site is 32 spaces ( $3,000/125=24$ ,  $4 \times 2=8$ ). The plan proposes fifteen (15) marked parking spaces with eight (8) spaces available under the canopy.

**Items to be Addressed:** Compliance with minimum parking requirements.

### FENCING

The applicant has not proposed fencing at the site but has provided a landscape buffer including eleven (11) trees. The Planning Commission shall determine if a visual screen of six (6) feet is required between uses and whether it is to be a landscape buffer.

We highly recommend a visual screening wall at the southern property line that borders a childcare facility play area and at the southeast property line to screen from the nearby residential use in order to limit exposure to noise and litter.

**Items to be Addressed:** 1) Planning Commission to decide if a visual screen between uses is necessary. 2) Planning Commission to determine the type of visual screen if deemed necessary.

## SITE ACCESS AND CIRCULATION

The applicant provided a vehicle circulation plan on Sheet SP-3, which demonstrates vehicular traffic flow. We defer to Engineering and the Fire Chief for further consideration.

The Highland Station District requires that the parking and circulation system within each development shall accommodate the movement of vehicles, bicycles, pedestrians and transit throughout the proposed development and to and from surrounding areas, safely and conveniently, and shall contribute to the attractiveness of the development. The on-site pedestrian system must provide continuity, street crossings, visual interest and security as determined by the Planning Commission.

The Planning Commission shall determine if the site is appropriately designed for pedestrians at a scale relative to street access and sidewalks while being convenient and safe for pedestrians to access the public sidewalk and all building entrances. The applicant has proposed a possible sidewalk extension at the northern property line bordering M-59. We recommend that the Planning Commission require the proposed sidewalk extension with appropriate lighting.

***Items to be Addressed:*** *Planning Commission to determine the size, type and location of paths in accordance with the Non-Motorized Pathway Master Plan.*

## NATURAL FEATURES

The parcel is currently vacant and is largely covered by concrete. The site appears to have a level topography with an increase in height near the eastern boundary line. There is a collection of trees along the eastern and southern boundary lines.

According to the EGLE wetlands mapper, the site does not appear to be located within a wetland. Additionally, the FEMA flood map service does not show the site being located within a floodplain.

***Items to be Addressed:*** *None.*

## LANDSCAPING

The applicant has provided a landscape plan which meets the Zoning Ordinance requirements with approval and determinations by the Planning Commission, as shown in Table 3.

**Table 3. Landscaping Requirements**

Landscaping Requirement	Required	Provided	Complies
<b>Screening Between Land Uses</b>	6 ft height visual screen (Section 12.04)	6 new conifer trees, 1 new deciduous tree, 5 existing deciduous trees (south)	Planning Commission to determine type conifer hedge, solid wall, or decorative fence
		3 existing deciduous trees (east)	
<b>Landscaping Adjacent to Public Rights-of-Way</b>	Landscaped berm, wall, or sufficient plantings (3 ft height) Section 12.05 (B)	2-foot high-opacity shrub row along M-59 side of lot (14 shrubs and 3 trees)	Does not Comply
<b>Greenbelts</b>	Planning Commission to determine width	Highland Road: 10 feet wide	Planning Commission Determination
	1 deciduous tree per 30 linear feet of frontage	Highland Road: $(126 / 30 = 4$ trees) 4 trees	Complies
N Milford Road: $(125 / 30 = 4$ trees) 4 trees			
<b>Site Landscaping</b>	15% of site area (3,658 sq ft or 0.084 acres) (Section 12.07)	Total Landscaped 5,550 sq ft (0.127 acres)	Complies
		North/West Front Yard: 1,460 sq ft	
		East Side Yard: 1,620 sq ft	
		South Side Yard: 2,470 sq ft	
<b>Parking Lot</b>	1 tree and 3 shrubs per 8 spaces ( $15/8 = 2$ trees, 6 shrubs)	3 trees 9 shrubs	Planning Commission decision on layout and location
<b>Screening of Trash Containers</b>	All sides screened with opaque fence or wall and gate (Section 12.09)	6 foot high walled enclosure with gate included	Complies

**Items to be Addressed:** 1) Planning Commission to determine greenbelt width. 2) Shrub row height to be increased to 3 feet.

## LIGHTING

A lighting plan has been provided on Sheet SP-6. A photometric plan indicates that the light levels at property lines are acceptable. Planned lighting includes wall mounted sconces, recessed, and top mounted fixtures with standard simple style casting with lunar optics.

We recommend the applicant provide visual details of lighting options in order for the Planning Commission to determine if the proposed lighting meets the Highland Station design criteria.

**Items to be Addressed:** Include visual details of proposed lighting.

## SIGNS

The site plan shows a freestanding sign in the northwest corner of the lot. The sign is described as a four (4) inch brick on an eight (8) inch block with four (4) inch horizontal brick to match the proposed building.

The brick base of the sign is three (3) feet high; the sign height is five (5) feet by nine (9) feet, with four (4) inch lettering proposed.

**Items to be Addressed:** None.

## FLOOR PLAN AND ELEVATIONS

Floor plan and elevation sheets have been included in the site plan on Sheets A-1 and A-2.

The Highland Station District requires that exterior materials shall be constructed of wood or synthetic materials fabricated to have the appearance and durability of clapboard wood siding. Other acceptable finish materials can include brick, cut stone, field stone, cast stone, or wood shakes with an opaque stain. The roof design shall be consistent with the architectural style of the building. Buildings shall be designed with pitched roofs or a decorative cornice. Rooftop mechanical equipment shall be screened from all views with screening features that are consistent with the architectural style of the main building.

The plans propose brick as the main material used with a stone face accent on each corner of the building. Large glass windows are proposed at the front of the building. The roof design is a standard shingle roof with plank siding.

**Items to be Addressed:** None.

## TRASH ENCLOSURE

The applicant has indicated that a garbage receptacle will be placed in the southeast corner of the property and is to be screened by a six (6) foot high brick enclosure. The enclosure is located away from public view.

**Items to be Addressed:** *None.*

## SPECIAL LAND USE STANDARDS

Section 6.03(H) lists the standards for all special land uses. Prior to making a recommendation to the Township Board, the Planning Commission must make a determination on the special land use based on these standards.

- 1. All special land uses shall be designed, located, planned and operated so that the public health, safety and welfare will be protected.**

**CWA COMMENTS:** This standard can be met as a gas station is an automobile intensive use that is oriented towards M-59 provided the Planning Commission feels the site lends to the town's spirit and differentiates from other developments along the highway. However, additional measures should be taken to ensure that the surrounding properties are not negatively impacted, such as landscaping and limitations on hours of operation.

- 2. The Special Land Use will be consistent with the stated intent of the zoning district.**

**CWA COMMENT:** The standard is met if the Planning Commission feels that construction of the gas station is compatible with the less intensive surrounding land uses.

Vehicular fueling stations are allowed as a special land use in the HSC zoning district along M-59, with the assumption that they could be compatible with the surrounding uses.

- 3. The proposed special land use shall be in general agreement with the Master Plan designation for the area where the use is proposed.**

**CWA COMMENTS:** The standard is met if the Planning Commission finds that the proposed construction along M-59 is in line with the Highland Station Guidelines and is unique in design.

- 4. All special land uses shall provide facilities for safe and convenient vehicular and pedestrian traffic, including but not limited to: turning movements, traffic flow, proximity and relationship to intersections, adequacy of sight distances, location and access of off-street parking, and provisions for pedestrian traffic.**

**CWA COMMENTS:** The standard can be met. We defer to Township staff, engineering, and Fire Department for comments. However, we note that the applicant has provided a vehicular traffic

plan and has proposed a potential sidewalk extension. We recommend that a sidewalk be required.

Additionally, the Planning Commission may require the applicant to submit a traffic impact analysis, per Section 11.03, if they feel that the information is needed to assess this standard.

- 5. All special land uses shall be designed, constructed and operated in a manner that prevents detrimental impacts to surrounding properties such as noise, dust, fumes, smoke, air, water, odor, light and/or vibration, etc. The special land use shall be designed, constructed and operated in a manner that does not detract from area aesthetics.**

**CWA COMMENTS:** The standard can be met with recommendations from the Planning Commission on appropriate screening between uses and layout of the site. The applicant should provide additional lighting details to ensure that excessive lighting does not spill onto neighboring properties.

- 6. The proposed special land use shall not unreasonably burden the capacity of public services and/or facilities.**

**CWA COMMENTS:** We defer to Township staff and engineering.

- 7. The proposed special land use shall comply with any specific standards set forth in Article 10, Supplemental Use Regulations, that are applicable to the use.**

**CWA COMMENTS:** Vehicular fueling stations are not listed in Article 10.

**Items to be Addressed:** *Planning Commission determination on whether the proposal meets the Special Land Use standards.*

## RECOMMENDATIONS

We recommend the following items be addressed by the applicant before the Planning Commission takes action:

1. Sheet SP-6 is revised to include specifications of proposed lighting.
2. Additional landscaping information as required by Section 12. 03 is provided on a revised landscaping plan.
3. Applicant increases parking to the required 32 spaces or seeks relief from this requirement.
4. The lot coverage is reduced to comply with the minimum of 20% or a variance is applied for.
5. The shrub row height increased to 3 feet.

At the time of site plan review, the Planning Commission will need to make the following determinations:

1. Planning Commission determination on screening requirements per Section 12.04.
2. Planning Commission to determine screening type conifer hedge, solid wall, or decorative fence.
3. Planning Commission to determine the size, type and location of paths in accordance with the Non-Motorized Pathway Master Plan.
4. Planning Commission to determine appropriate front and side setbacks.
5. Planning Commission to determine greenbelt width.

If the Planning Commission recommends approval, the Commission should make specific findings as to how the proposal meets the Special Land Use Standards. We recommend the Planning Commission consider including the following conditions:

1. Limitation on hours of operation.
2. Landscape screening of the adjacent residential and child care uses.
3. The owner/operator of the gas station provides proof and the amount of pollution liability coverage to the Township staff on an annual basis.
4. An agreement between the applicant and the Township, to be approved by the Township Attorney, be entered into that specifies the multiple step site plan process to be followed from preliminary site plan, to tentative approvals from all approving agencies prior to final site plan approval.

If the Planning Commission recommends denial, we recommend that the Planning Commission motion specify how the proposal does not meet the Special Land Use Standards or any other standards and requirements of the Township Zoning Ordinance.

Respectfully submitted,



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**CARLISLE/WORTMAN ASSOC., INC.**  
Megan Masson-Minock, AICP  
Principal



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**CARLISLE/WORTMAN ASSOC., INC.**  
Grayson Moore  
Community Planner





July 26, 2024

Highland Township  
205 North John Street  
Highland, MI 48357

Attn: Ms. Beth Corwin, P.E.  
Planning & Development Director

Re: Site Plan Review  
Highland BP Fuel Station  
Sidwell No. 11-22-376-009

Dear Ms. Corwin:

As requested, this office has reviewed the plans for the above-mentioned project as prepared by Ziad El-Baba Engineering (dated June 27, 2024). The proposed improvements include a new fuel station on a vacant lot at the corner of Highland Road and Milford Road. We have the following comments:

#### Water Supply

1. The plans do not show a water supply for the proposed site improvements. There is an existing water main on this site along N. Milford Road. This water main will need to be shown on the plans. Extension of this water main to the east property line may be required for future looping.

#### Wastewater Disposal

1. The plans indicate that a proposed septic system will provide wastewater disposal for this site. This will require the review and approval of the Oakland County Department of Environmental Health.

#### Storm Water Management

1. All proposed storm sewer improvements will need to be designed in accordance with Highland Township Engineering Design Standards.
2. Storm water detention will be required for this site.

#### Paving and Grading Improvements

1. The proposed paving and grading improvements will need to be designed in accordance with Highland Township Engineering Design Standards.
2. A permit from the Michigan Department of Transportation (MDOT) will be required for the proposed work within the Highland Road right-of-way (ROW). A permit from the Road Commission for Oakland County (RCOC) will be required for the proposed work within the N. Milford Road ROW.
3. Site circulation will need to be reviewed and approved by the Township Planner and Fire Department.

Soil Erosion Control

1. The Soil Erosion and sediment control plans will require the review and permitting of the Oakland County Water Resources Commission.

Summary

The items noted above will need to be addressed in future site plan submittals prior to our recommendation for site plan approval. This office is available to discuss any of these comments with the applicant prior to the site plan submittal. If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.



Michael P. Darga, P.E.

MPD/mpd

pc: Highland Township; R. Hamill  
HRC; R. Alix, File



## Charter Township of Highland - Fire Department

1600 W. Highland Rd.  
Highland, MI 48357  
(248)887-9050

Re:  
394 North Milford Rd.  
Highland, MI 48357

July 9<sup>th</sup>, 2024

To whom it may concern:

**Project Overview: This is the proposed site plan for a gas station /convenience store at 394 North Milford Rd.**

I have reviewed a site plan regarding a proposed gas station and convenience store at the above location.

All site concerns regarding fire department access have been addressed at this time. Building plans shall be submitted and evaluated regarding the use and further requirements. Copies of all plans shall be forwarded to the Department of Licensing & Regulatory Affairs Bureau of Fire Services Underground storage tanks division for approval.

*Review and approval by the Authority Having Jurisdiction shall not relieve the applicant of the responsibility of compliance with these codes.*

Please get in touch with me if you have any questions about this plan review report.

Respectfully submitted,

Shawn Bell  
Fire Marshal  
Highland Township Fire Department



DEPARTMENT OF LICENSING & REGULATORY AFFAIRS  
**BUREAU OF FIRE SERVICES**  
CONTACT PAGE

**Plan Review Division:**

The [Plan Review Division](#) performs plan reviews of all new construction, additions or renovations of state regulated facilities as well as provides formal training for the fire service and constituents in the interpretation of the fire safety rules. The Division also oversees the certification of certified firms and qualified persons.

- Telephone: (517) 241-8847

To release plans to a field inspector, please submit an inspection request [to: bfsinspectionrequest@michigan.gov](mailto:bfsinspectionrequest@michigan.gov).  
Note: [Inspections for nursing home](#) inspections are conducted by the [Bureau of Survey and Certification \(BSC\)](#)

Bureau of Fire Services does inspections for camps childcare/daycare and juvenile facilities inspections. You can contact us at [lara-BFS@michigan.gov](mailto:lara-BFS@michigan.gov).

**Storage Tank Section:**

The [Storage Tank Section](#) regulates both above and underground storage tanks, gas stations, trucking companies, generator tanks and any petroleum or hazardous substance tank over 110 gallons.

- Central Office Telephone: (517) 241-8847
- Billing & Invoices: Telephone: (517) 241-9486 / [blockj@michigan.gov](mailto:blockj@michigan.gov)
- Financial Responsibility: Telephone: (517) 335-7260 / [E-mail: brittenj2@michigan.gov](mailto:brittenj2@michigan.gov)
- Tank Registrations and Removals: Telephone: (517) 335-7210/ [E-mail: stewardj@michigan.gov](mailto:stewardj@michigan.gov)
- Plan Reviews, Site Assessments, Variance Requests & Product Approvals:
  - Telephone: (517) 335-2137
  - [E-mail: tannerj@michigan.gov](mailto:tannerj@michigan.gov)
- Regions 1 Field Office Telephone: (989) 385-1162
- Regions 2 Field Office Telephone: (906) 235-5096
- Reporting and Notification of Hazardous Material Incidents: [E-mail: lara-ust-ast@michigan.gov](mailto:lara-ust-ast@michigan.gov) / Phone: 800-292-4706 for the Department of Environmental Quality's Pollution Emergency Alerting System

Click [here](#) for an inspection region map.



**SPHINX PETROLEUM INC.**

24472 Northwestern Hwy. Southfield, MI 48075 Tel 248-355-5321 Fax 248-355-5921

To Whom It May Concern.

Ladies and Gentlemen

We are proposing to put together a BP gas station on the southeast corner of Highland Rd and Milford Rd. Where the former Marathon gas station used to be.

The station will have 4 fuel dispensers with the latest technology, covered by a canopy, and 3000 square feet of building with a food concept that does not have a drive-thru window. We are not planning to open 24 hours.

With a gabled roof building and some unique landscape design, we are hoping to add beauty to that corner.

We appreciate all the professional help and advice we received from the Highland Twp staffing. This guided us to address most of the concerns of MDOT, Oakland Co. Road Commission and Health Department.

Looking forward to being a part of the Highland Township community.

Sincerely;

Tarek Gayar  
G & G Investments LLC  
Sphinx Petroleum Inc.





- Site Plan Review
- Rezoning
- Use Requiring Special Approval
- Land Division
- Land Division & Combination
- Road Profile
- Other

**PLAN REVIEW APPLICATION**

Highland Township Planning Department, 205 N. John St, Highland, Michigan 48357 (248) 887-3791 Ext. 2

Date Filed: 7/2/24 Fee: 750 Escrow: 2500 Case Number: SPR 24-0105  
URSA 24-04

**NOTICE TO APPLICANT AND OWNER**

BY SIGNING THIS APPLICATION, THE APPLICANT AND OWNER ACKNOWLEDGE ONE OR THE OTHER OR BOTH ARE RESPONSIBLE FOR ALL APPLICATION AND CONSULTANT FEES THAT ARISE OUT OF THE REVIEW OF THIS REQUEST THE OWNER ALSO AUTHORIZES THE TOWNSHIP TO PLACE A SIGN ON THE PROPERTY, IF NECESSARY, TO INFORM THE PUBLIC OF THE PENDING MATTER BEING REQUESTED.

**REQUIRED COPIES OF PLANS**

*Receipt # 1.060285*

INITIAL REVIEW: 2 HARD COPIES OF PLANS AND .PDF COPY OF PLANS  
 CONSULTANTS REVIEW OF APPROVED PLANS SUBJECT TO CONDITIONS: 5 COPIES AND .PDF COPY

**1. APPLICANT INFORMATION**

NAME: G.D.G Investments LLC  
 ADDRESS: 24472 Northwestern Hwy  
Southfield MI 48075  
 PHONE: 248 722 6662  
 EMAIL: \_\_\_\_\_

**OWNER INFORMATION**

NAME: Tarek Gayar  
 ADDRESS: 1960 S. Hammon Lake Dr.  
Bloomfield Hills MI 48302  
 PHONE: 248 722 6660  
 EMAIL: Tgayar@gmail.com

**2. PROPERTY INFORMATION**

ADDRESS OR ADJACENT STREETS: N Milford @ Highland (M-59)  
 LOT WIDTH: 161 LOT DEPTH: 198 LOT AREA: \_\_\_\_\_  
 PARCEL IDENTIFICATION NUMBER(S): 11-22-376-009

**3. PROJECT INFORMATION**

PROJECT NAME: Highland BP  
 PRESENT ZONING: HS ZONING PROPOSED ZONING: HS ZONING  
 PRESENT USE: VACANT PROPOSED USE: \_\_\_\_\_

**APPLICANT**

SIGNATURE: \_\_\_\_\_  
 PRINT NAME: Tarek Gayar

On the \_\_\_ day of \_\_\_\_\_, before me, a Notary Public, personally appeared the above named person whose signature appears above, and who executed the foregoing instrument, and he/she acknowledged to me that he/she executed the same.

**JENNIFER BOSH**  
 NOTARY PUBLIC - STATE OF MICHIGAN  
 COUNTY OF OAKLAND  
 My Commission Expires June 16, 2025  
 Acting in the County of Oakland

State Of Michigan  
 County Of Oakland

Notary Public: Jennifer Bosh

**OWNER**

SIGNATURE: \_\_\_\_\_  
 PRINT NAME: Tarek Gayar

On the \_\_\_ day of \_\_\_\_\_, before me, a Notary Public, personally appeared the above named person whose signature appears above, and who executed the foregoing instrument, and he/she acknowledged to me that he/she executed the same.

**JENNIFER BOSH**  
 NOTARY PUBLIC - STATE OF MICHIGAN  
 COUNTY OF OAKLAND  
 My Commission Expires June 16, 2025  
 Acting in the County of Oakland

State Of Michigan  
 County Of Oakland

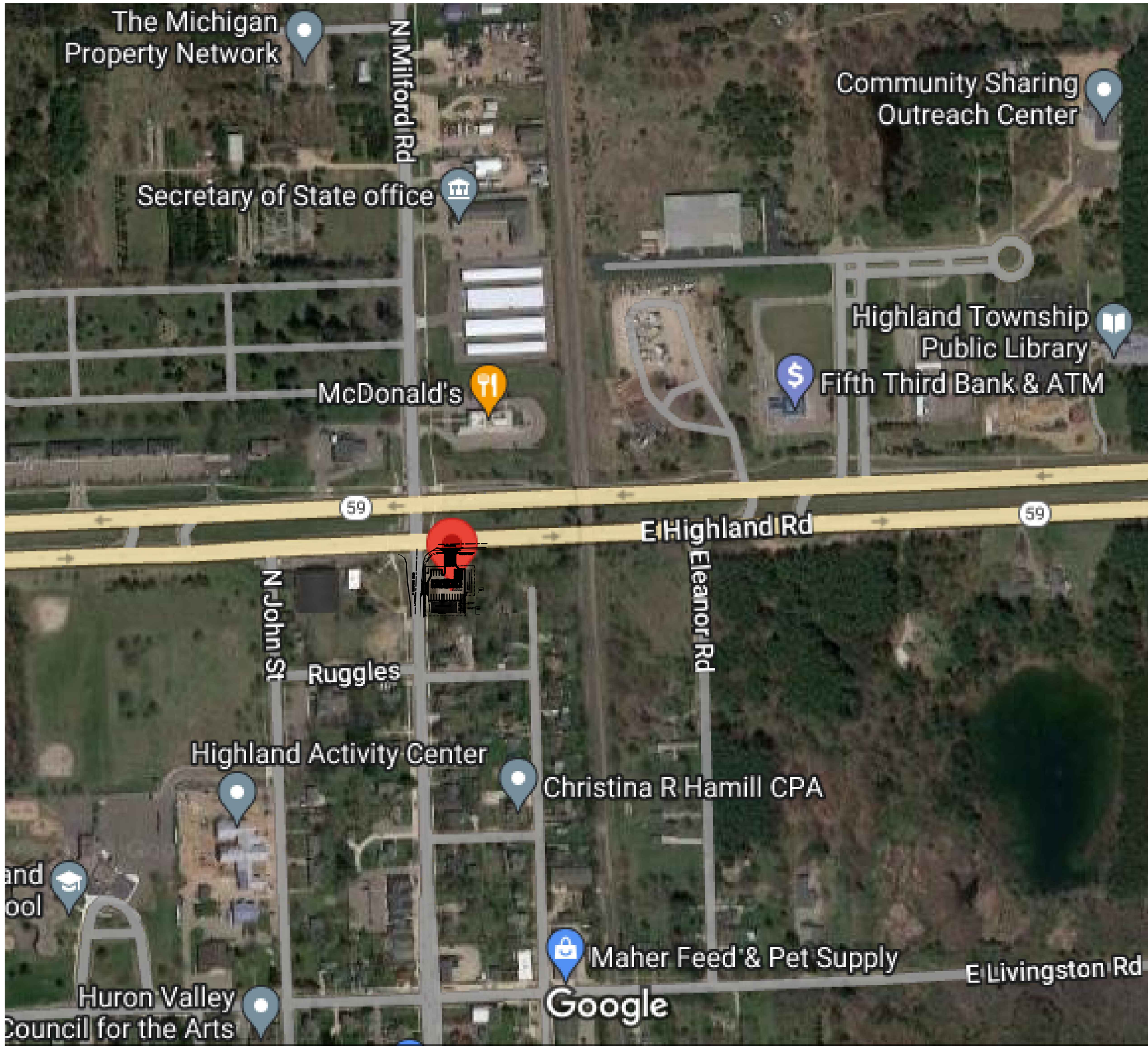
Notary Public: Jennifer Bosh

- If there are Co-Applicants and/or Co-Owners associated with this property(ies) to be acted upon, please submit a Notarized Co-Applicant's and/or Co-owner's "Interest in Property Certificate" with this application. The person signing this cover sheet will be considered the official designee for the group and all correspondence will be addressed to this person.
- A notarized letter giving the Applicant authorization to represent the Owner is also permitted in lieu of a signature on this application. The person signing this cover sheet, however, will be considered the official designee for the Owner and all correspondence will be addressed to this person.

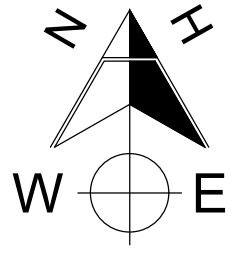


# HIGHLAND B.P.

## NOT FOR CONSTRUCTION



KEY PLAN - SITE

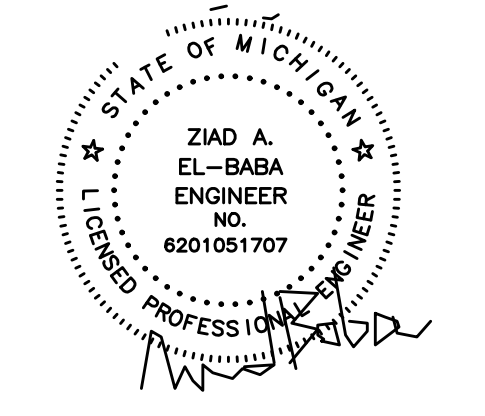


**LEGEND**

	WATERLINE
	STORM SEWER
	GAS LINE
	SANITARY SEWER
	O/H ELEC
	CB CATCH BASIN
	EX EP EXISTING ELECTRICAL POLE
	EXISTING ELEVATION
	NEW TOP OF CURB ELEVATION
	NEW GUTTER ELEVATION
	NEW LP NEW LIGHT POLE
	EX LP EXISTING LIGHT POLE
	NEW LP NEW LIGHT POLE
	NEW CO NEW CLEANOUT
	EX MH EXISTING MANHOLE

**3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG -811- (TOLL FREE)**

**CAUTION !!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



**ZIAD EL-BABA ENGINEERING**

674 GAUTHIER  
TECUMSEH ONTARIO  
N8N3P8 CANADA  
CELL : 313-938-8767  
CELL - 519-796-9882

**SHEET INDEX**

I-1	COVER SHEET
SP-1	EXISTING SITE PLAN
SP-2	PROPOSED SITE PLAN
SP-3	TRUCK CIRCULATION
SP-4	LANDSCAPING PLAN
SP-5	EROSION PLAN
SP-6	PHTOMETRIC
SP-7	DETAILS
SP-8	DRAINAGE /UTILITIES
SP-9	DRAINAGE AREAS
SP-10	STORM PROFILES
SP-11	MDOT DETAILS
SP-12	MDOT DETAILS
A-1	FLOOR PLAN
A-2	ELEVATIONS

DATE	REV. NO.	ISSUED FOR
JUN.27.24		SITE PLAN

Project:  
NEW GAS STATION  
394 N MILFORD ROAD  
HIGHLAND TWP ,MI  
OWNER

Drawing Title:  
COVER SHEET

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.  
**I-1**



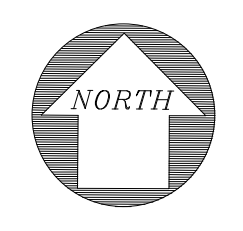
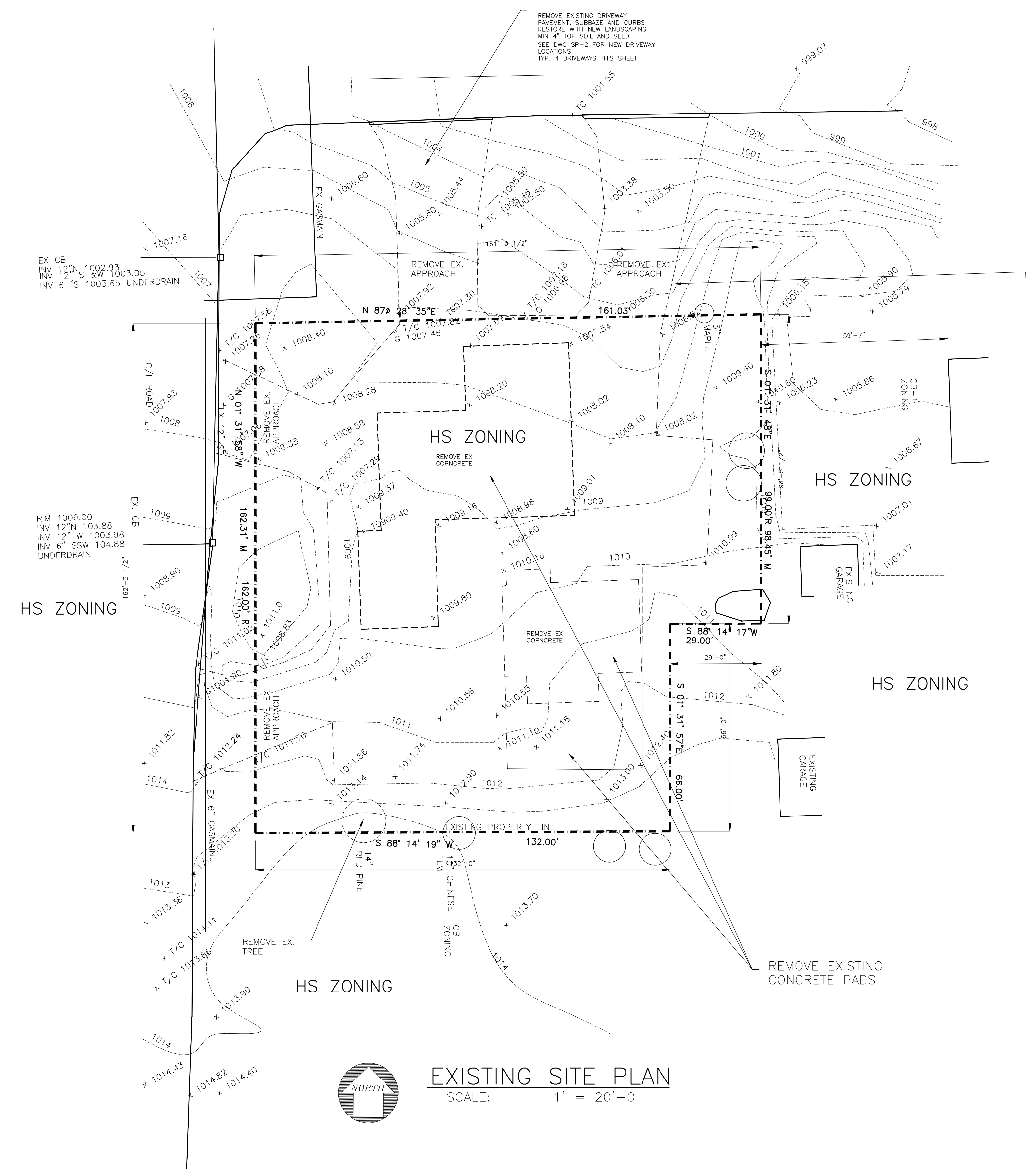


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**ZIAD EL-BABA ENGINEERING**

674 GAUTHIER  
 TECUMSEH ONTARIO  
 N8N3P8 CANADA  
 CELL : 313-938-8767  
 CELL - 519-796-9882



**EXISTING SITE PLAN**  
 SCALE: 1" = 20'-0"

Legal Description  
 T3N, R7E, SEC 22 RUGGLES & ST JOHNS PLAT LOTS 52 & 54, ALSO  
 W 29 FT OF LOT 56 ON M-59 HWY, ALSO LOT 96 ON MILFORD RD

394 N MILFORD RD HIGHLAND, MI 48357-4538 (Property Address)  
 Parcel Number: H -11-22-376-009

DATE	REV. NO.	ISSUED FOR
JUN.27.24		SITE PLAN

Project:  
 NEW GAS STATION  
 394 N MILFORD ROAD  
 HIGHLAND TWP ,MI  
 OWNER

Drawing Title:  
 EXISTING SITE PLAN

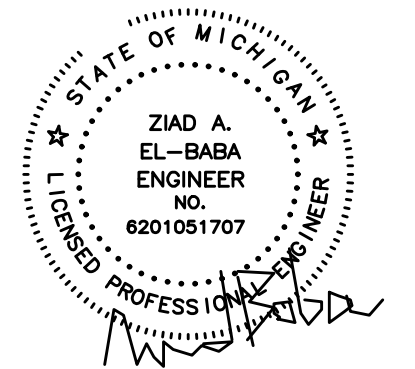
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Drawing No.  
 SP-1



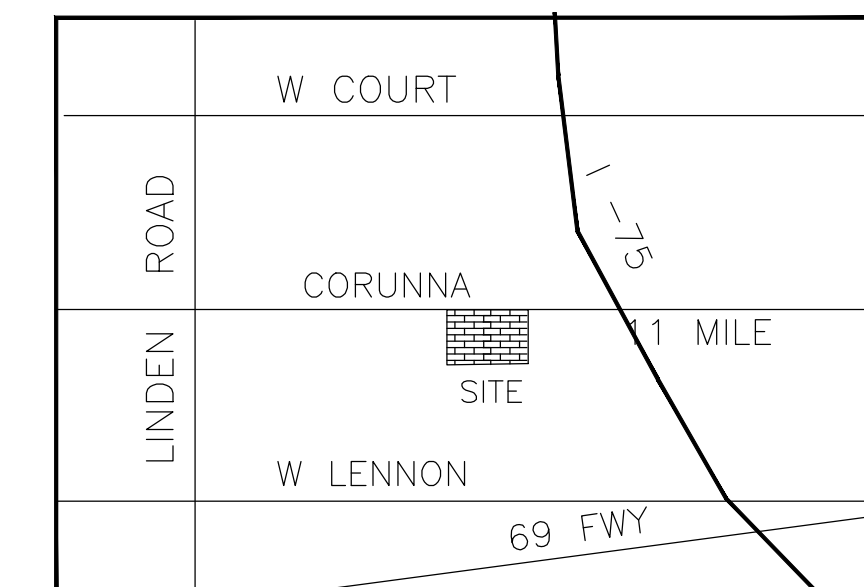
# SITE DATA

ZONING HS  
 TOTAL SITE AREA 24,389 sq ft=.56 AC  
 USE GROUP M  
 CONSTRUCTION III  
 NEW BUILDING 3000 SQ.FT.  
 REQUIRED PARKING .. = 3000/200 = 15 SPACES  
 PROVIDED LANDSCAPE AREA = 7195 SQ FT=.165 AC= 30 %  
 TOTAL IMPERVIOUS AREA = 17,194 SQ FT = .395 AC<.5 AC= 70%  
 (CONCRETE , ASPHALT, BUILDING)  
 REQUIRED PARKING .. = 3000/200 = 15 SPACES

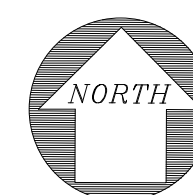
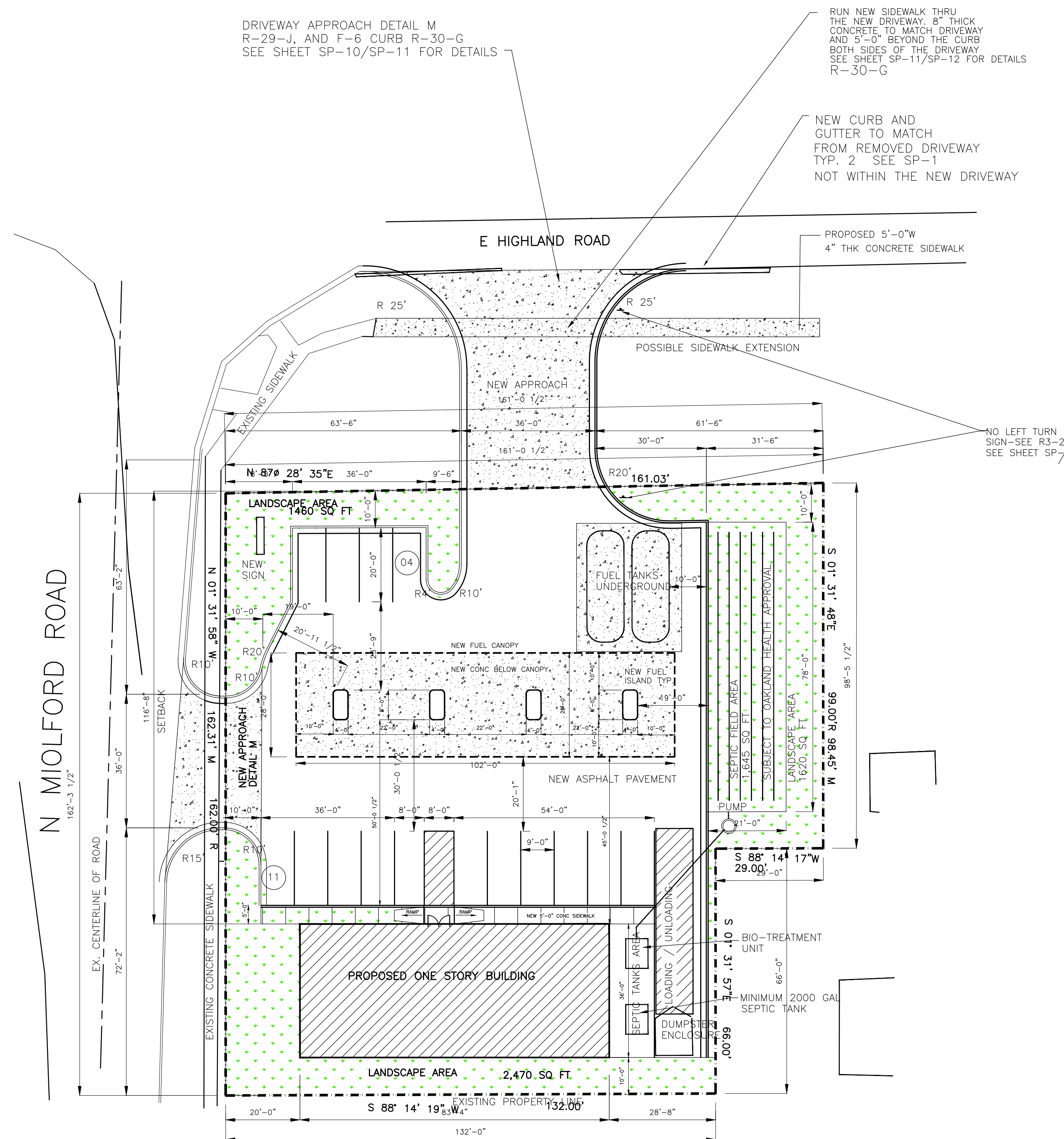
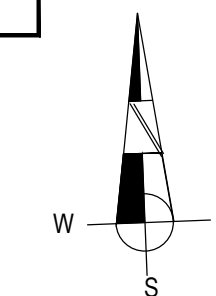


## ZIAD EL-BABA ENGINEERING

674 GAUTHIER  
 TECUMSEH ONTARIO  
 N8N3P8 CANADA  
 CELL : 313-938-8767  
 CELL - 519-796-9882



KEY PLAN



PROPOSED SITE PLAN  
 SCALE: 1" = 20'-0"



**CAUTION !!!**  
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

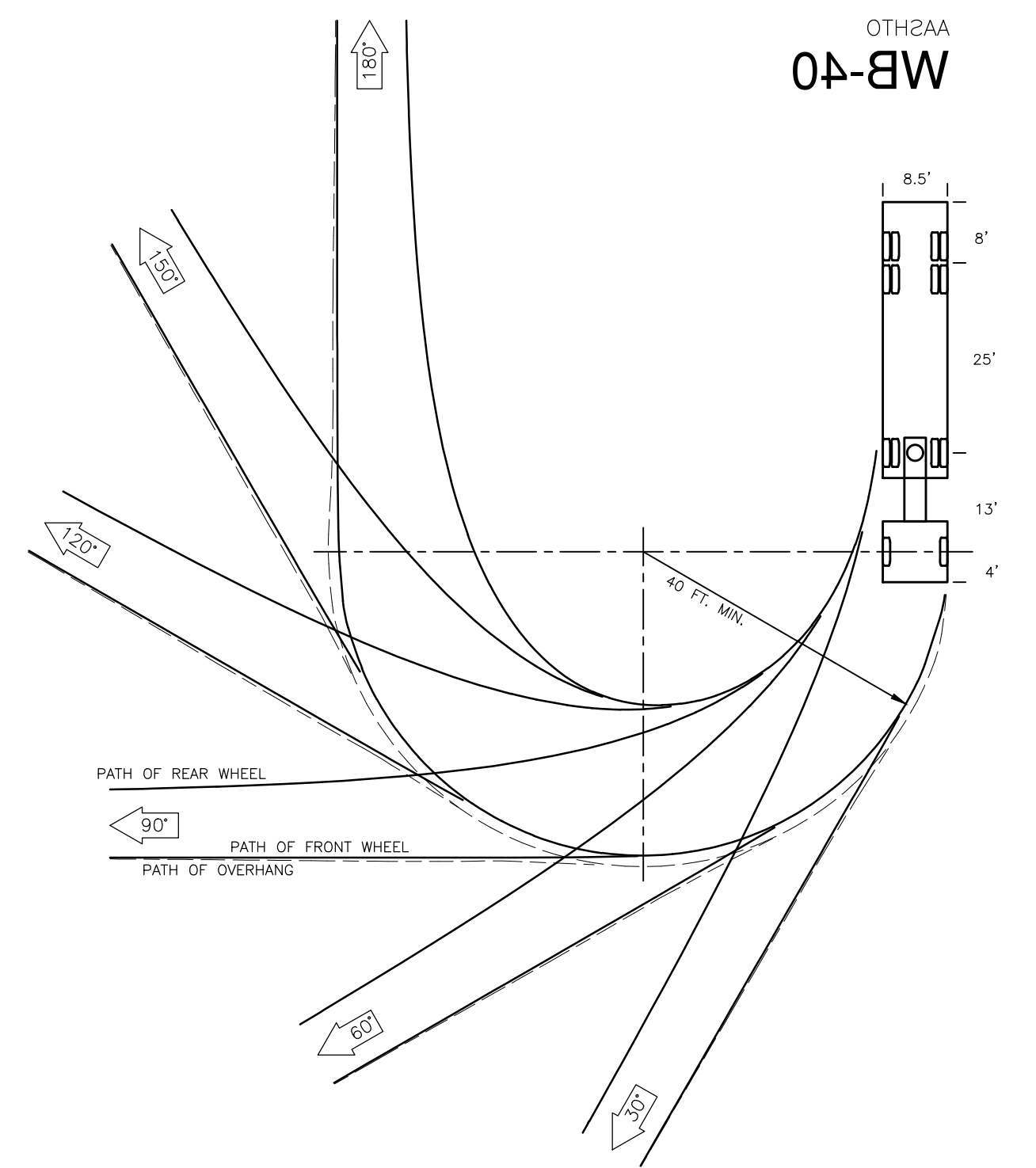
DATE	REV. NO.	ISSUED FOR
JUN.27.24		SITE PLAN

Project:  
 NEW GAS STATION  
 394 N MILFORD ROAD  
 HIGHLAND TWP ,MI  
 OWNER

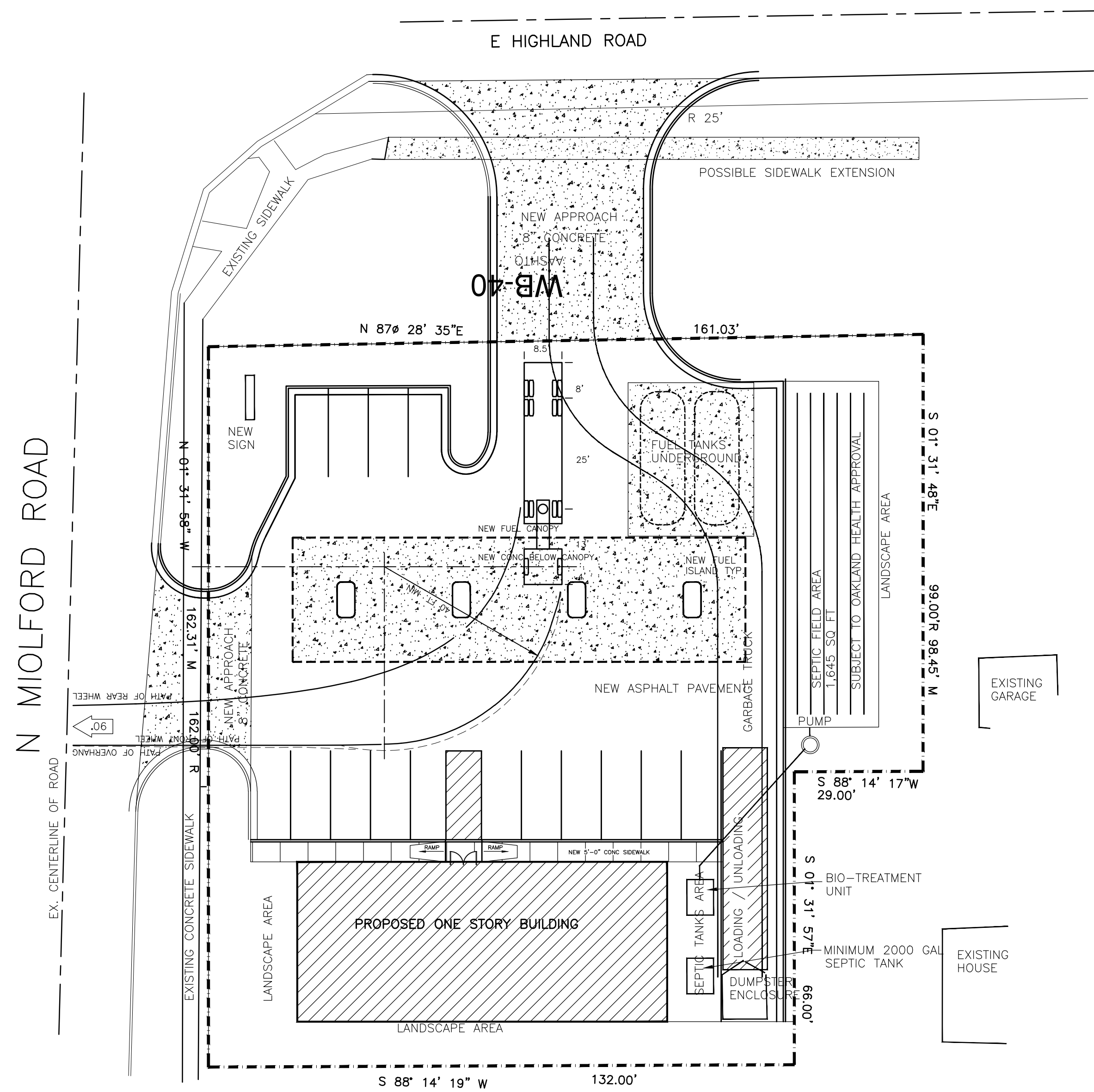
Drawing Title:  
 EXISTING SITE PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

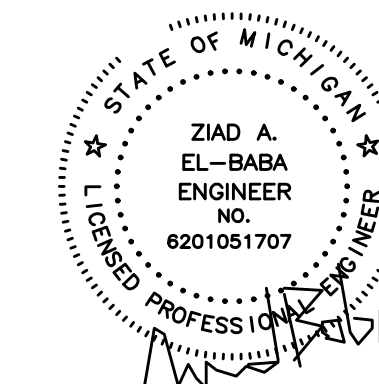
Drawing No.  
 SP-2



50' FUEL TRUCK  
SCALE: 1"=20'-0"



TRUCK CIRCULATION  
SCALE: 1"=20'-0"



**ZIAD EL-BABA  
ENGINEERING**

674 GAUTHIER  
TECUMSEH ONTARIO  
N8N3P8 CANADA  
CELL : 313-938-8767  
CELL - 519-796-9882

DATE	REV. NO.	ISSUED FOR
JUN.27.24		SITE PLAN

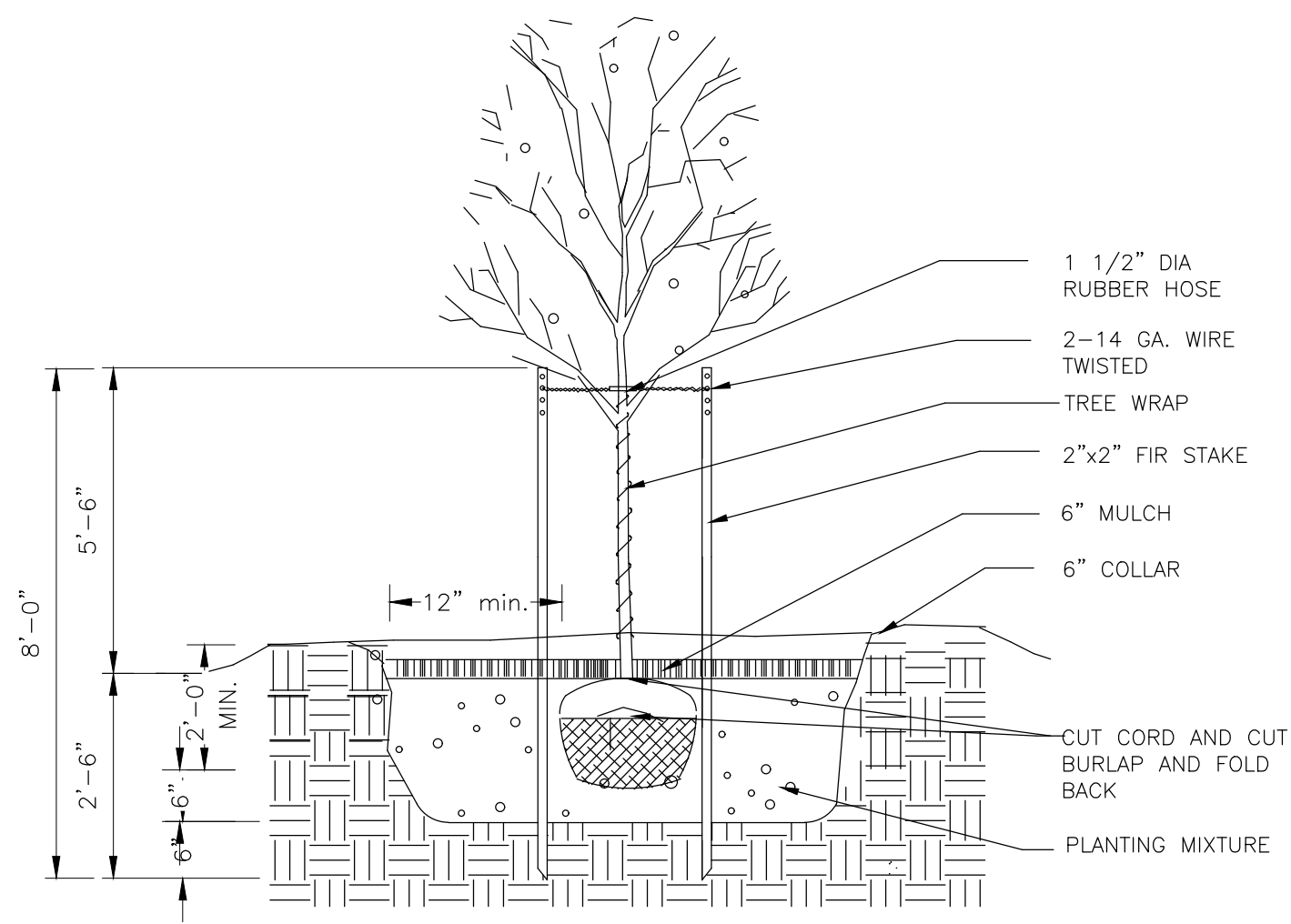
Project:  
NEW GAS STATION  
394 N MILFORD ROAD  
HIGHLAND TWP ,MI  
OWNER

Drawing Title:  
TRUCK CIRCULATION

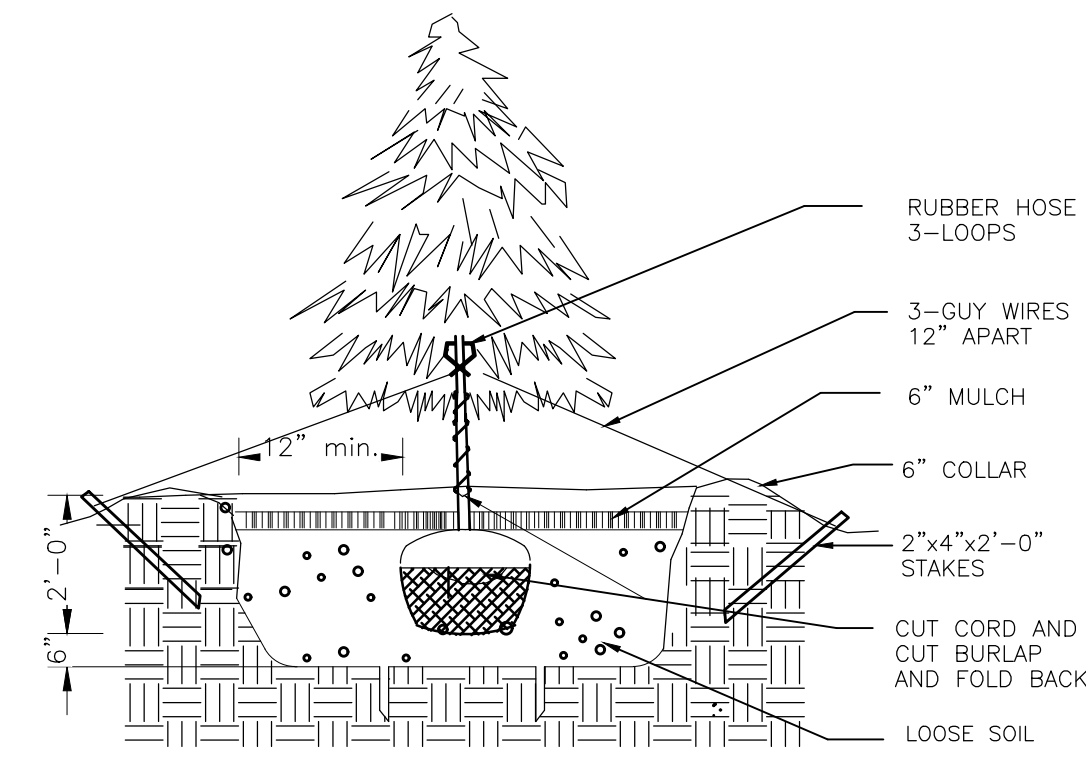
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Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.  
SP-3

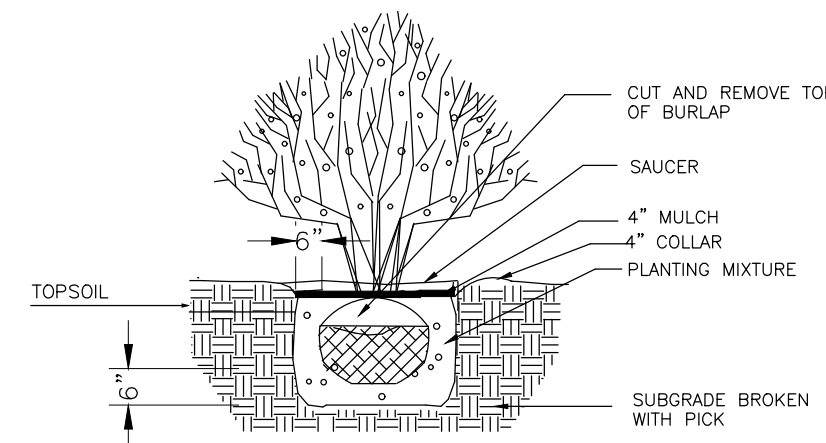




**Deciduous Tree Planting** NTS



**Evergreen Tree Planting** NTS



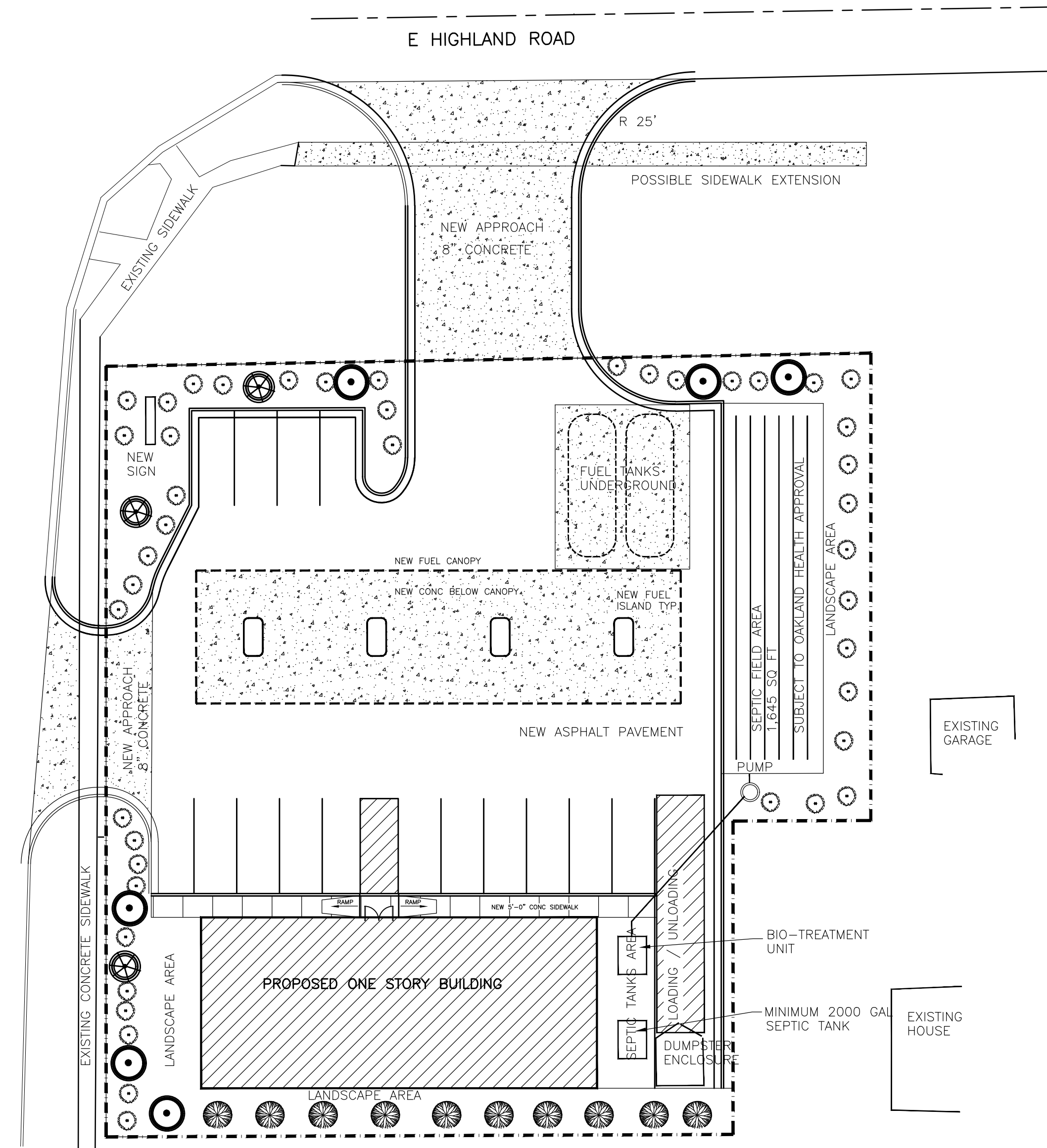
**Shrub Planting** NTS

NEW LANDSCAPING TABLE				
TYPE	SYMBOL	SIZE	BOTANICAL	QUANTITY
SHRUB	☉	2'-0" FT. HIGH MIN 4'-6" C/C	SPIREA SHRUB	44
SNOWDRIFT CRABAPPLE	⊙	5	4" CAL. 7' CLEAR STEM MIN	6
DECIDUOUS BLOODGOOD JAPANESE MAPLES	⊗	B&B ROOT 3" CALIP. @ 25' C/C	RED MAPLE	3
EVERGREEN SILVER FIR	⊗	B&B ROOT, 5 HIGH 2 1/2" CALIP.	ABIES ALBA	10

- NOTES:**
- A TREE PERMIT MUST BE OBTAINED FROM THE PLANNING OFFICE PRIOR TO ALL TREE REMOVAL ACTIVITY INVOLVING TREES SIX INCHES OR MORE DBH IN ACCORDANCE WITH THE VILLAGE OF BEVERLY HILLS
  - TREES MUST BE PLANTED NO CLOSER THAN SIX FEET (6') TO PUBLIC UTILITIES.
  - ALL REQUIRED LANDSCAPE MATERIAL INDICATED ON APPROVED PLANS WILL BE REQUIRED THROUGH THE LIFE OF THE PROJECT AND MUST BE REPLACED IF REMOVED OR DEAD.
  - 4 FOOT(4") HIGH WOOD SNOW FENCING OR OTHER RIGID MATERIAL IS TO BE ERRECTED AROUND THE DRIP LINE OF ALL TREES TO BE SEEDED IN ACCORDANCE WITH VILLAGE OF BEVERLY HILLS
  - REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS AND BE:
    - a. NURSERY GROWN
    - b. STATE DEPARTMENT OF AGRICULTURE INSPECTED
    - c. NO. 1 GRADE WITH STRAIGHT UNSCARRED TRUNK AND WELL DEVELOPED UNIFORM CROWN ( PARK GRADE TREES WILL NOT BE ACCEPTED)
    - d. PLANTED PER CITY OF TRENTON DETAILS AND SPECIFICATIONS AND IN ACCORDANCE WITH THE VILLAGE OF BEVERLY HILLS
    - e. GUARANTEED FOR ONE YEAR.
    - f. REPLACEMENT TREES SHALL HAVE SHADE POTENTIAL AND

N MILFORD ROAD

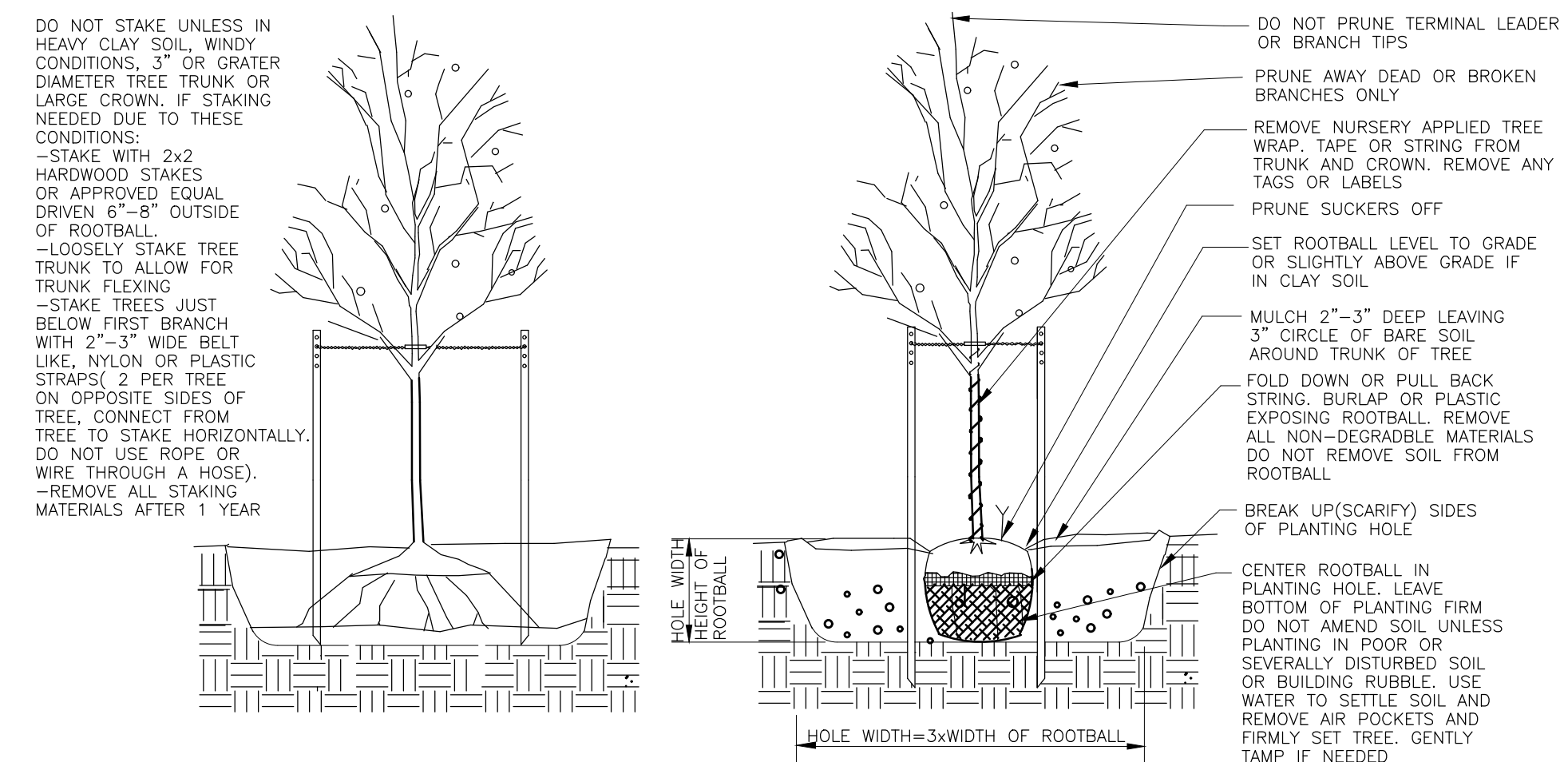
EX. CENTERLINE OF ROAD



**LANDSCAPING PLAN**

SCALE: 1"=20'-0"

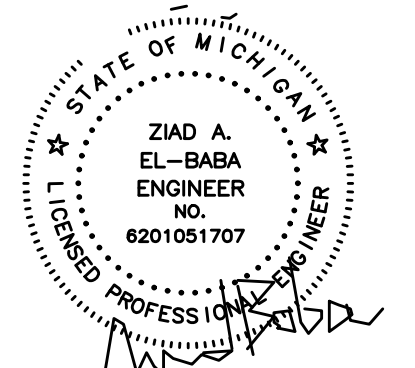
ALL LANDSCAPE AREAS TO RECEIVE UNDERGROUND IRRIGATION SYSTEM



**Deciduous Tree Planting Detail**



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**ZIAD EL-BABA ENGINEERING**

674 GAUTHIER  
TECUMSEH ONTARIO  
N8N3P8 CANADA  
CELL : 313-938-8767  
CELL - 519-796-9882

DATE	REV. NO.	ISSUED FOR
JUN.27.24		SITE PLAN

Project:  
NEW GAS STATION  
394 N MILFORD ROAD  
HIGHLAND TWP ,MI  
OWNER

Drawing Title:  
LANDSCAPING PLAN

Project Number	Scale	AS NOTED
Date		
Drawn By		
Checked By		

Drawing No.  
SP-4



**RESPONSIBLE FOR THE SOIL EROSION**

**TYPE OF SOIL**

SOIL TYPE : MORLEY LOAM

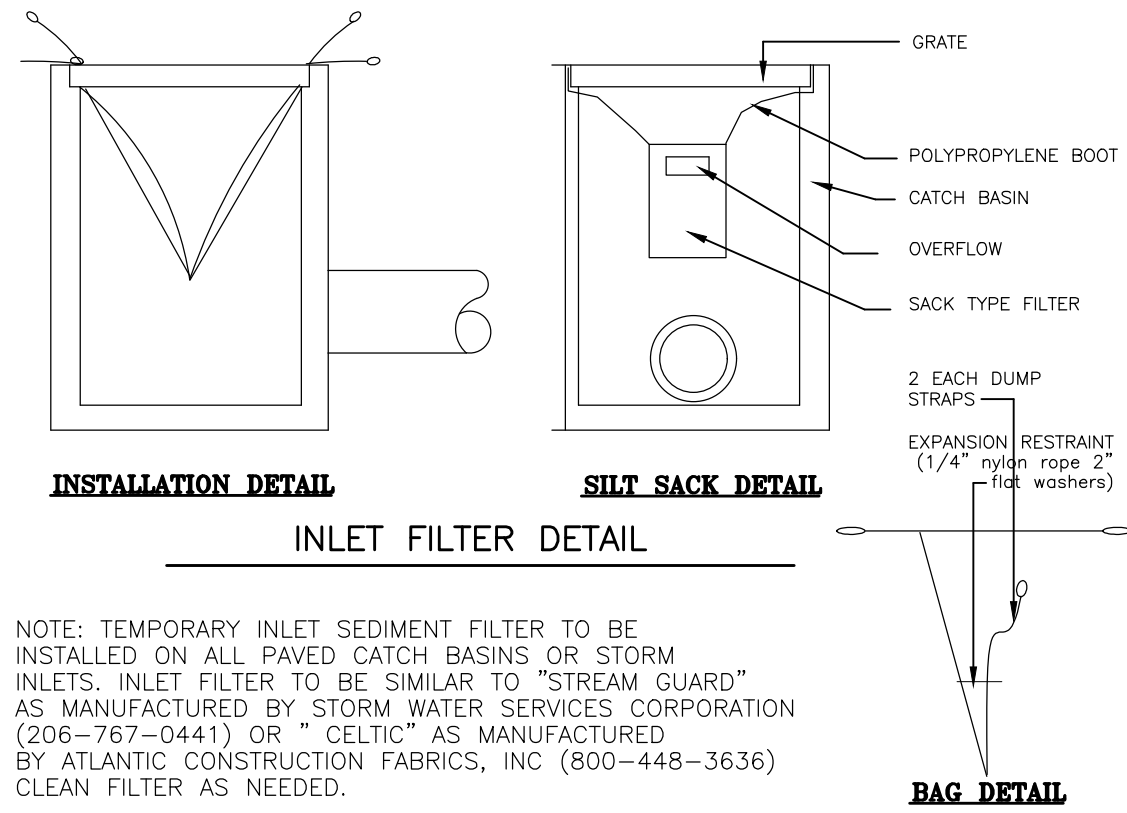
**SOIL EROSION NOTES.**

1. INSTALL SILT FENCE AND/OR CONSTRUCTION FENCES SHOWN ON THE PLAN
2. CITY OF GARDEN CITY ENGINEERING DIVISION MUST BE NOTIFIED WHEN ALL SILT FENCE FOR THIS PROJECT HAS BEEN PLACED, WITH SUFFICIENT TIME TO ALLOW INSPECTION OF SAME PRIOR TO THE START OF ANY SITE WORK
3. THE PROPOSED WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH APPROVED EARTH CHANGE PLANS AND IN COMPLIANCE WITH ALL THE REQUIREMENTS OF THE PERMIT-ACT 451 OF PUBLIC ACTS OF 1994 AND RULES PROMULGATED THEREUNDER
4. ACCESS TO CONSTRUCTION SITE SHALL BE OVER AN EXISTING APPROACH
- 5- CONTRACTOR TO PERFORM DAILY STREET SWEEPING MAY BE NEEDED TO KEEP SOIL THAT IS TRACKED ONTO THE ROADS FROM REACHING THE STORM SEWER SYSTEM.
6. ALL MUD AND/OR DIRT TRACKED ONTO EXISTING ROADS AND DRIVEWAYS OR ADJACENT PARKING LOT AREAS FROM SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED DAILY BY THE GENERAL CONTRACTOR OR HIS DESIGNEE
7. ALL OF THE SOIL EROSION DEVICES SHALL BE MAINTAINED DAILY BY THE CONTRACTOR.
8. ALL CONTRACTORS; DO NOT NEEDLESSLY DESTROY VEGETATION OF ANY TYPE. DUST CONTROL IS TO BE MAINTAINED ON SITE DURING CONSTRUCTION. ALL DIRT AND DEBRIS ARE TO BE KEPT OF ALL ADJACENT ROADS. IN NO EVENT SHALL WORK AREA EXTEND BEYOND THE LIMITS OF CONSTRUCTION INDICATED ON THE PLAN.
9. DURING CONSTRUCTION OF THE NEW STORM STORAGE PIPE THE ENDS OF ALL OPEN PIPES WILL BE PROTECTED BY FILTER BAGS, STONE FILTERS, OR OTHER APPROVED MEANS (UNTIL FULLY INSTALLED)

10- AREA OF DISTURBANCE .39 AC  
 NEW CONC CURBS, LANDSCAPING  
 NEW PAVEMENT, NEW BUILDING  
 NEW STORM DRAINAGE SYSTEM

RULE ADOPTED:  
 PART 91, SOIL EROSION & SEDIMENTATION CONTROL, PA 451 OF 1994 AS AMENDED AND THE RULES 323, 1701-1714 PROMULGATED UNDER PART 91 ARE HEREBY ADOPTED BY REFERENCE AND MADE A PART OF THIS ORDINANCE AS IF FULLY SET FORTH HEREIN

10. APPROXIMATE STARTING DATE: MID 2019
11. APPROXIMATE COMPLETION DATE: END OF 2019
12. TOTAL ACRES OF DISTURBANCE : 0.39 ACRES
13. EXISTING LOAMY SOIL
14. NEAREST BODY OF WATER = 1000+/- FT RIVER ROUGE

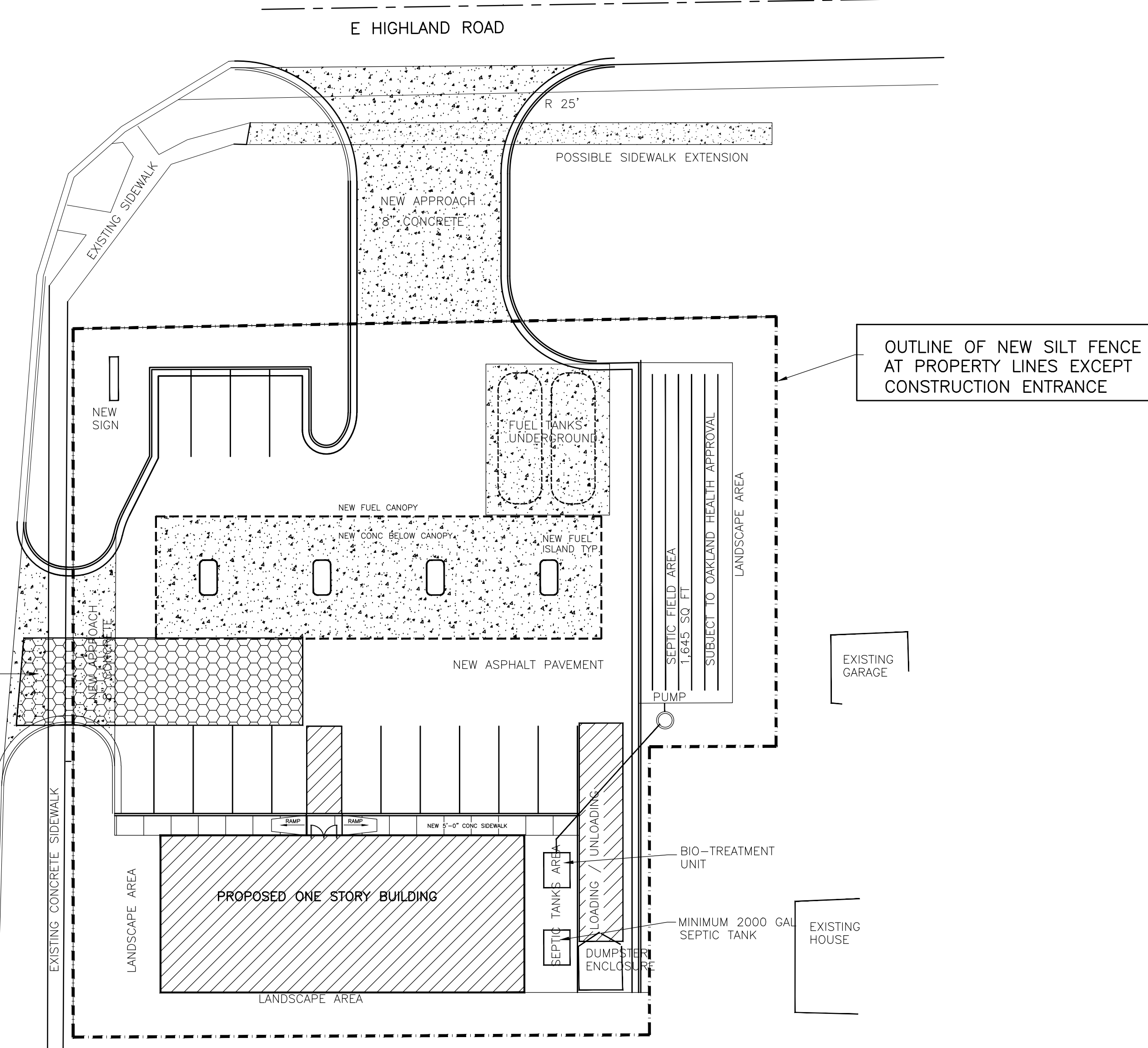
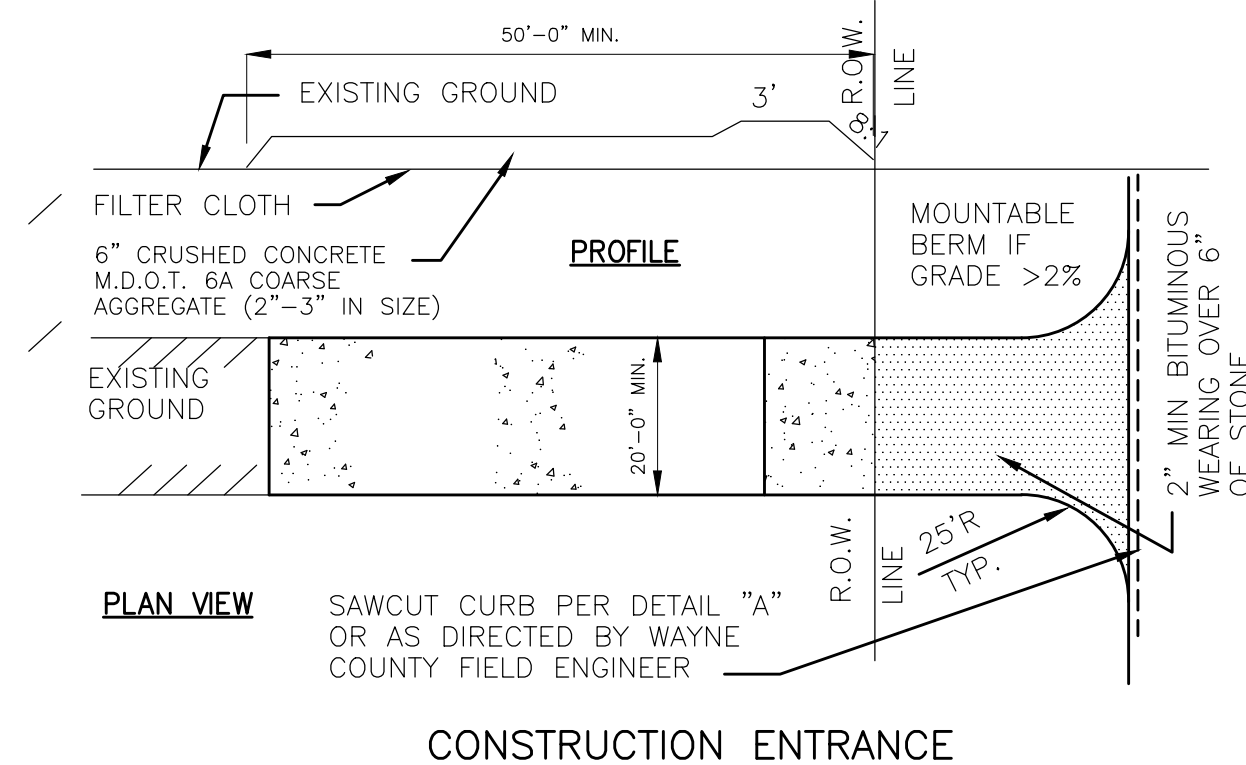


NOTE: TEMPORARY INLET SEDIMENT FILTER TO BE INSTALLED ON ALL PAVED CATCH BASINS OR STORM INLETS. INLET FILTER TO BE SIMILAR TO "STREAM GUARD" AS MANUFACTURED BY STORM WATER SERVICES CORPORATION (206-767-0441) OR "CELTIC" AS MANUFACTURED BY ATLANTIC CONSTRUCTION FABRICS, INC (600-448-3636) CLEAN FILTER AS NEEDED.

CONSTRUCTION SEQUENCE	OPERATION TIME SCHEDULE MID 2020				
	FIRST	SECOND	THIRD	FOURTH	FIFTH
A	SOIL EROSION CONTROL MEASURE				
B	BUILDING STRUCTURAL				
C	SITE PREPARATION				
D	NEW PAVEMENT				
E	NEW LANDSCAPING/CURBING				
F	STORM SEWER				

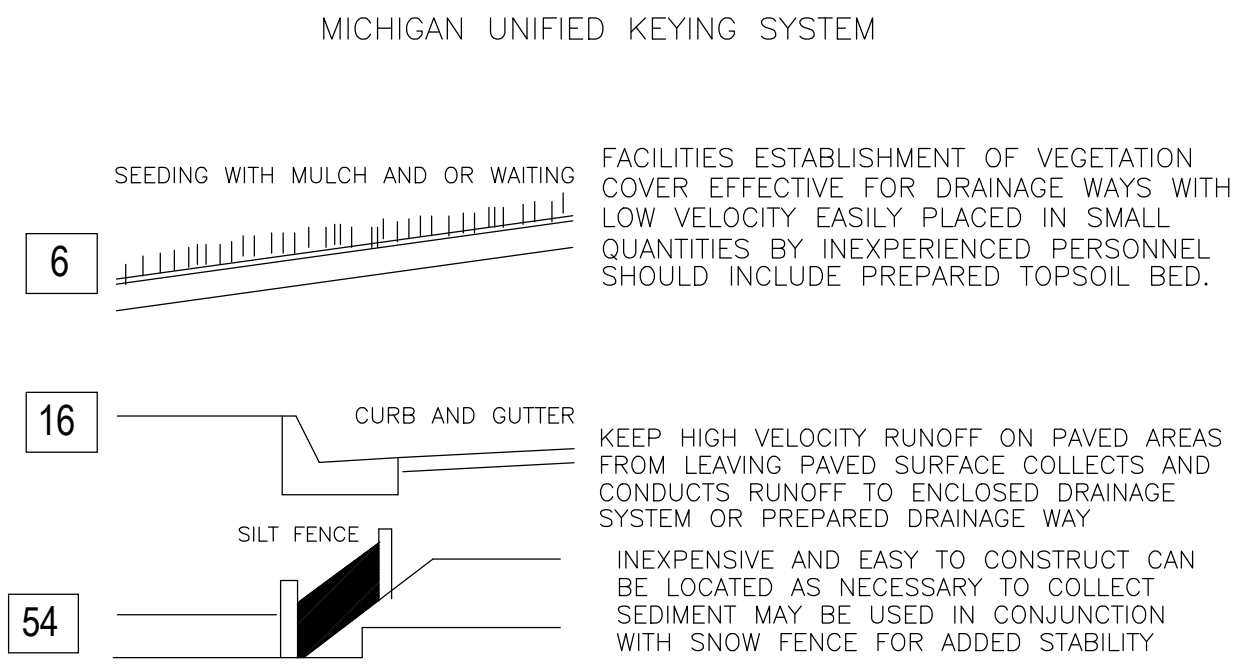
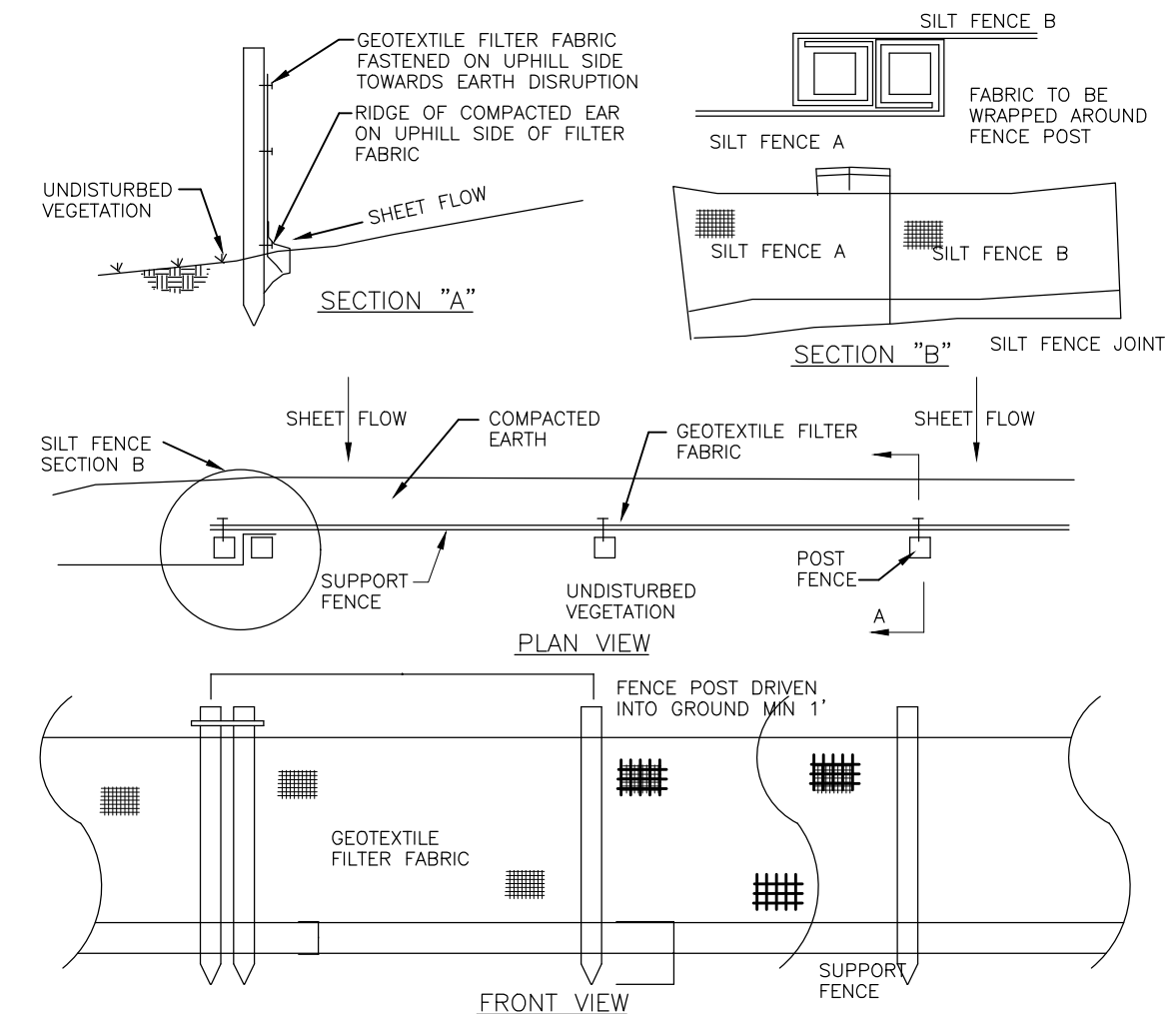
**PROPOSED WORK:**

NEW PARKING LOT - AND LANDSCAPING



**EROSION PLAN**  
 SCALE: 1"=20'-0"

THIS PLAN ILLUSTRATES THE MINIMUM SESC MEASURES NEEDED TO PREVENT SOILS FROM LEAVING THE SITE AND IS SUBJECT TO CHANGE AS CONDITIONS IN THE FIELD WARRANT

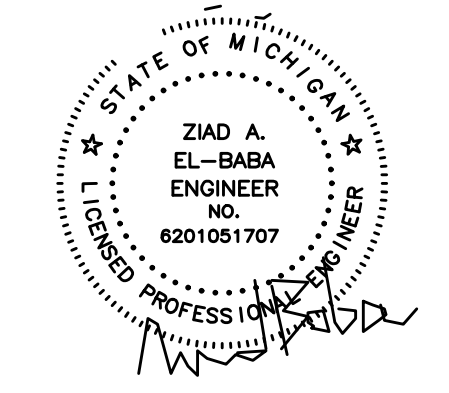


NOTE: EARTHWORK, GRADING AND PAVING SHALL COMELY WITH COUNTY STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY STANDARDS AND SPECIFICATIONS FOR LAND DEVELOPMENT PROJECTS. IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN SPECIFICATIONS AND BECOME FAMILIAR WITH THEIR REQUIREMENTS.

CLOSEST SURFACE WATER IS MDOT STORM SYSTEM



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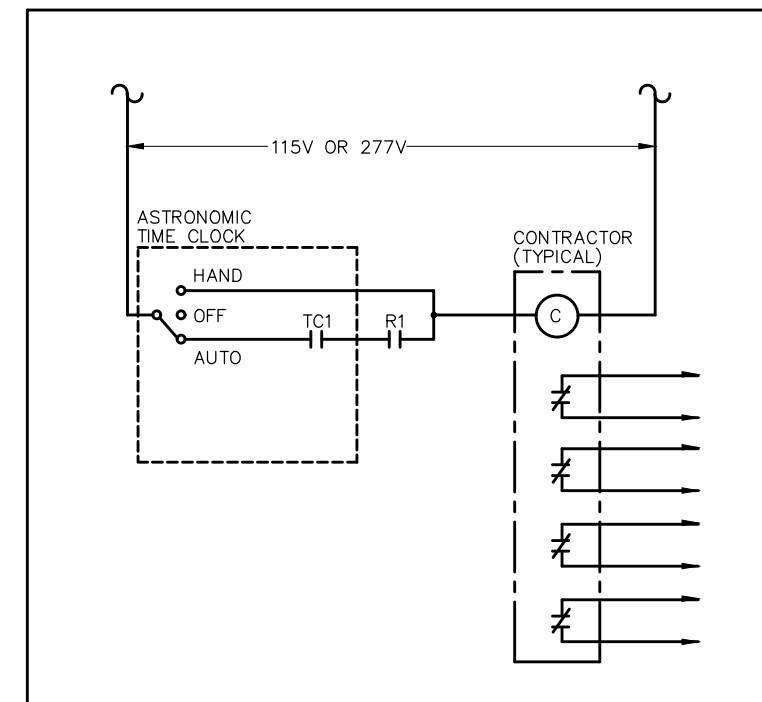
Project:  
 NEW GAS STATION  
 394 N MILFORD ROAD  
 HIGHLAND TWP ,MI  
 OWNER

Drawing Title:  
 EROSION PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.  
 SP-5

WATTSTOPPER # EM-24A2  
(OPTIONAL)



NOTE:  
WATTSTOPPER # HINCXX-VOLT  
XX = SPECIFY QUANTITY OF CONTRACTOR  
POLES REQUIRED (MULTIPLES OF 4)  
VOLT = SPECIFY 115V OR 277V  
CONTRACTOR TO SPECIFY NUMBER OF CIRCUITS REQUIRED

- SEE MH COLUMN OF LUMINARIES LOCATIONS FOR MOUNTING HEIGHTS.
- SEE LUMINARIES SCHEDULE FOR LIGHT LOSS FACTORS.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT GRADE SURFACE.

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	4.0 fc	9.50 fc	0.1 fc	9.5/0:1	50.0:1

LUMINAIRE SCHEDULE

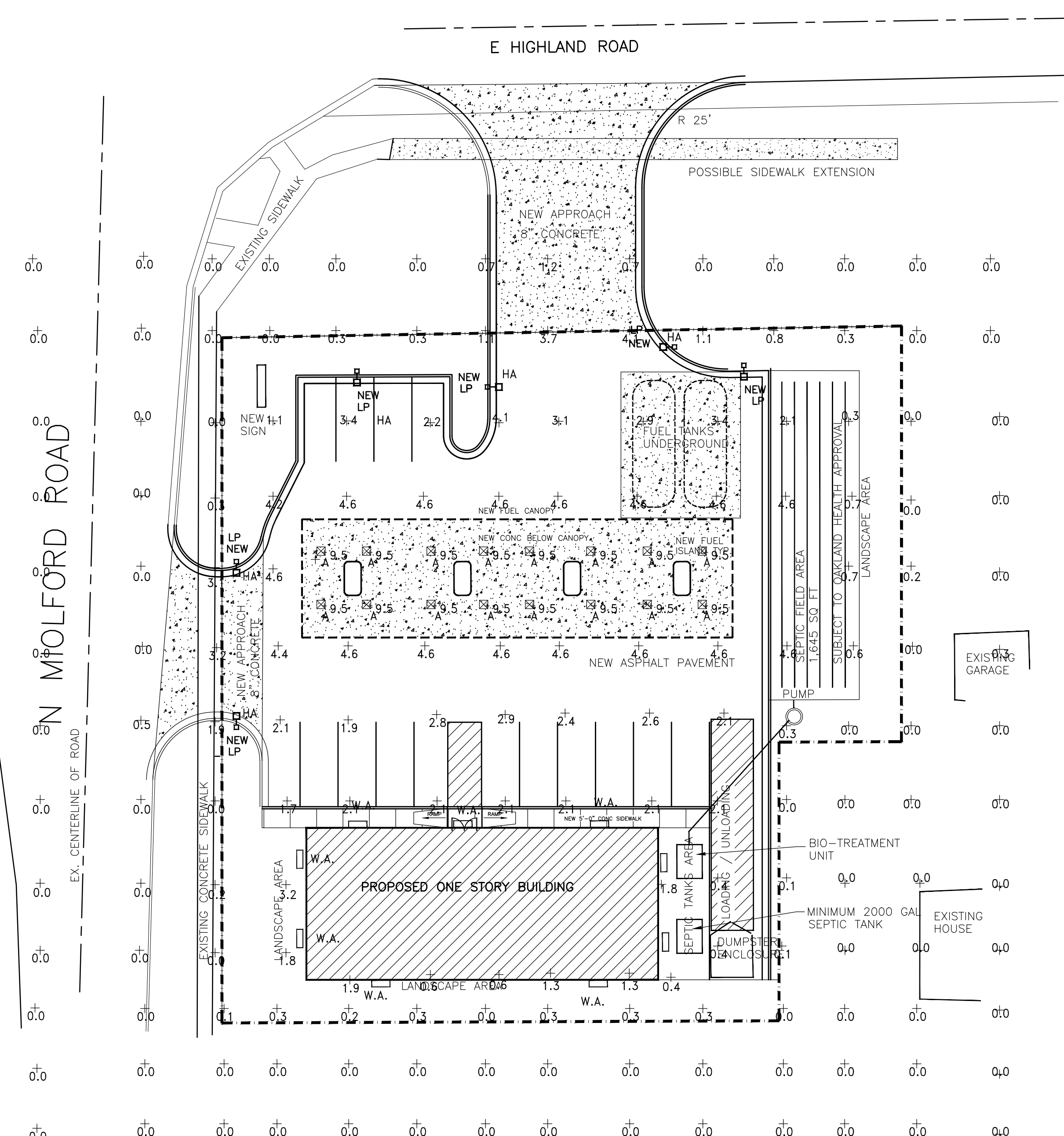
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
WA	9	LITHONIA #WST 100M FT (WALL MTD)	ARCHITECTURAL SCENCE WITH FORWARD THROW DISTRIBUTION WITH CLEAR, FLAT GLASS	ONE 100-WATT CLEAR ED-17 METAL HALIDE, HORIZONTAL POSITION.	LTL11348.IES	8500	0.72	140	

CANOPY LIGHTING BY ENCORE OR EQUAL

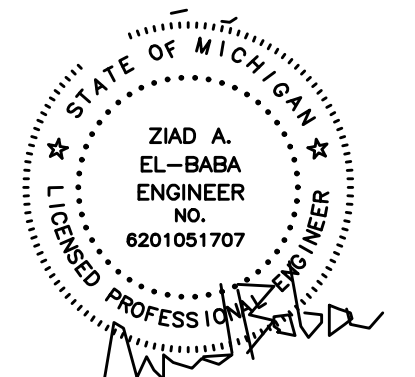
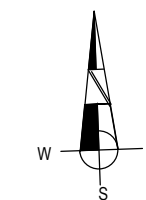
Symbol	Label	Qty	Catalog Number	Description	Lamp	LENS	LINE VOLTAGE	LUMINAIRE	Watts
A	16	RECESSED	250W CLEAR SMH F	MT	WHT	250			

LUMINARIES SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
NEW LP	8	TOP MOUNTED FIXTURES STANDARD SIMPLE STYLE CASTING W/ LUNAR OPTICS	145 HP 150W, 55V, HPS BALLAST DOWNWARD POSITION.	GV05012SB3NNZ	12000	0.72	213		



PHOTOMETRIC PLAN  
SCALE: 1"=20'-0"



**ZIAD EL-BABA  
ENGINEERING**

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JUN.27.24		SITE PLAN

Project:  
NEW GAS STATION  
394 N MILFORD ROAD  
HIGHLAND TWP ,MI  
OWNER

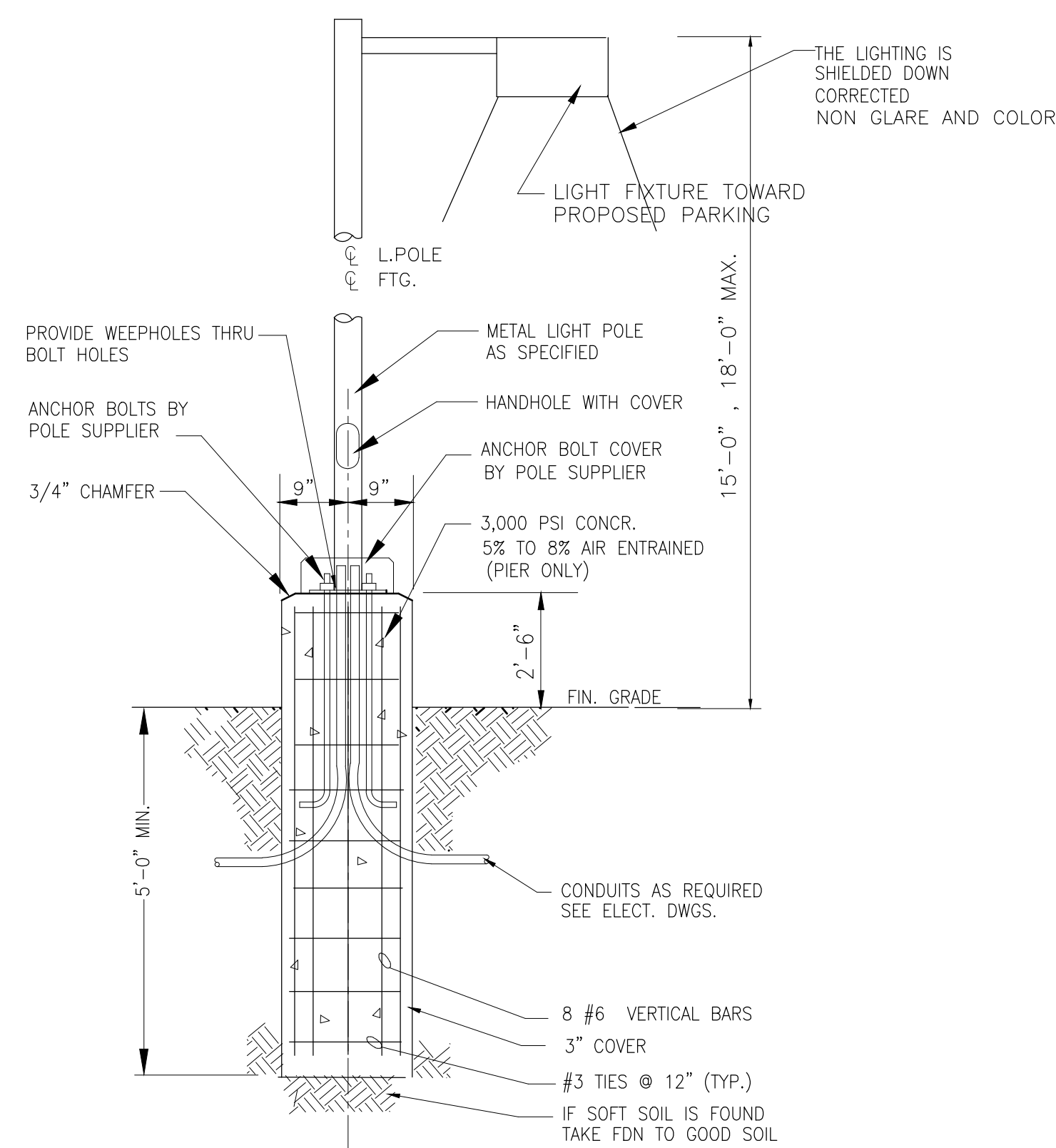
Drawing Title:  
PHOTOMETRIC PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.

SP-6



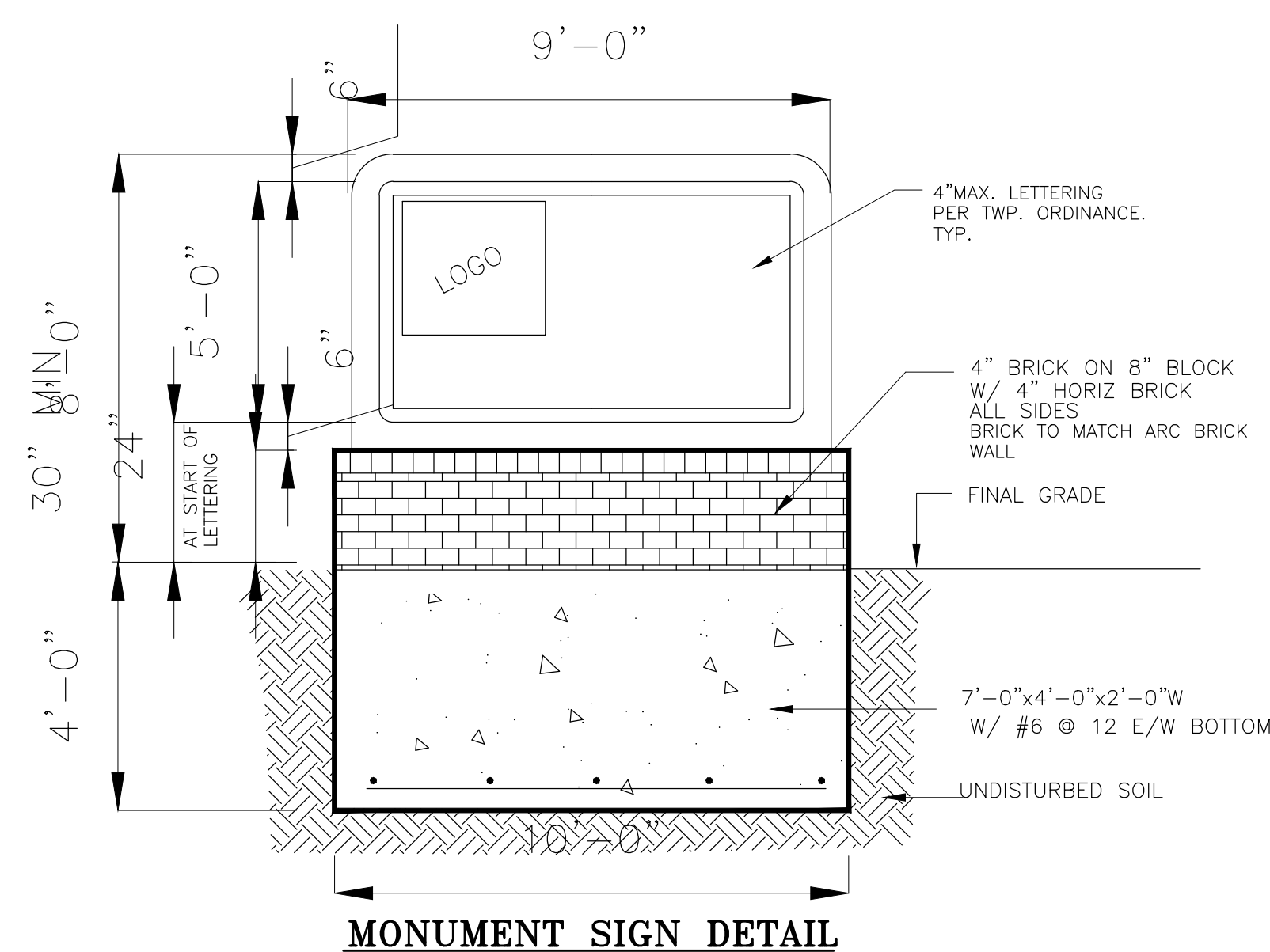


**TYP. LIGHT POLE BASE DETAIL**

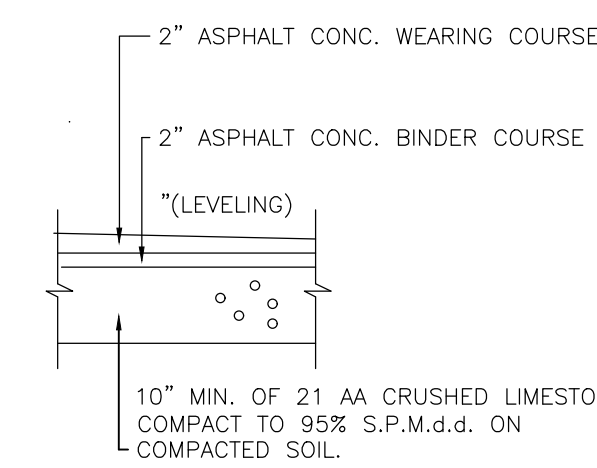
NOTE: ALL NEW LIGHTING TO BE SHIELDED AND DIRECTED DOWN WARD.

**LIGHTING NOTES:**

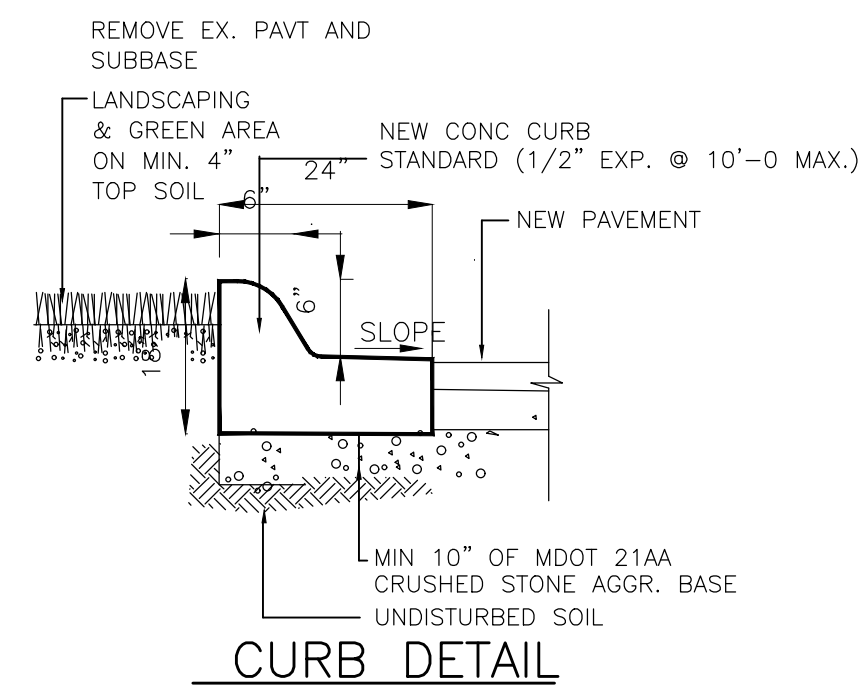
- 1- PARKING LOT LIGHTING POLE LENS TO BE LIMITED TO 250 W
- 2- FUEL CANOPY LIGHTING IS LIMITED TO 400 W. AND RECESSED IN
- 3- WALL PACKS ARE LIMITED TO 1745 W
- 4- ALL LIGHTS TO BE SHIELDED FROM ADJACENT PROPERTY.



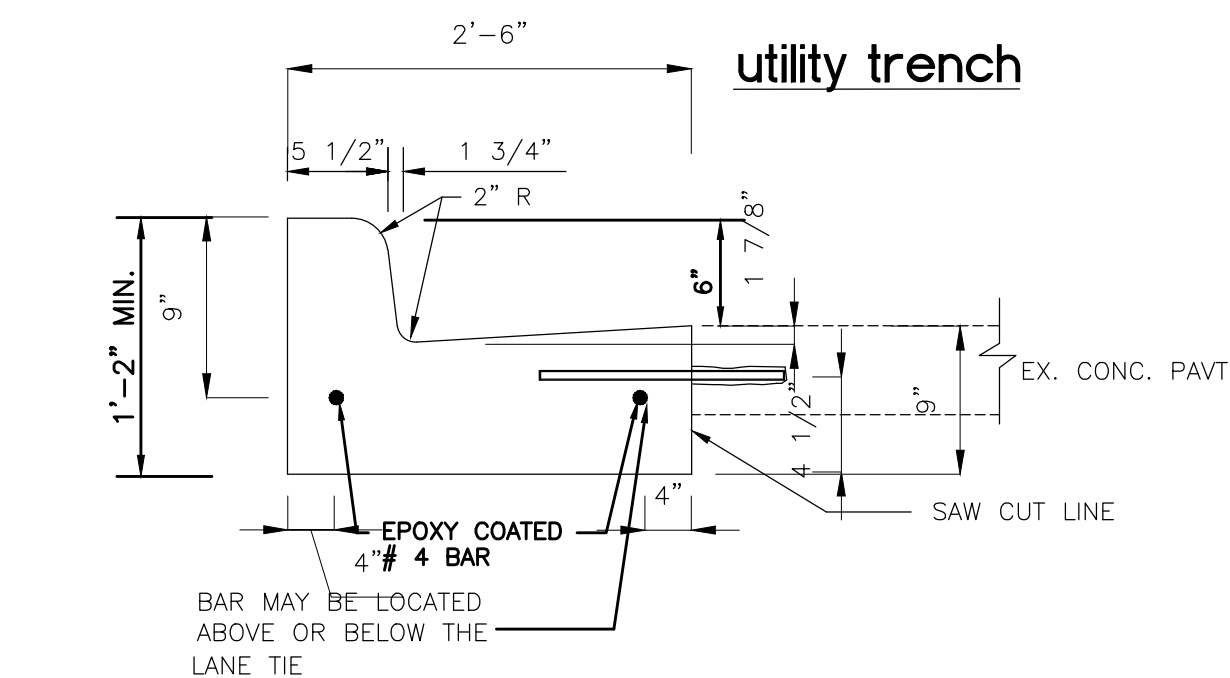
**MONUMENT SIGN DETAIL**



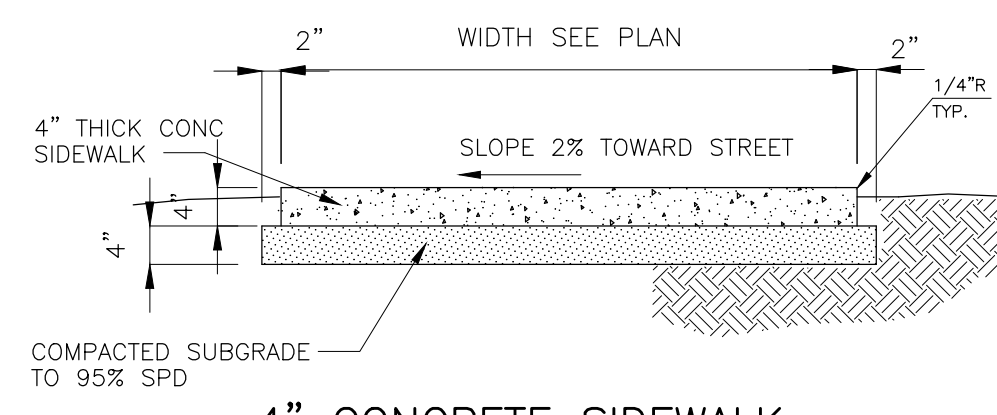
**ASPHALT PAVEMENT**  
NO SCALE



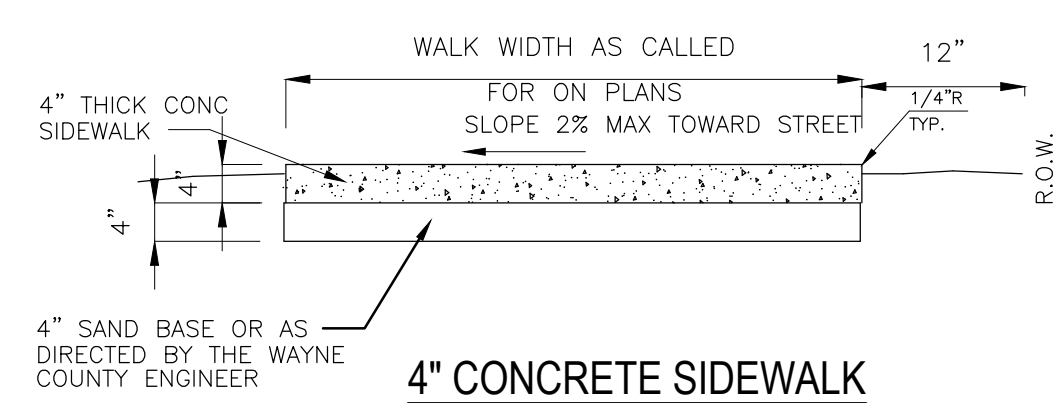
**CURB DETAIL**



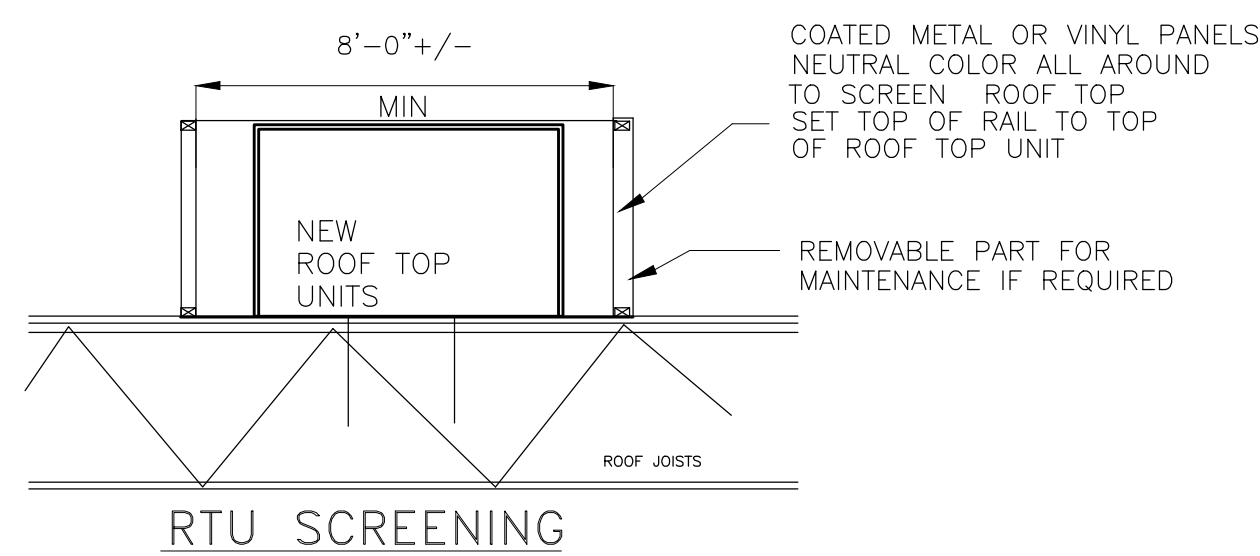
**CURB + GUTTER TYPE F-5**  
M.DOT R-30 E



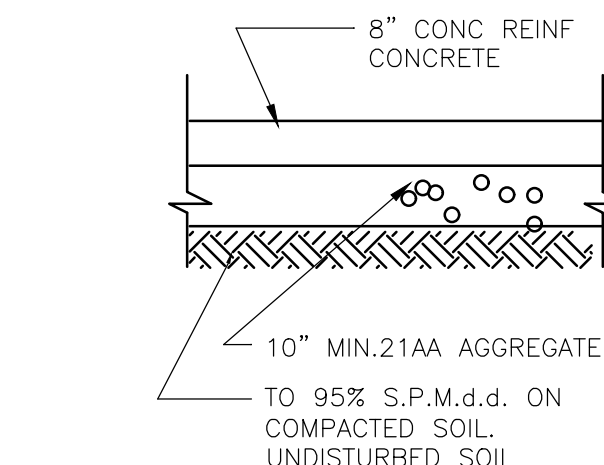
**4" CONCRETE SIDEWALK**



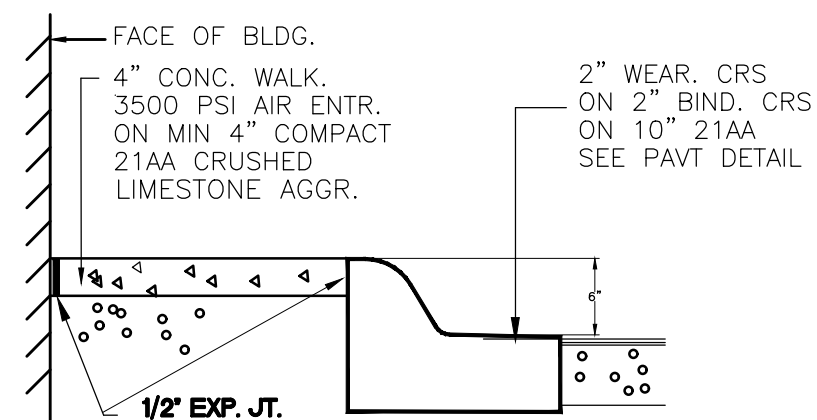
**4" CONCRETE SIDEWALK**



**RTU SCREENING**



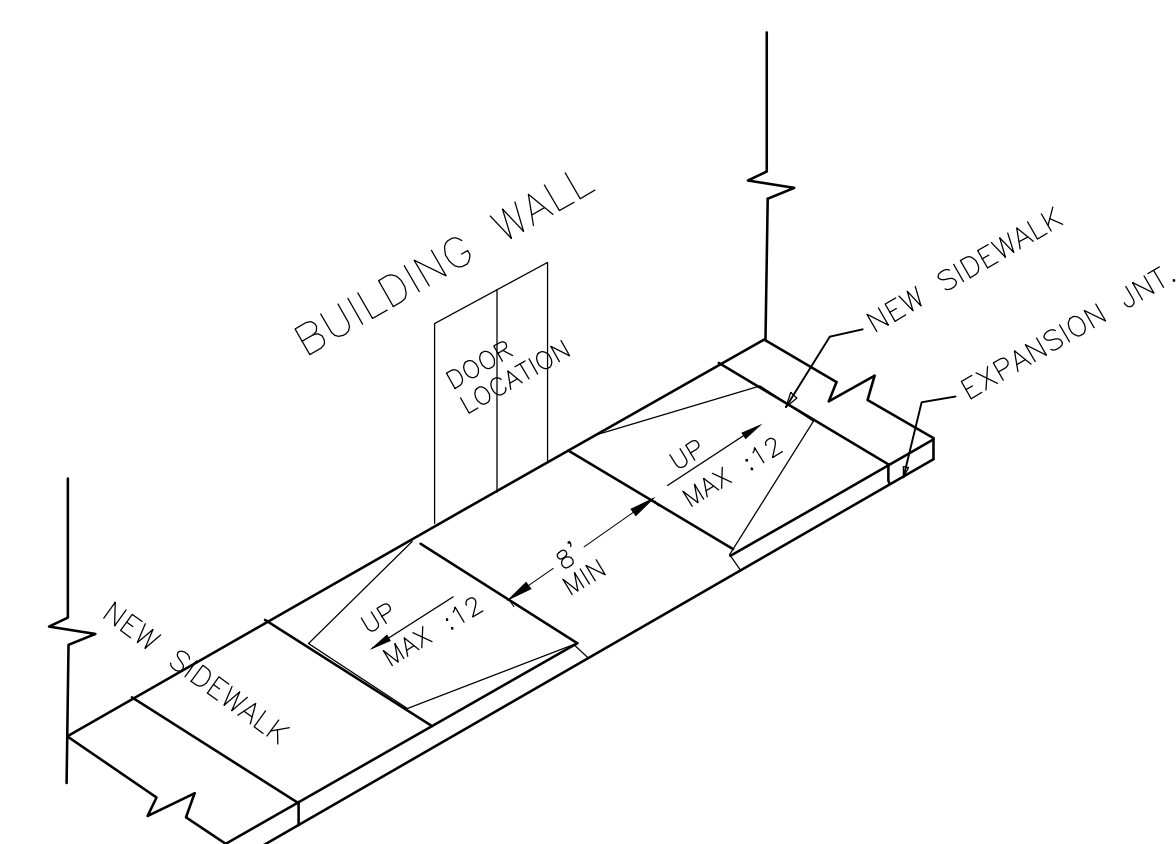
**CONC PAVT. DETAIL**  
NO SCALE



**INTEGRATED SIDEWALK DETAIL**

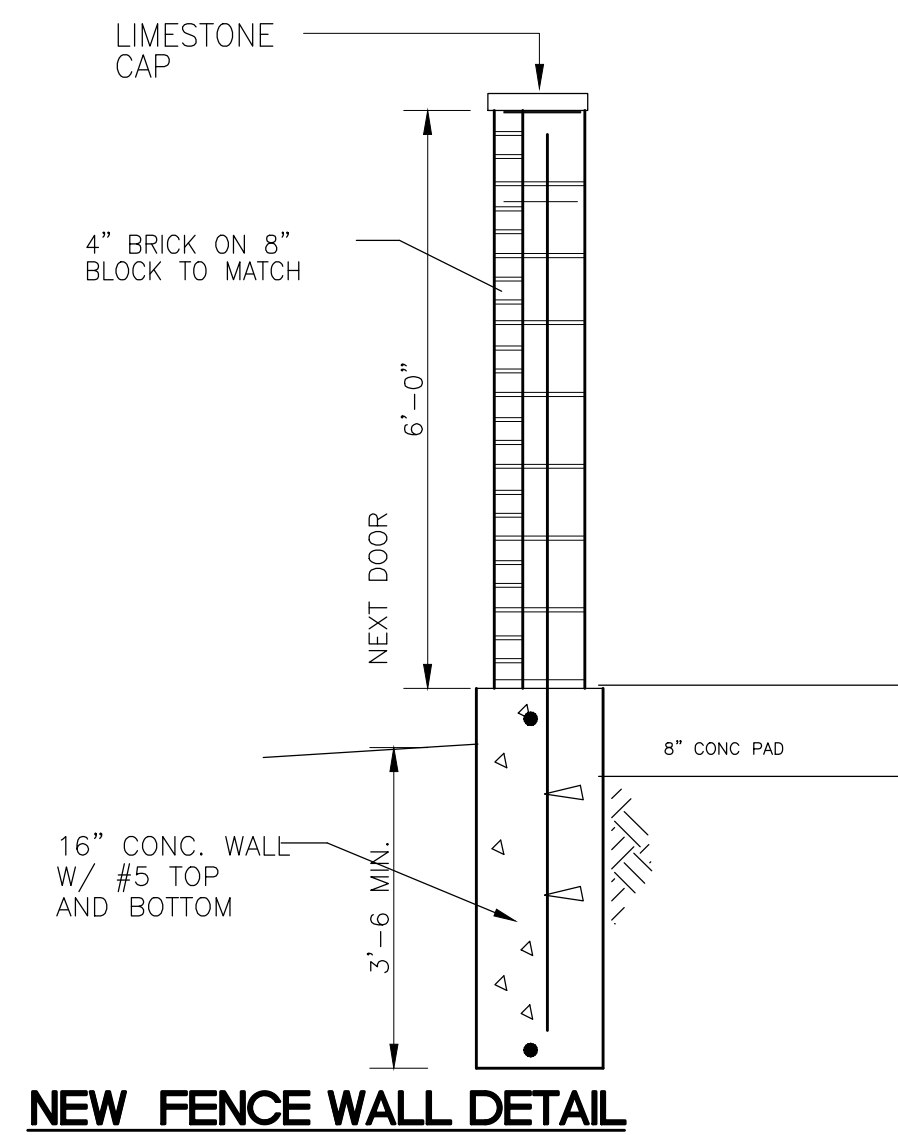
N.T.S.

WAYNE COUNTY PLAN REVIEW NO. R19-927

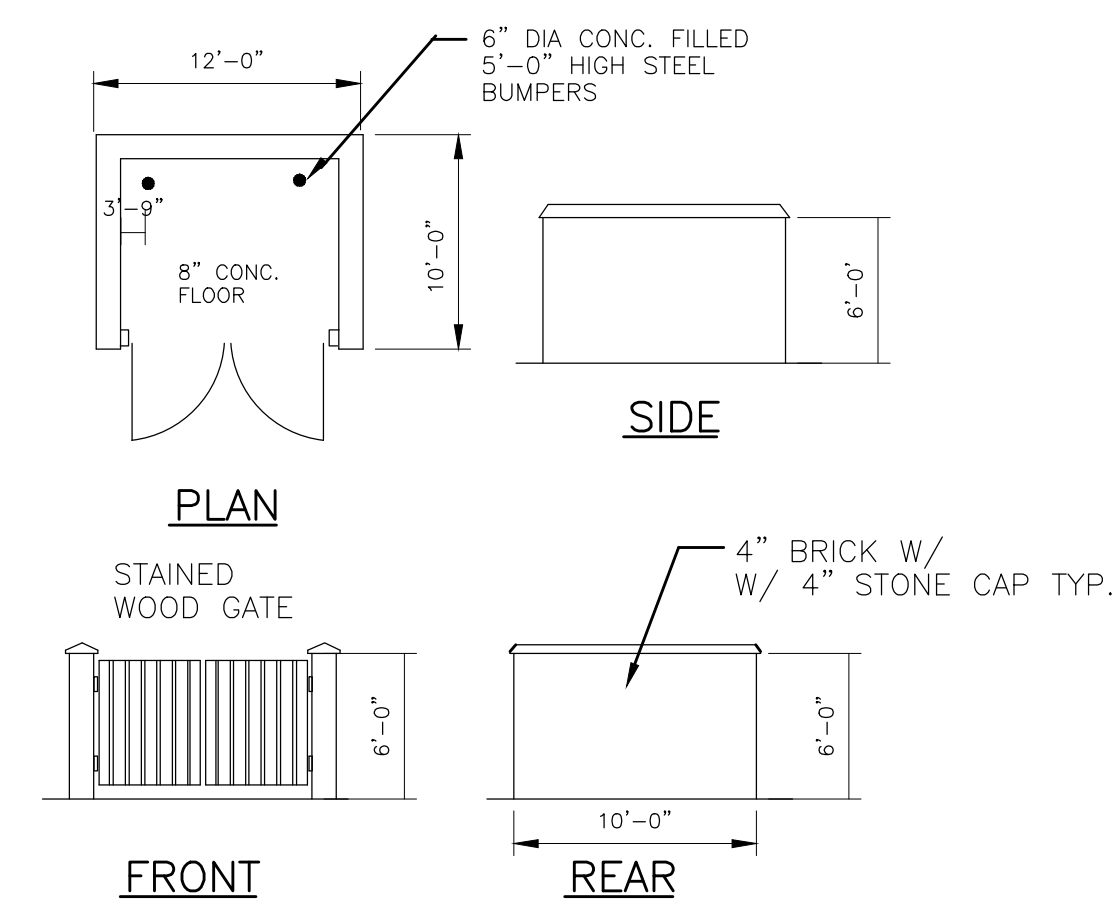


**HANDICAP RAMP DETAIL**

NO SCALE

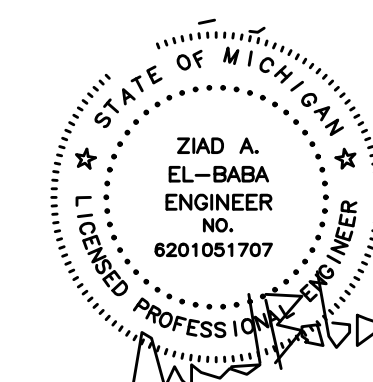


**NEW FENCE WALL DETAIL**



**10'x12' DUMPSTER ENCLOSURE ELEVATIONS**

SCALE: 1/8" = 1'-0"



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NEW GAS STATION  
394 N MILFORD ROAD  
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OWNER

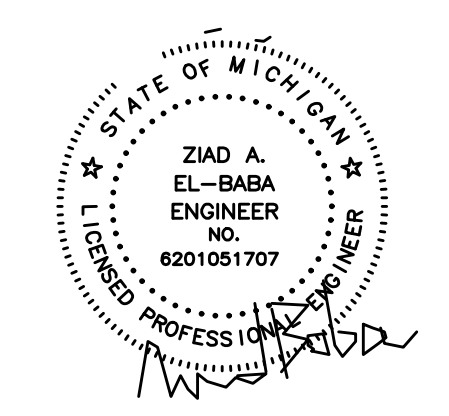
Drawing Title:  
EROSION PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.  
SP-7

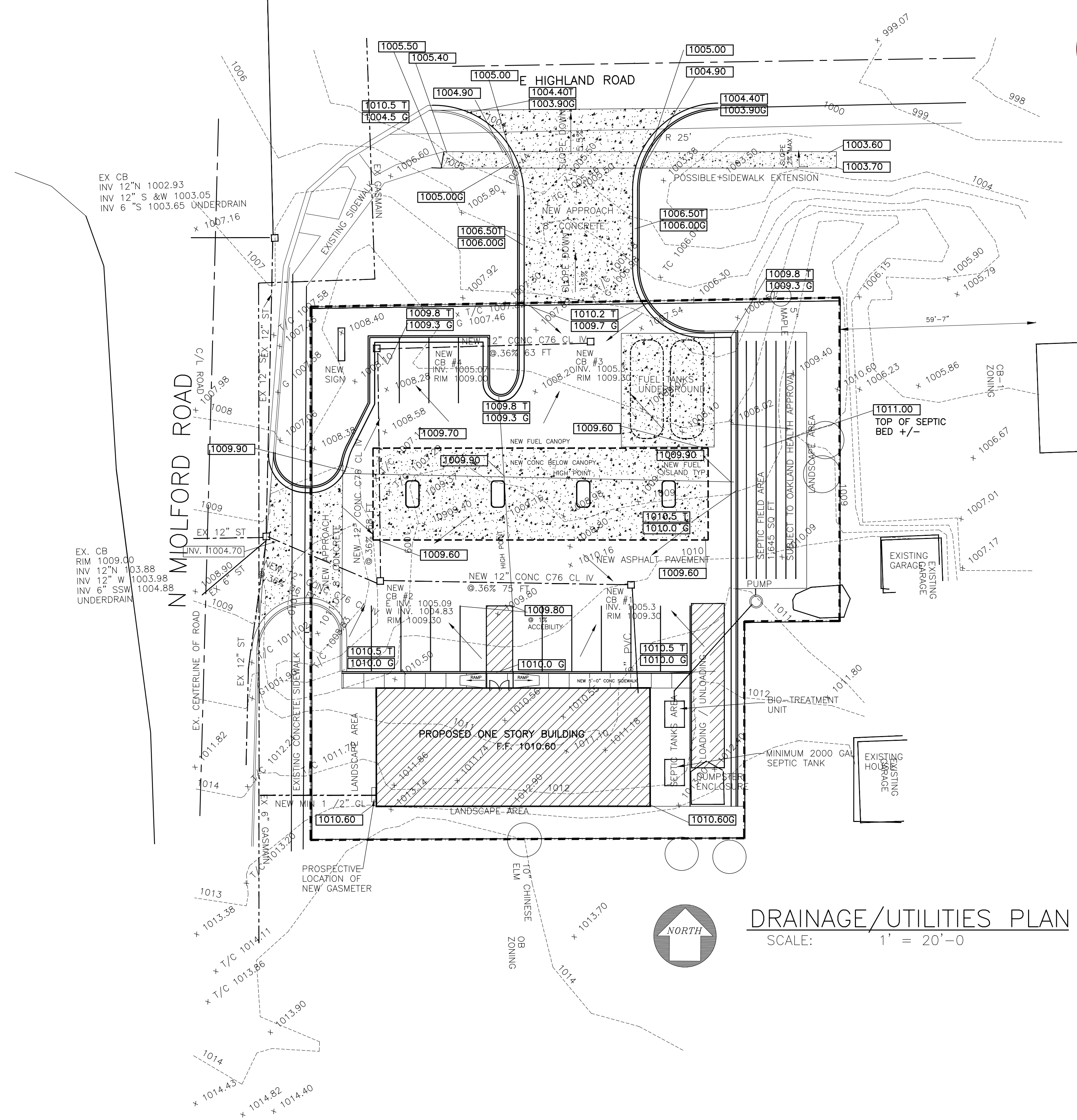


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**DRAINAGE/UTILITIES PLAN**  
 SCALE: 1" = 20'-0"

DATE	REV. NO.	ISSUED FOR
JUN.27.24		SITE PLAN

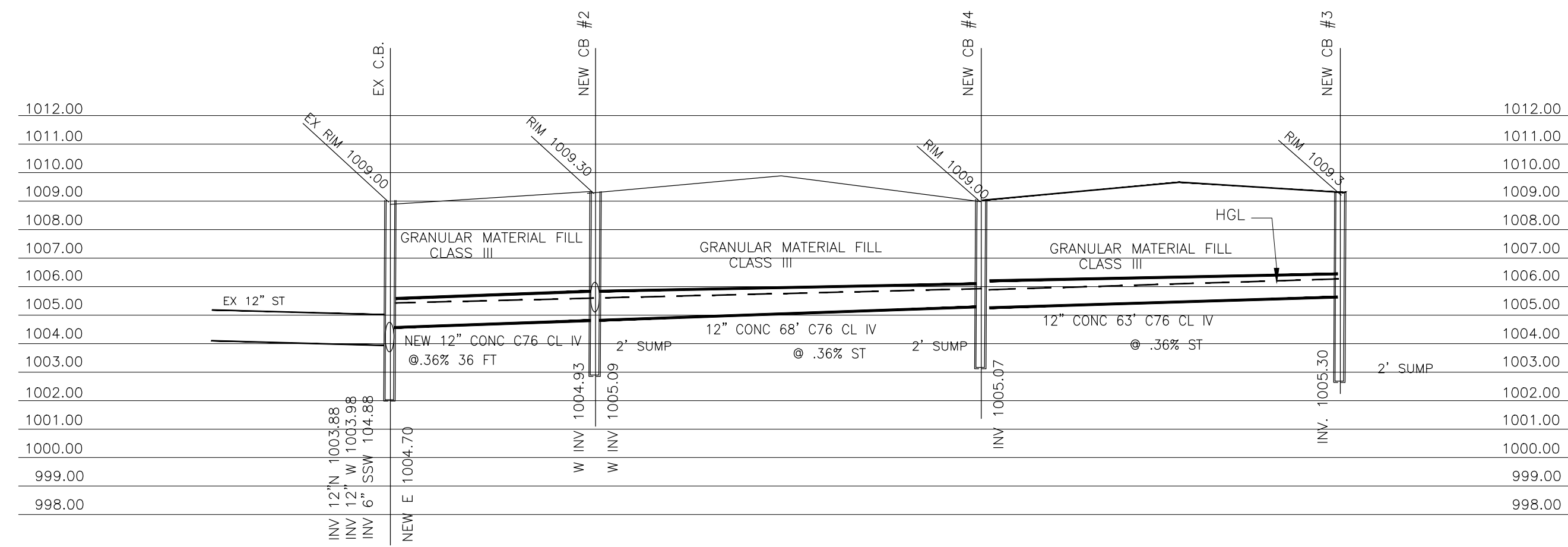
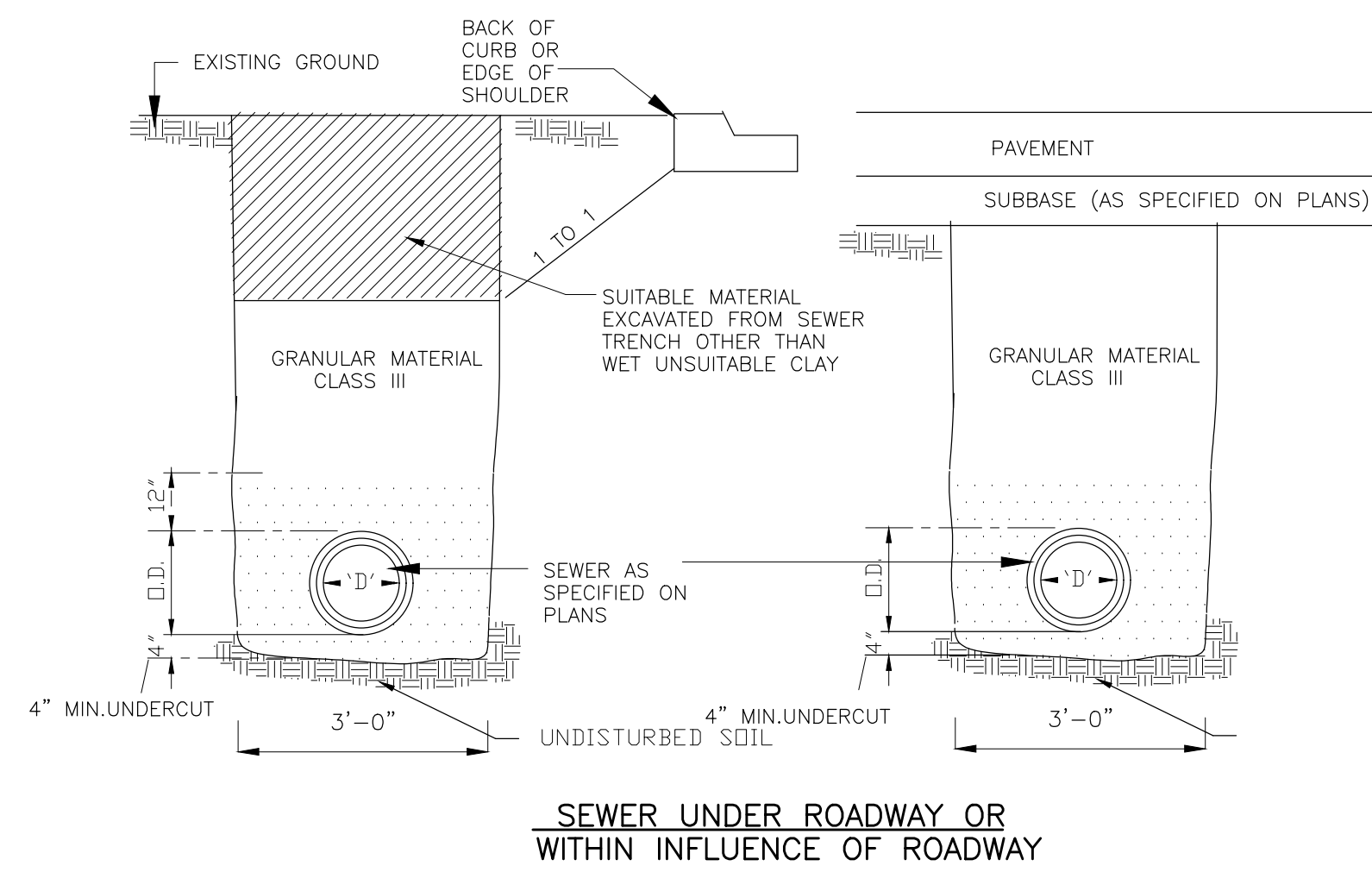
Project:  
 NEW GAS STATION  
 394 N MILFORD ROAD  
 HIGHLAND TWP ,MI  
 OWNER

Drawing Title:  
 DRAINAGE/UTILITIES PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

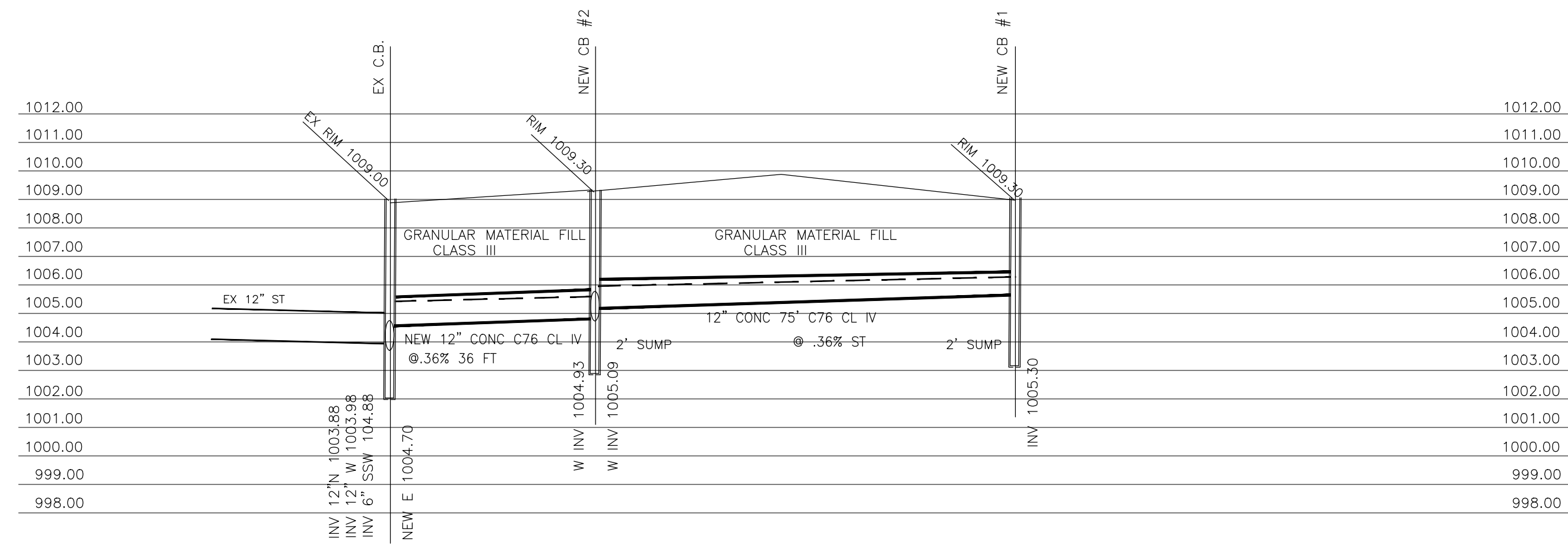
Drawing No.  
 SP-8





STORM PROFILE FROM CB #3 TO EXISTING CB

SCALE: HORIZ. 1"=20'-0"  
VERT. 1"=4'-0"



STORM PROFILE FROM CB #1 TO EXISTING CB

SCALE: HORIZ. 1"=20'-0"  
VERT. 1"=4'-0"

TC = 242 / 60(2.7) = 1.5 MIN

$$T_c = \frac{L}{60V}$$

$$I = \frac{30.20p^{0.22}}{(T_c + 9.17)^{0.81}}$$

Eq. III-7	$I = \frac{30.20p^{0.22}}{(T_c + 9.17)^{0.81}}$
I =	Average rainfall intensity in inches/hour
p =	Design storm return period in years
T <sub>c</sub> =	Time of concentration in minutes

C Values		
Green Space	HSG A	0.15
	HSG B	0.20
	HSG C	0.25
	HSG D	0.30
Impervious Areas		0.95
Water		1.00

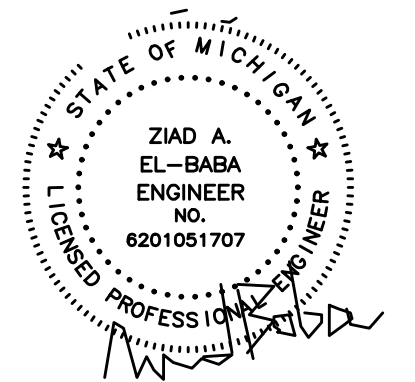
\*HSG = Hydrological Soil Group

STORM CALCULATION:

10 YEAR STORM USE TC = 10 MIN  
 $I_{10} = 30.20(10)^{0.22} / (9.17 + 10)^{0.81} = 4.58$  in/hr

FROM MH	TO MH	AREA ACRES	TOTAL AREA ACRES	C	T	I	Q C.I.A. FT3/S	L FT	D IN.	S SLOPE	Q full FT3/S	V full FT3	INV UPST	INV. DNST	RIM ELEV	H.G. UPPER	RIM - HGL MINIMUM 2.5
CB #1	CB #2	.24 INCL BLDG	.24	.78	.78	10.00	4.58	0.86	75	.32	2.1	2.7	1005.30	1005.09	1009.30	1006.1	3.2
CB #3	CB #4	.13	.13	.67	.67	10.46	4.58	0.40	63	.32	2.1	2.7	1005.30	1005.07	1009.30	1006.1	3.2
CB #4	CB #2	.07	.20	.68	.70	10.46	4.50	0.63	68	.32	2.1	2.7	1005.07	1004.93	1009.00	1005.87	3.13
CB #2	EX CB	.12	.56	.80	.73	10.46	4.46	1.80	36	.32	2.1	2.7	1004.93	1004.70	1009.30	1005.73	3.57

$Q = C \cdot I \cdot A = .73 \cdot 4.58 \cdot 25,500 = 84,800$  FT<sup>3</sup>/S  
 $t = L/V \cdot 60 = 75 / 2.7 \cdot 60 = 1,667$  MIN  
 $T \text{ (START)} = 10 \text{ MIN.}$   
 $n = 0.012$



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HIGHLAND TWP ,MI  
OWNER

Drawing Title:  
DRAINAGE/UTILITIES PLAN

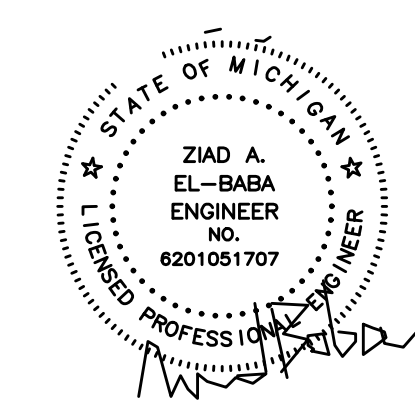
Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.  
SP-9





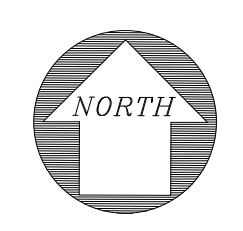
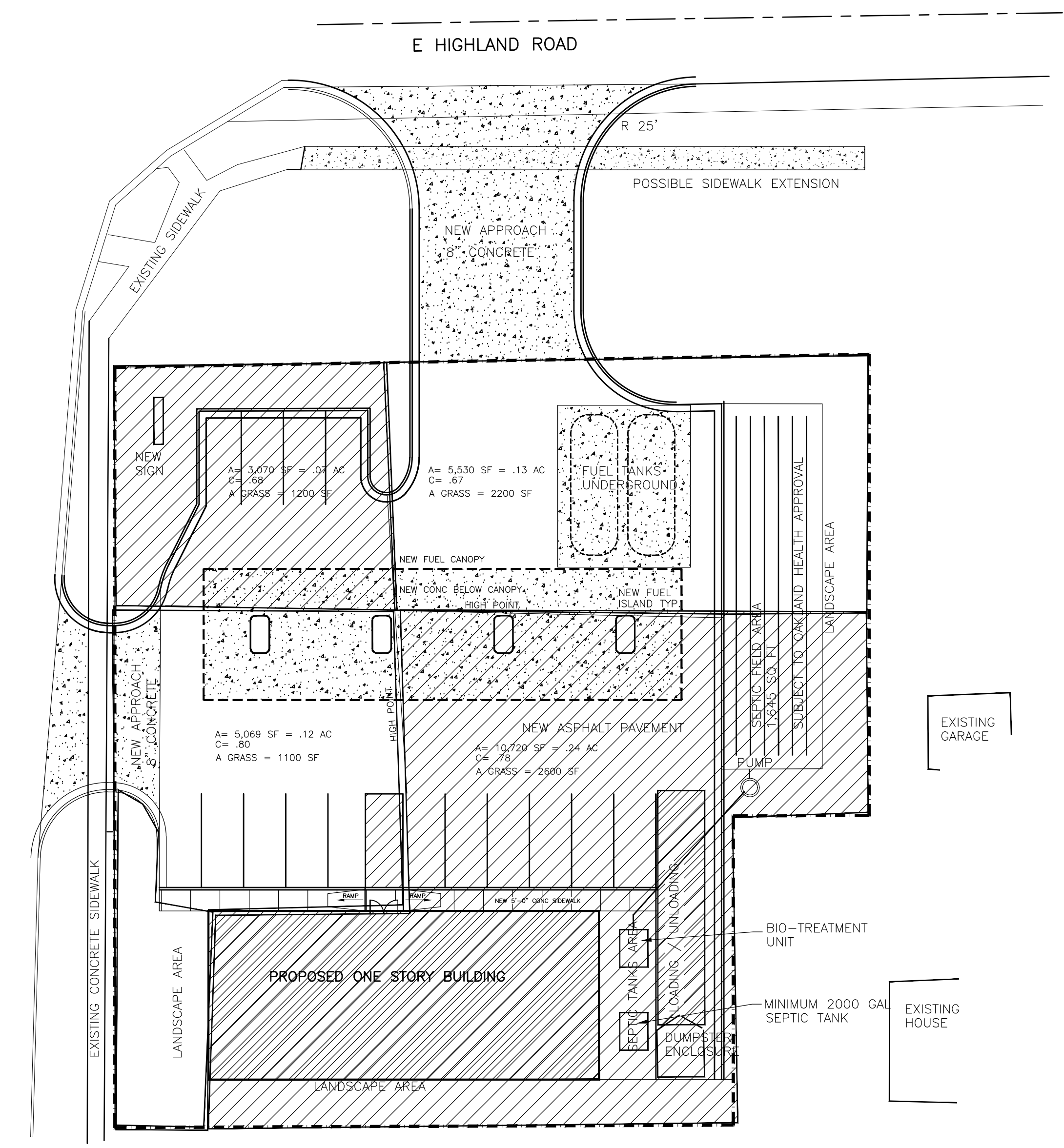
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N MILFORD ROAD  
 EX. CENTERLINE OF ROAD



**DRAINAGE AREAS**  
 SCALE: 1" = 20'-0"

DATE	REV. NO.	ISSUED FOR
JUN.27.24		SITE PLAN

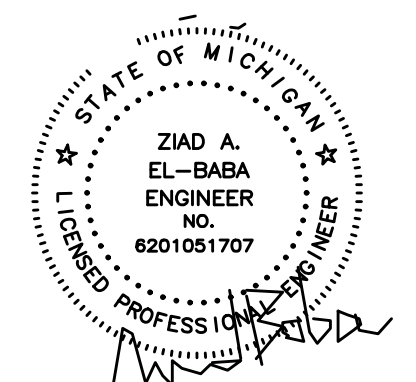
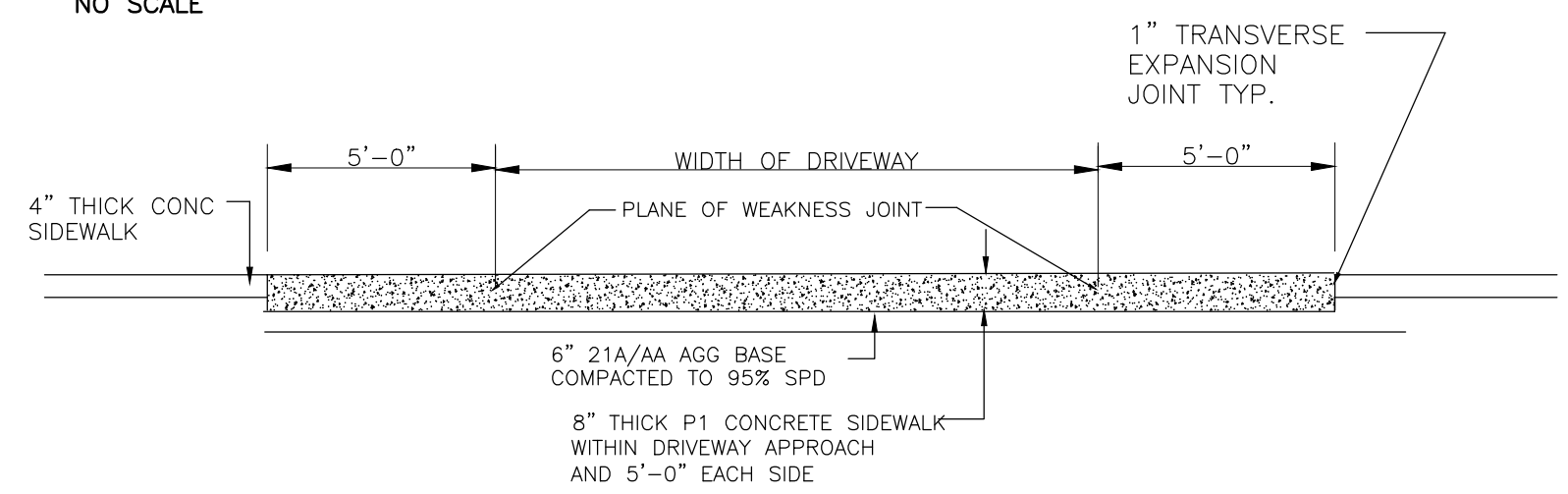
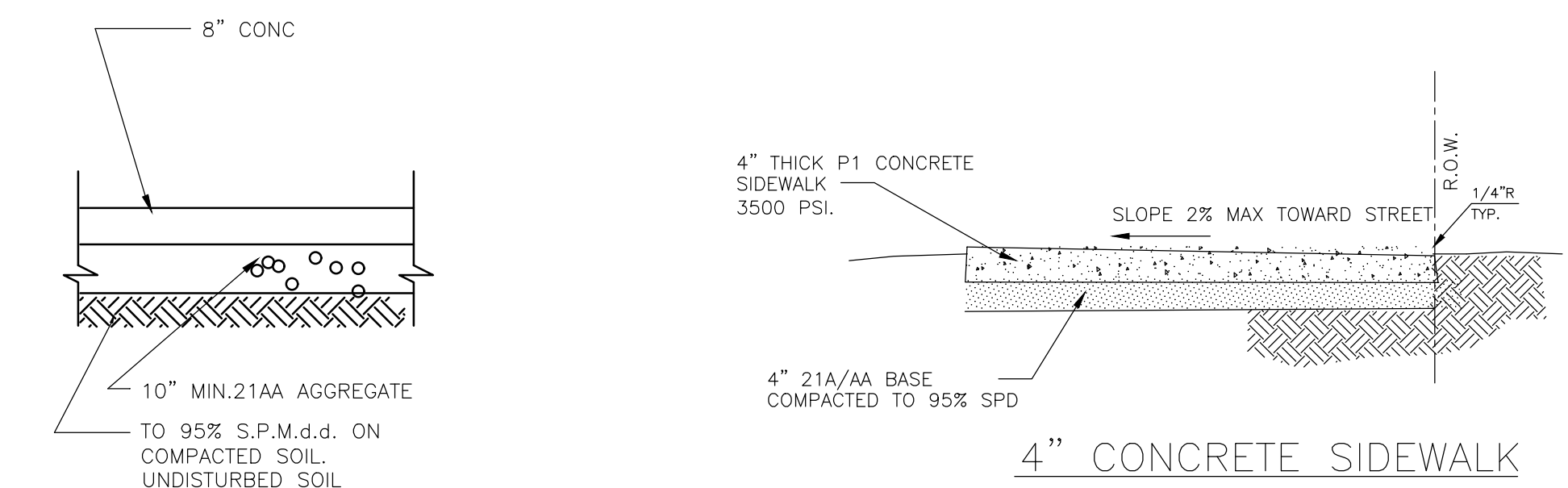
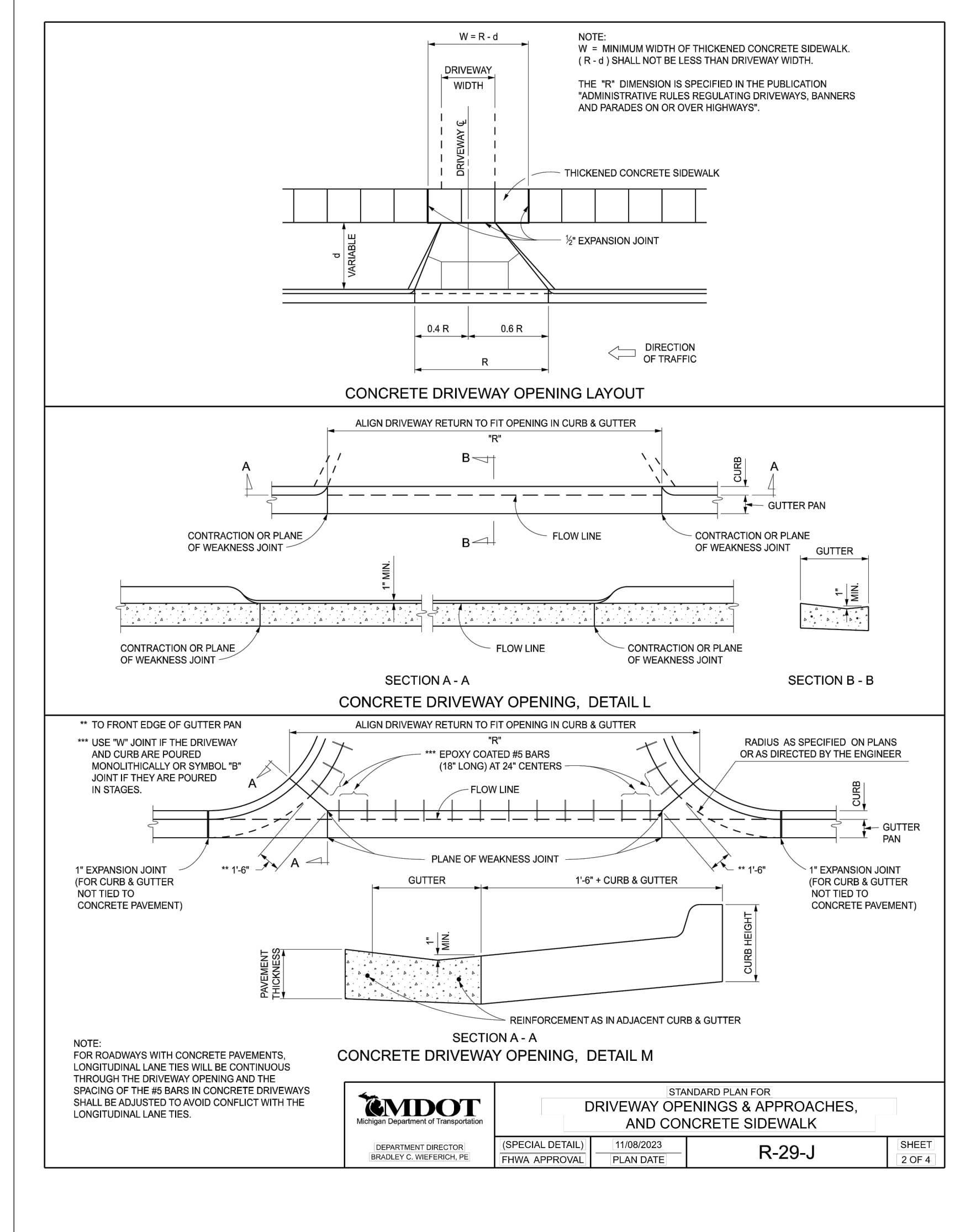
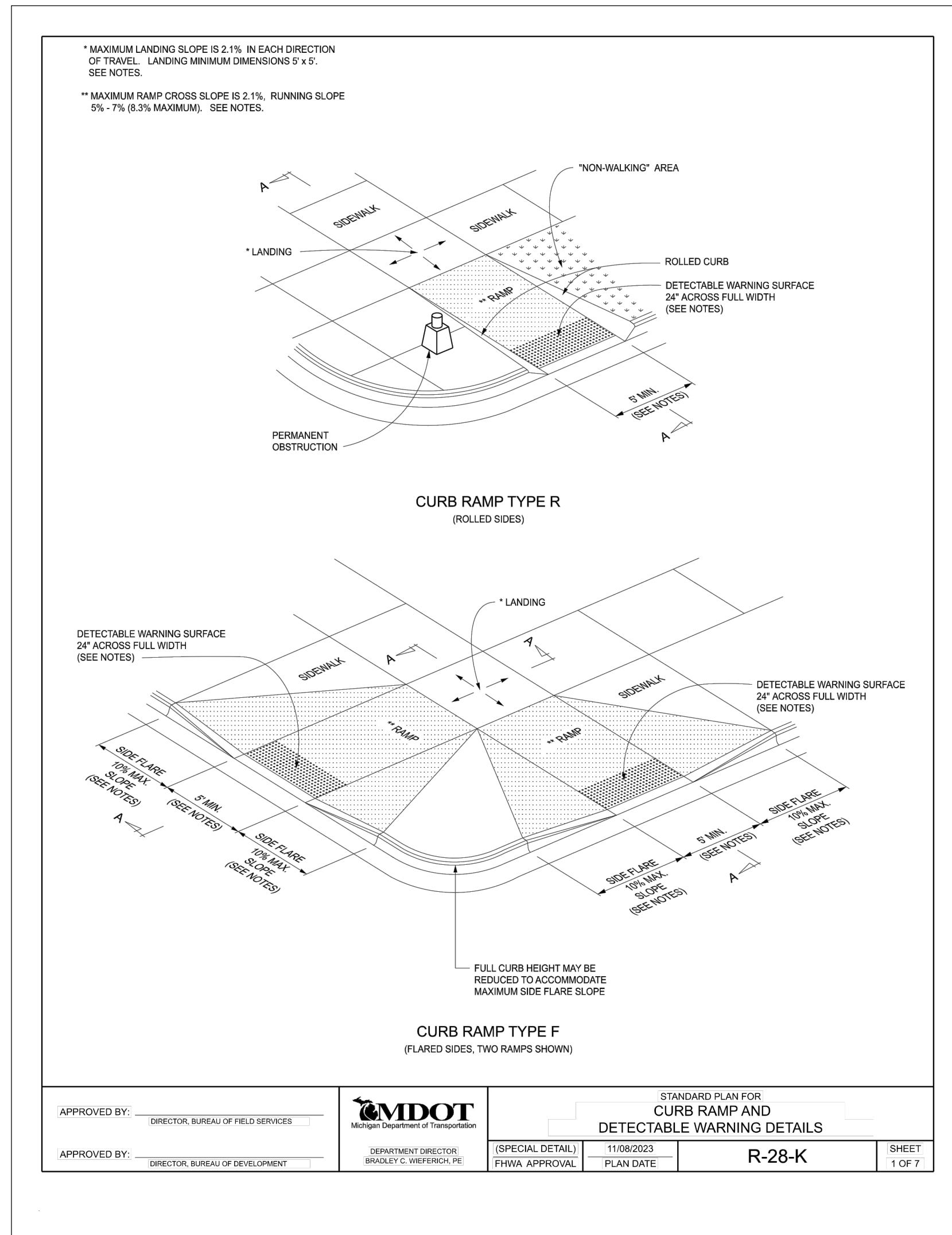
Project:  
 NEW GAS STATION  
 394 N MILFORD ROAD  
 HIGHLAND TWP ,MI  
 OWNER

Drawing Title:  
 DRAINAGE AREAS

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

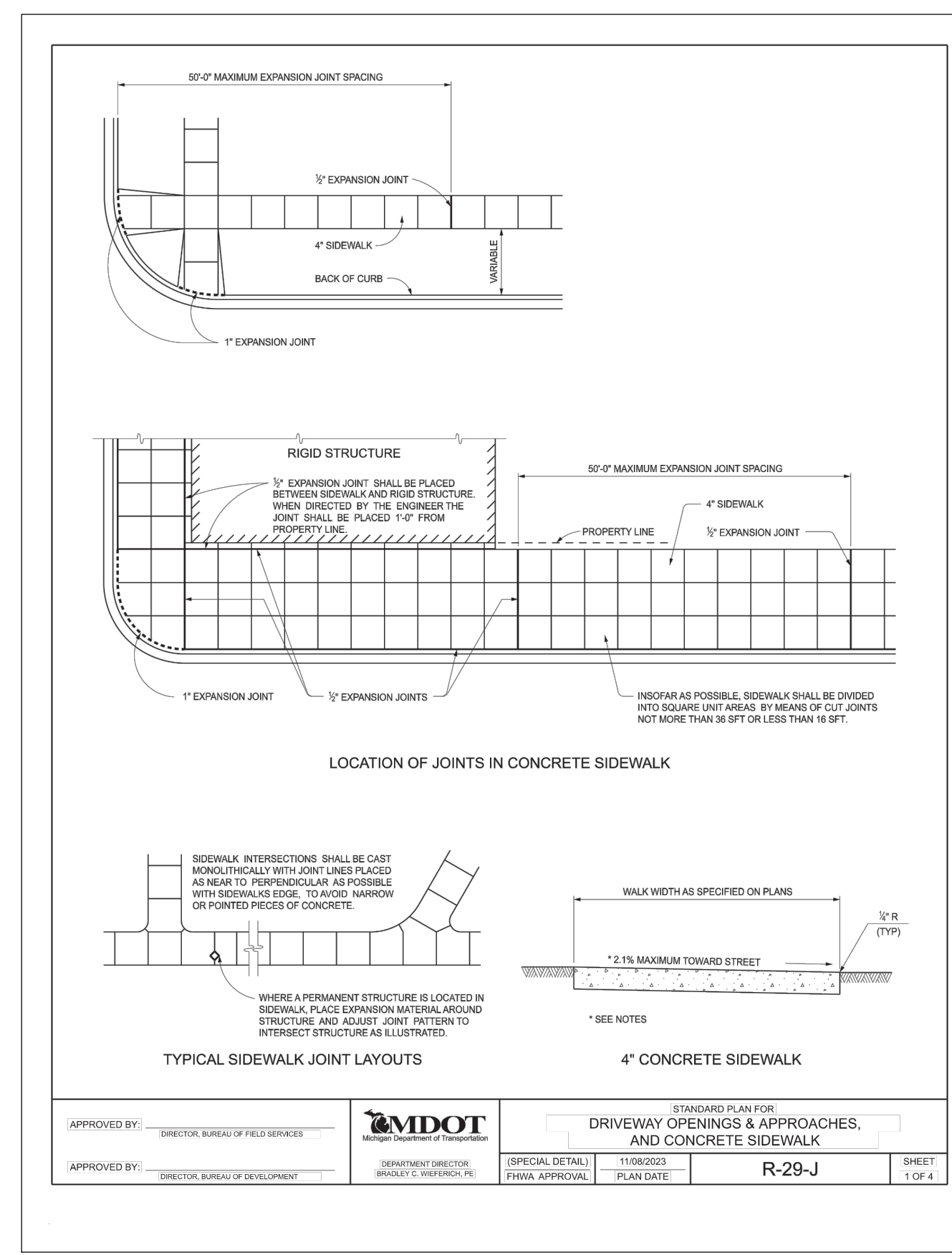
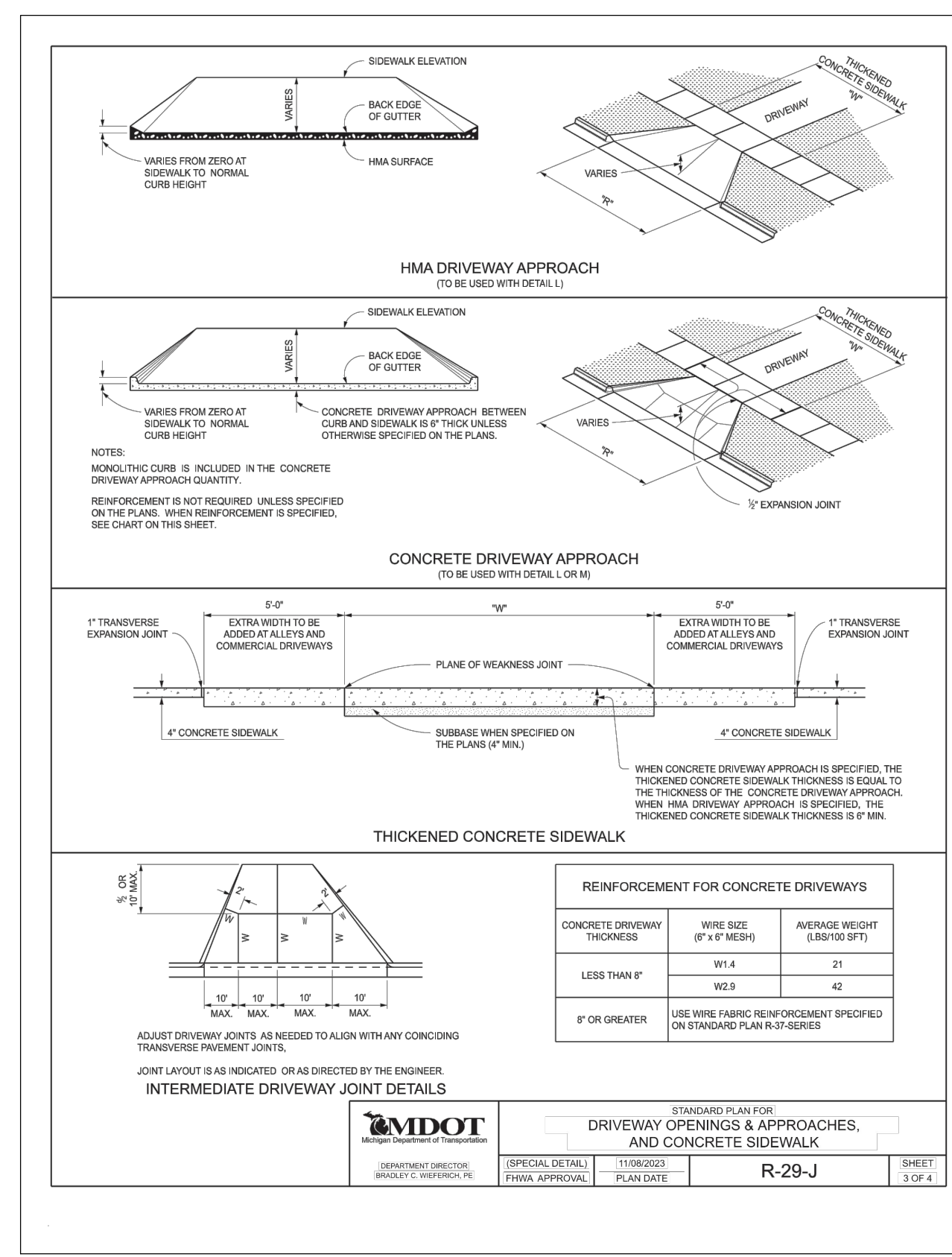
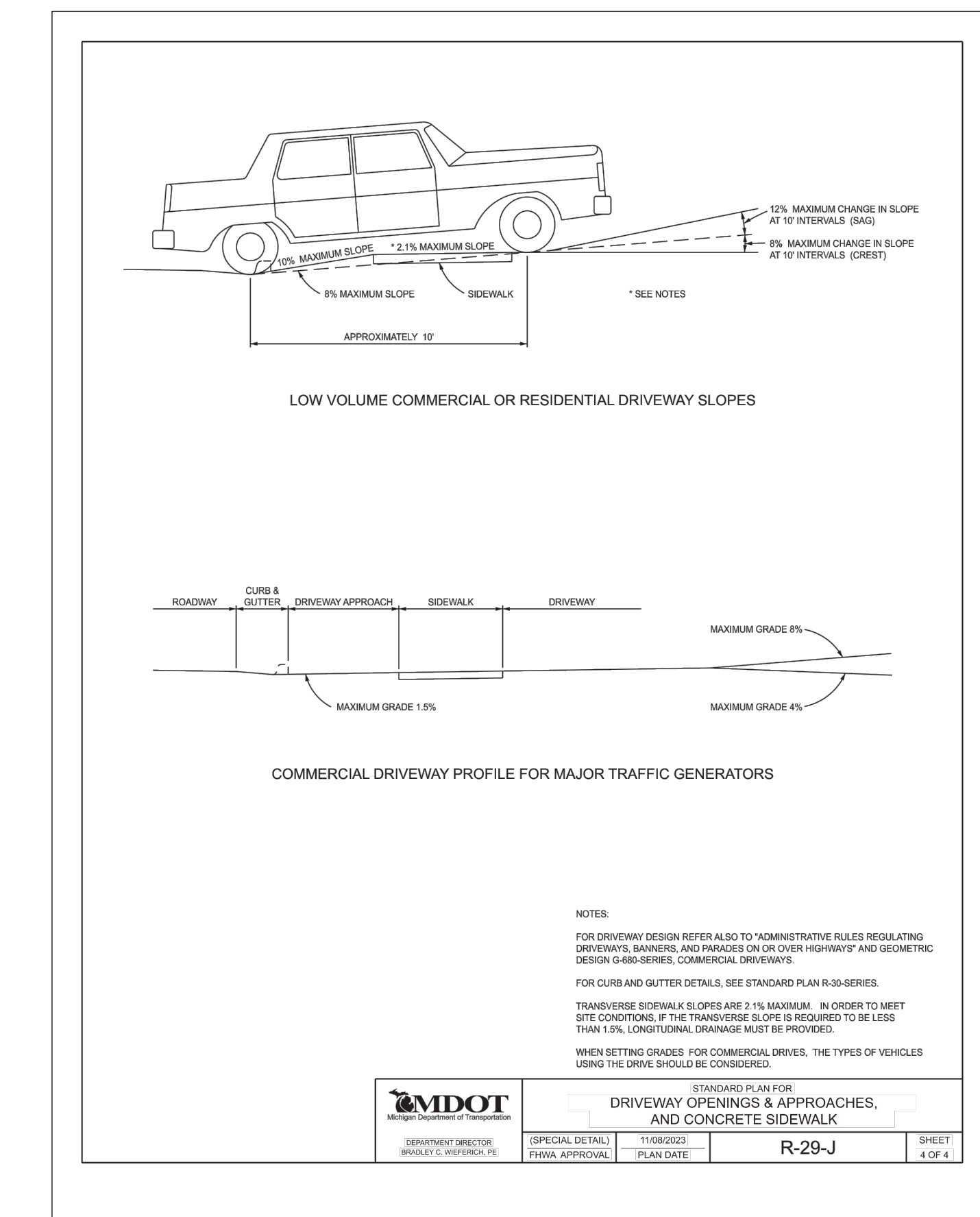
Drawing No.  
 SP-10





**ZIAD EL-BABA ENGINEERING**

674 GAUTHIER  
 TECUMSEH ONTARIO  
 N8N3P8 CANADA  
 CELL: 313-938-8767  
 CELL: 519-796-9882



DATE	REV. NO.	ISSUED FOR
DATE		ISSUED FOR

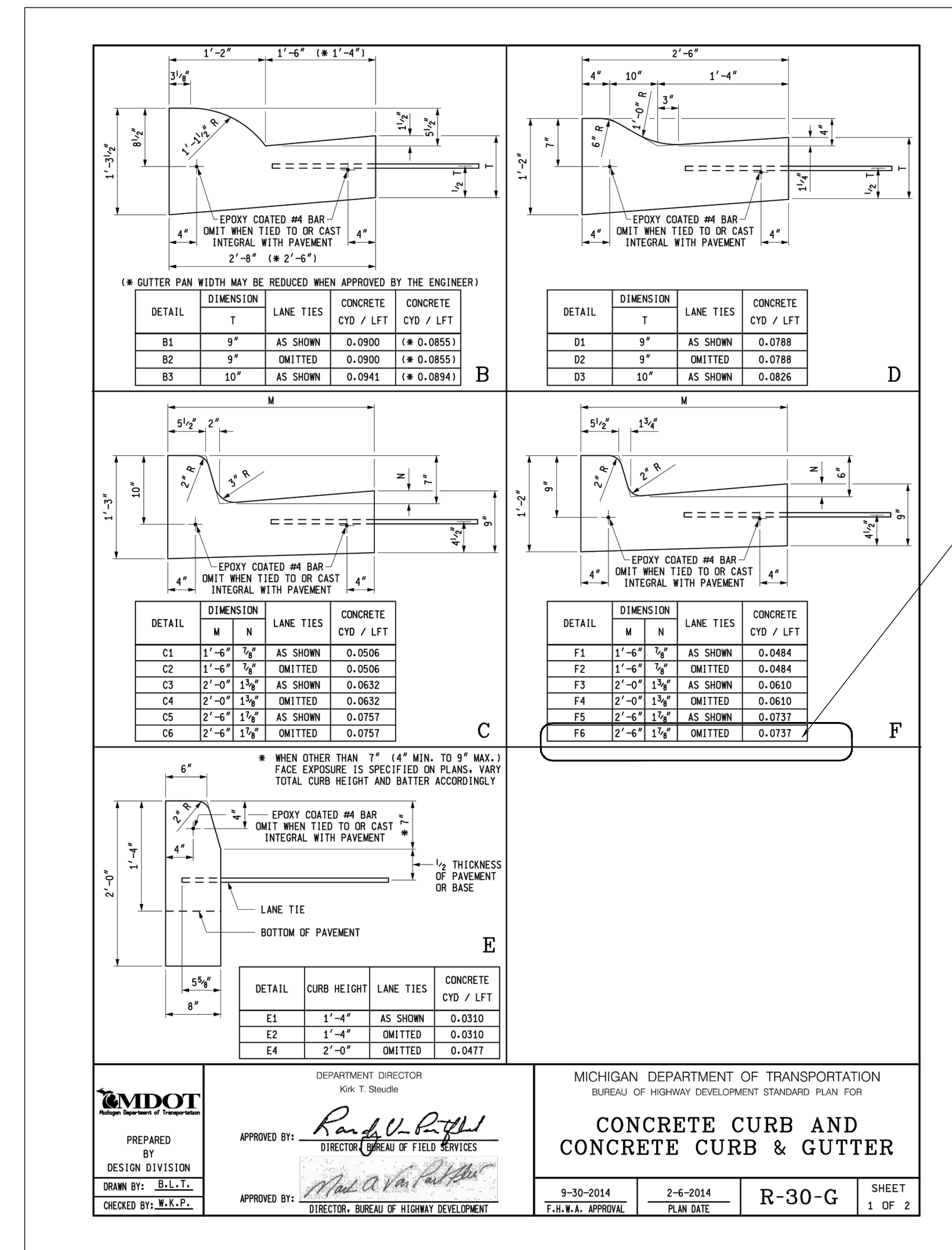
Project:  
 NEW GAS STATION  
 394 N MILFORD ROAD  
 HIGHLAND TWP, MI  
 OWNER

Drawing Title:  
 MDOT DETAILS

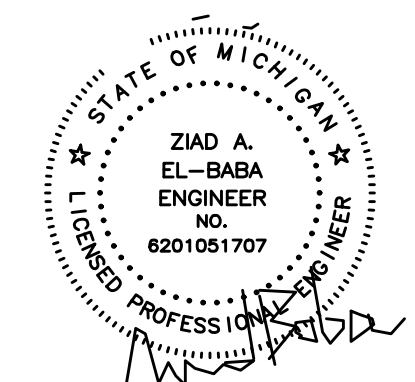
Project Number	Scale	AS NOTED
	Date	
	Drawn By	
	Checked By	

Drawing No.  
 SP-11



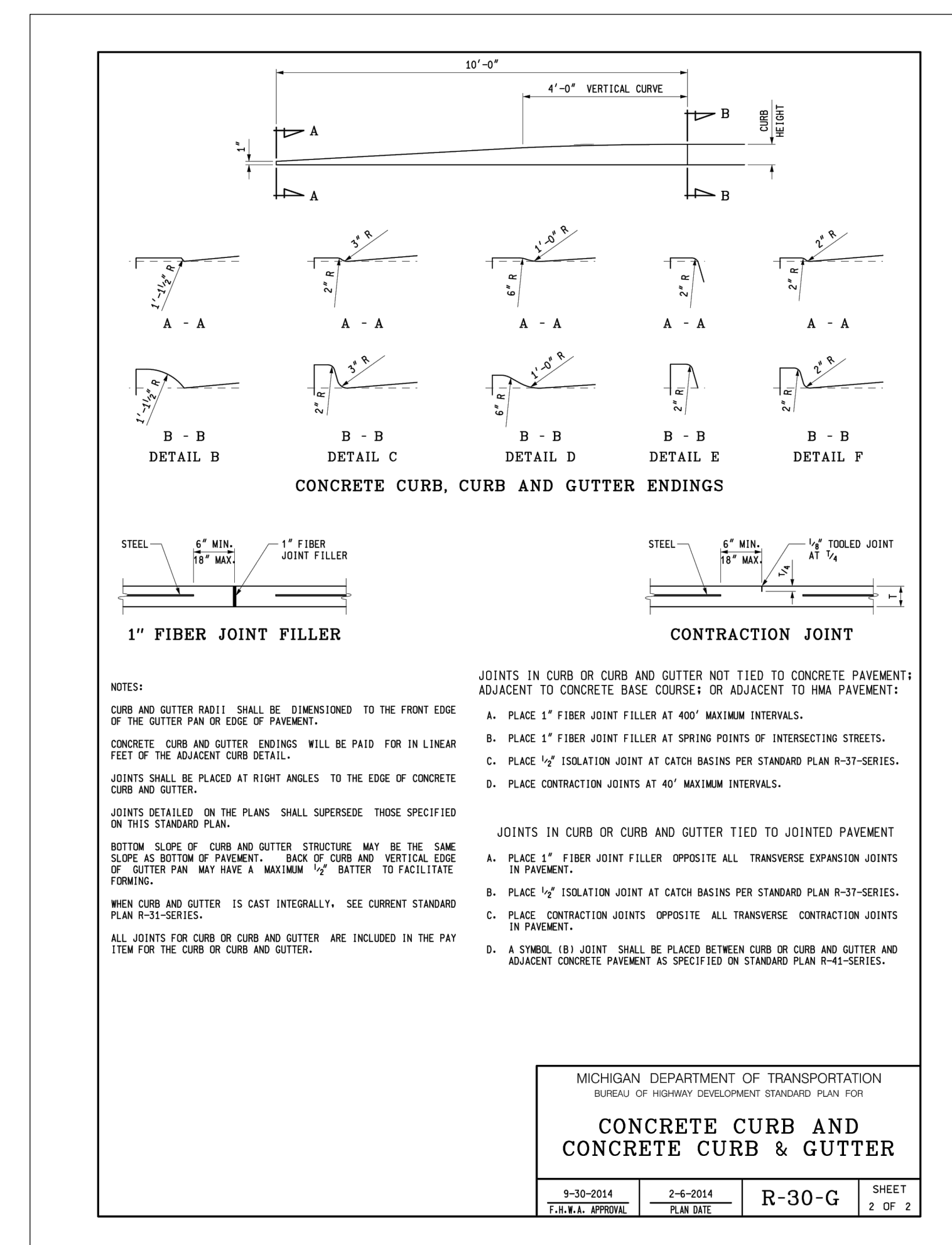
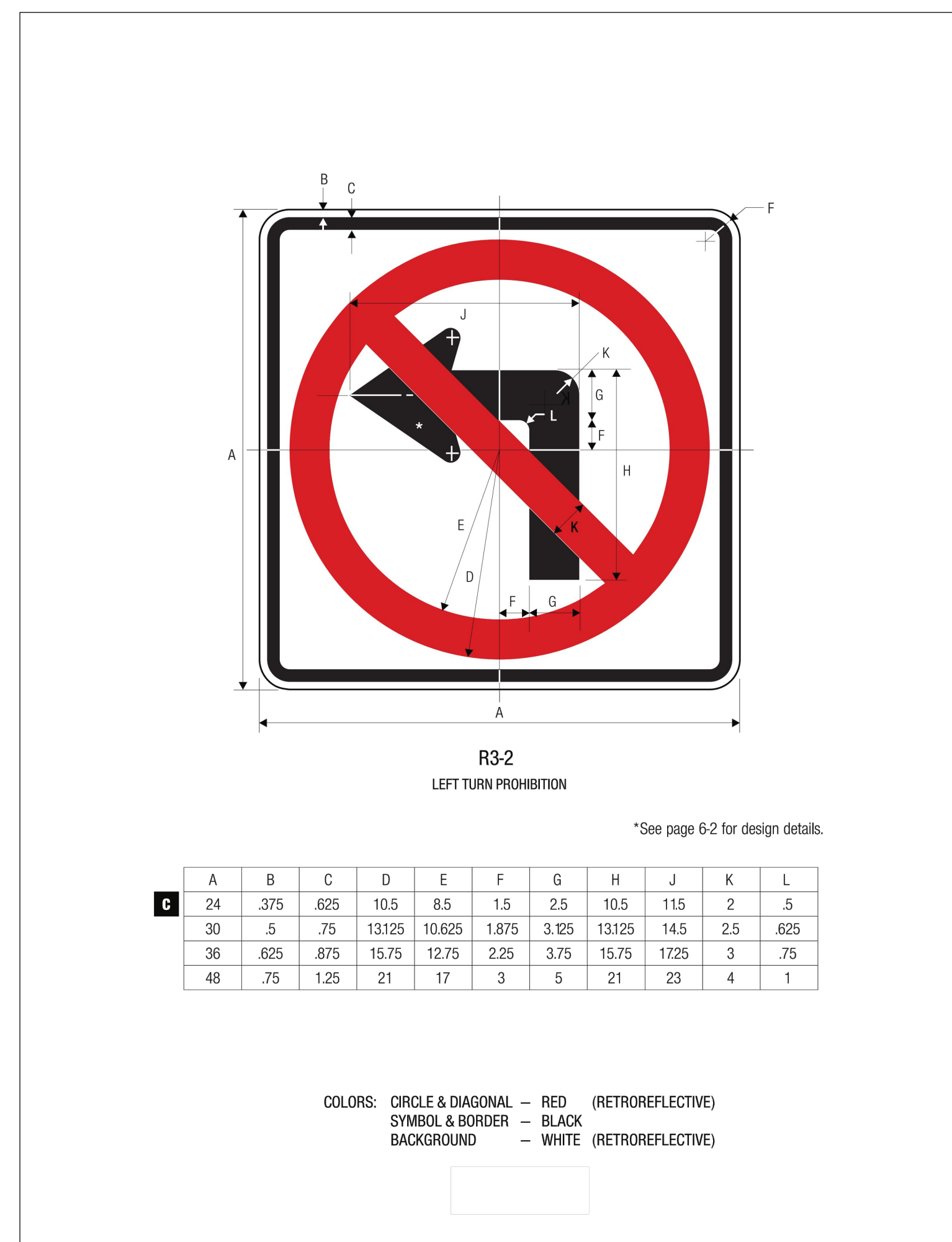


CURB F-6



**ZIAD EL-BABA  
ENGINEERING**

674 GAUTHIER  
TECUMSEH ONTARIO  
N8N3P8 CANADA  
CELL: 313-938-8767  
CELL: 519-796-9882



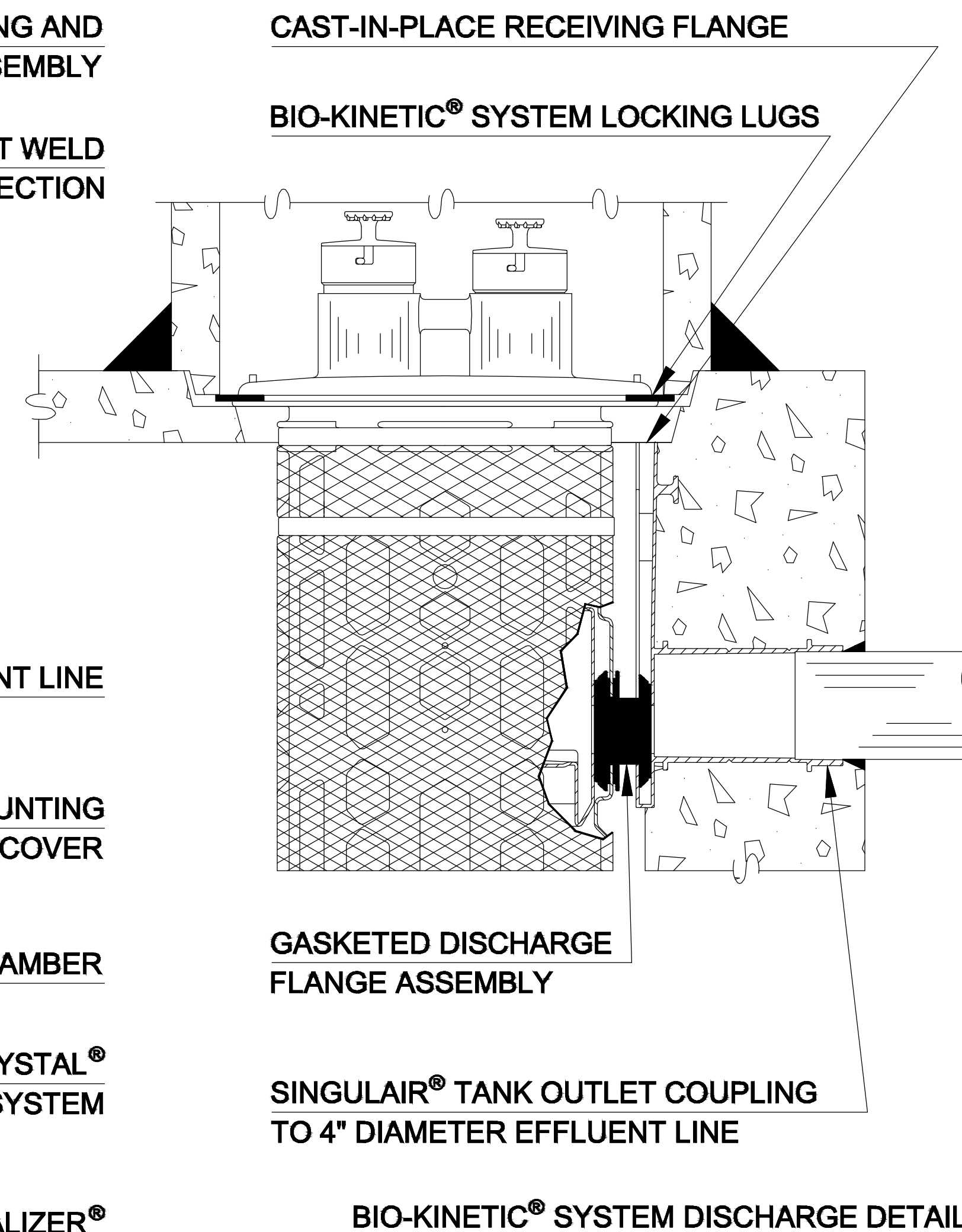
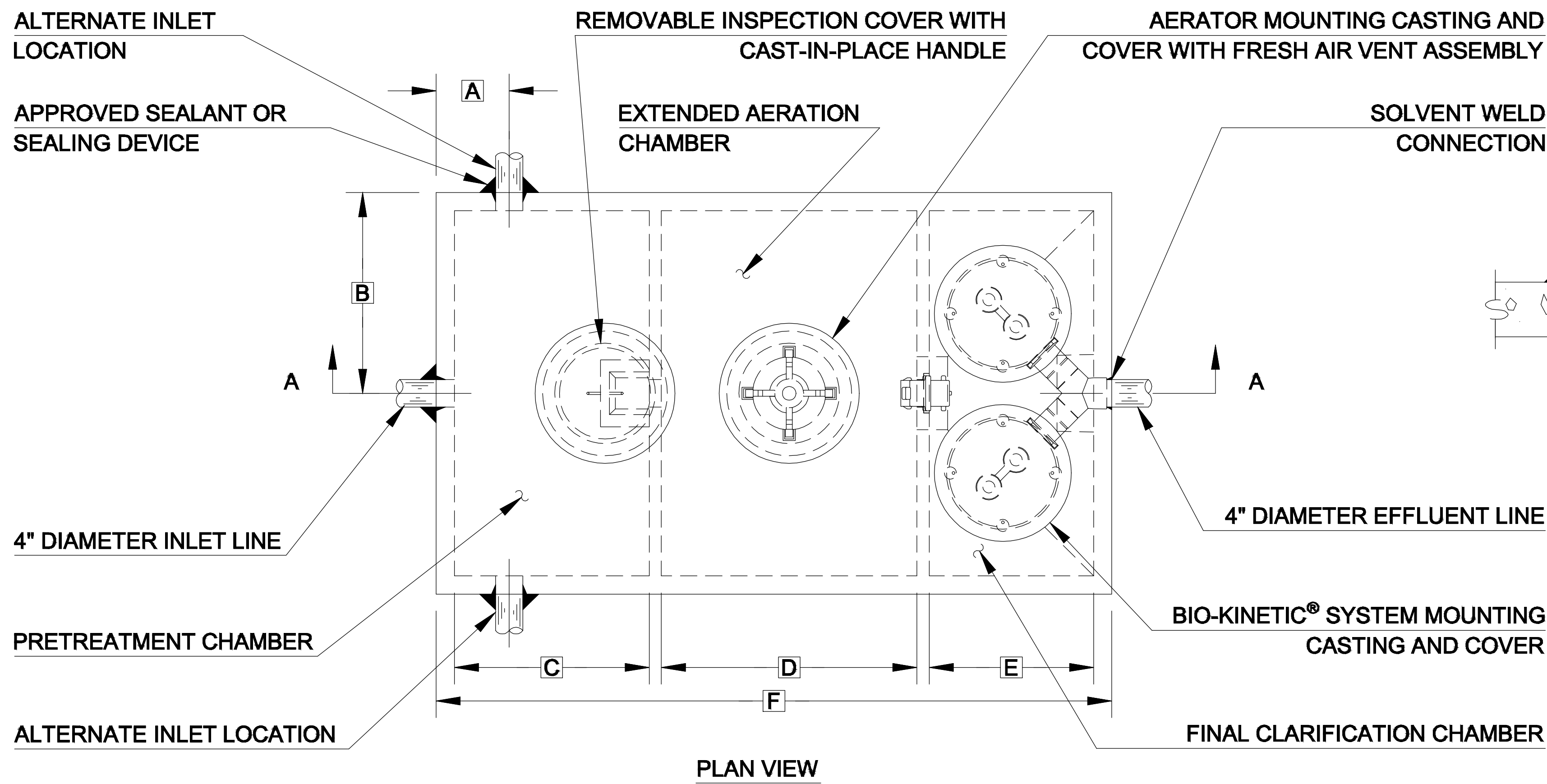
DATE	REV. NO.	ISSUED FOR

Project:  
NEW GAS STATION  
394 N MILFORD ROAD  
HIGHLAND TWP ,MI  
OWNER

Drawing Title:  
MDOT DETAILS

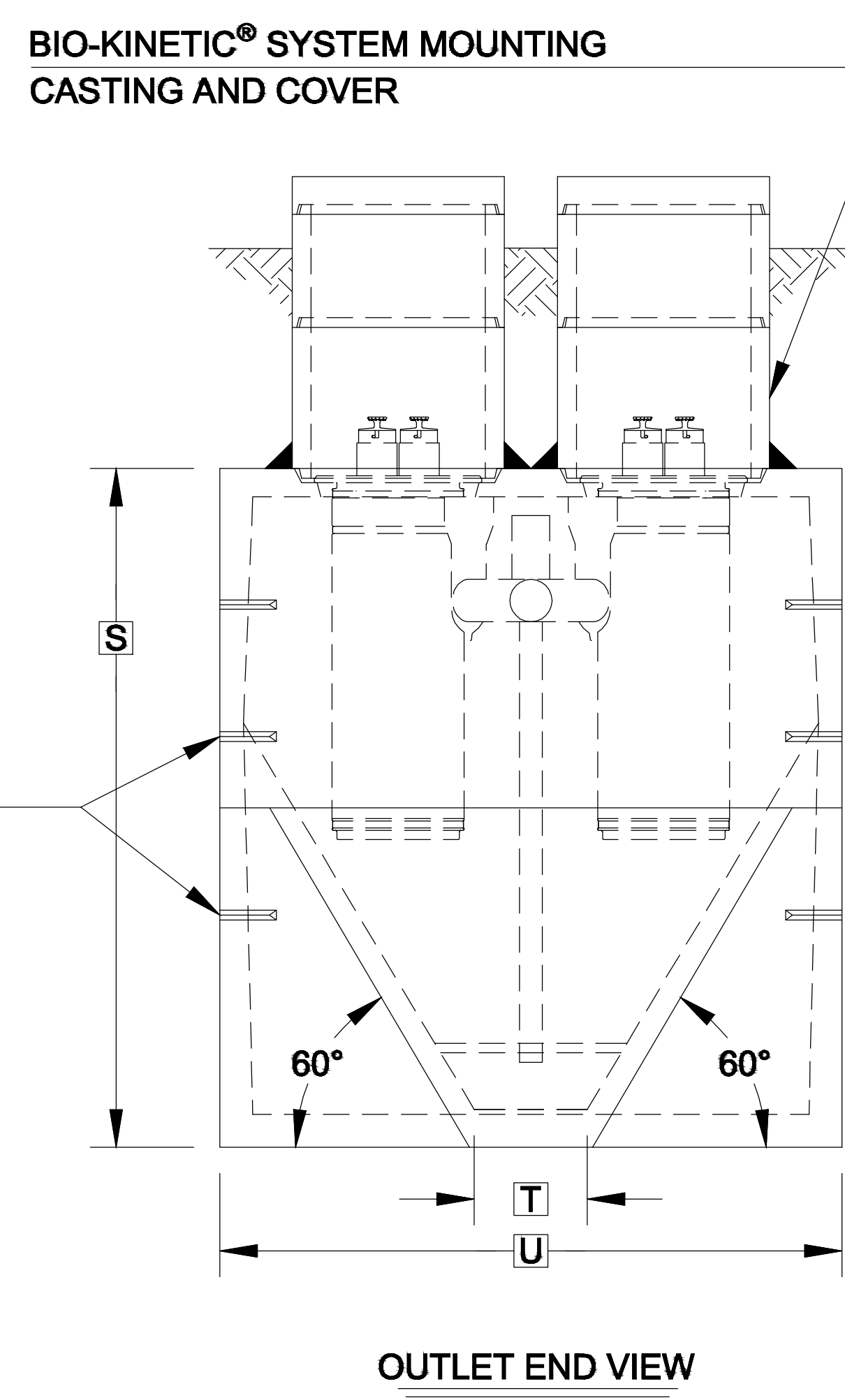
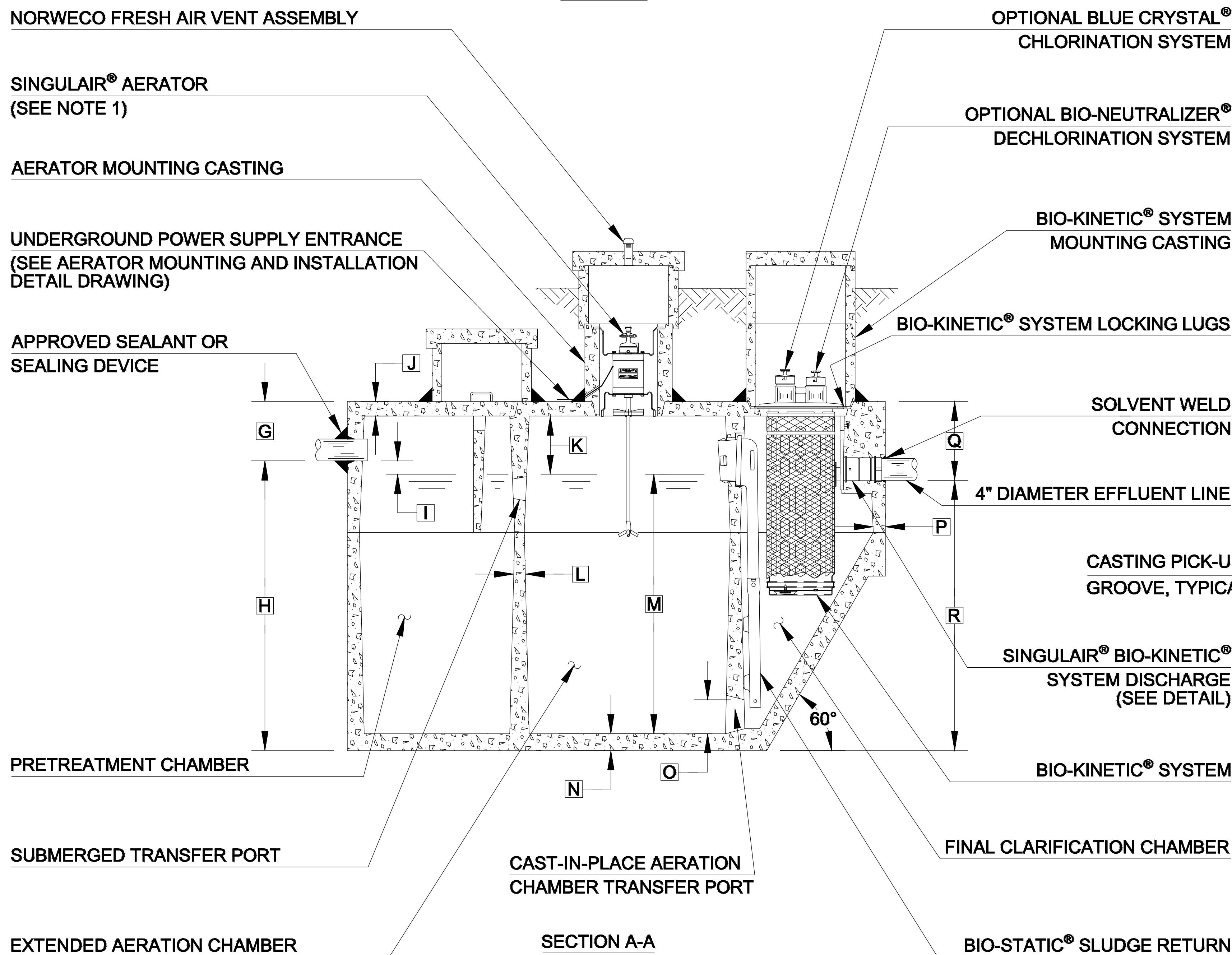
Project Number	Scale	AS NOTED

Drawing No.  
SP-12



**GENERAL NOTES:**

- ① SINGULAIR® AERATOR, AS TESTED AND ACCEPTED BY NSF, OPERATING 60 MINUTES ON / 60 MINUTES OFF.
- ② FALL THROUGH SINGULAIR® PLANT FROM INLET INVERT TO OUTLET INVERT IS FOUR INCHES. INLET INVERT IS TWELVE INCHES BELOW TANK TOP.
- ③ ON DEEPER INSTALLATIONS, PRECAST RISERS MUST BE USED TO EXTEND AERATOR MOUNTING CASTING AND BIO-KINETIC® SYSTEM MOUNTING CASTING TO GRADE. INSPECTION COVER ON PRETREATMENT CHAMBER MUST BE DEVELOPED TO WITHIN TWELVE INCHES OF GRADE.
- ④ TANK REINFORCED PER ACI STD. 318.
- ⑤ REMOVABLE COVERS ON RISERS WEIGH IN EXCESS OF SEVENTY-FIVE POUNDS EACH TO PREVENT UNAUTHORIZED ACCESS.
- ⑥ CONTACT THE LOCAL, LICENSED SINGULAIR® DISTRIBUTOR FOR ELECTRICAL REQUIREMENTS.



NOTE: TOTAL SYSTEM CAPACITY: 1,600 GALLONS  
 RATED CAPACITY: 800 GALLONS PER DAY

**PROJECT ENGINEER'S APPROVAL:**  
 I (WE) HEREBY CERTIFY THAT THIS DRAWING HAS BEEN CHECKED AND IS APPROVED FOR USE IN CONFORMITY WITH THE CONTRACT DOCUMENTS.

DATE: \_\_\_\_\_

NAME: \_\_\_\_\_

**CONTRACTOR'S CERTIFICATION:**  
 I (WE) HEREBY CERTIFY THAT THIS DRAWING HAS BEEN CHECKED AND IS APPROVED FOR USE IN CONFORMITY WITH THE CONTRACT DOCUMENTS.

DATE: \_\_\_\_\_

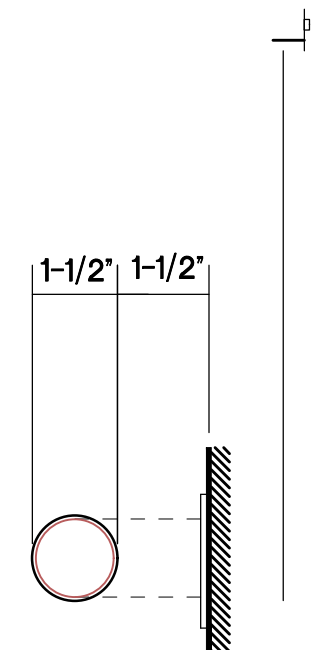
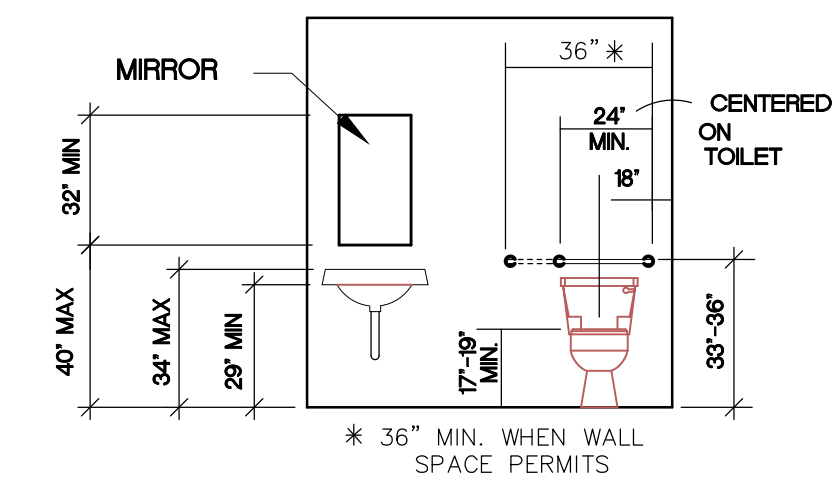
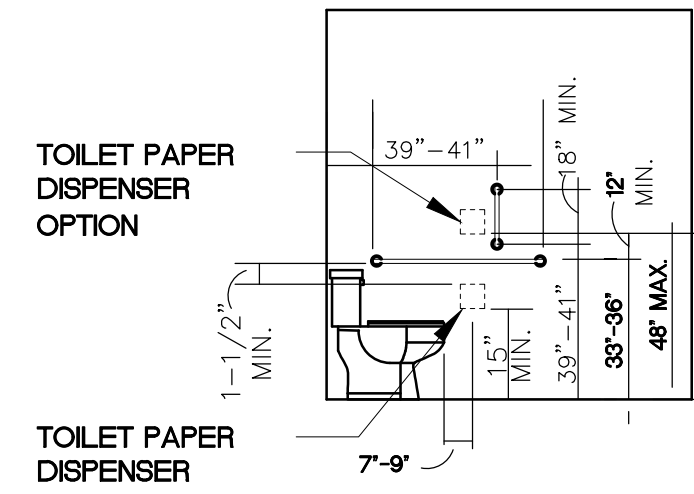
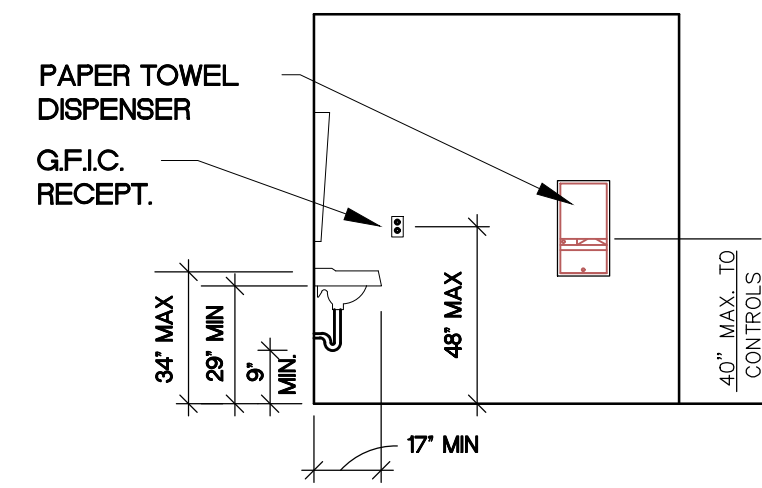
NAME: \_\_\_\_\_

CRITICAL DIMENSIONS			
A	1'-0"	N	0'-3"
B	2'-9"	O	0'-6"
C	2'-8"	P	0'-2 1/2"
D	3'-7"	Q	1'-4"
E	2'-3"	R	5'-8"
F	9'-3"	S	7'-0"
G	1'-0"	T	1'-0"
H	6'-0"	U	5'-6"
I	0'-3"	V	
J	0'-3"	W	
K	1'-0"	X	
L	0'-2"	Y	
M	5'-6"	Z	

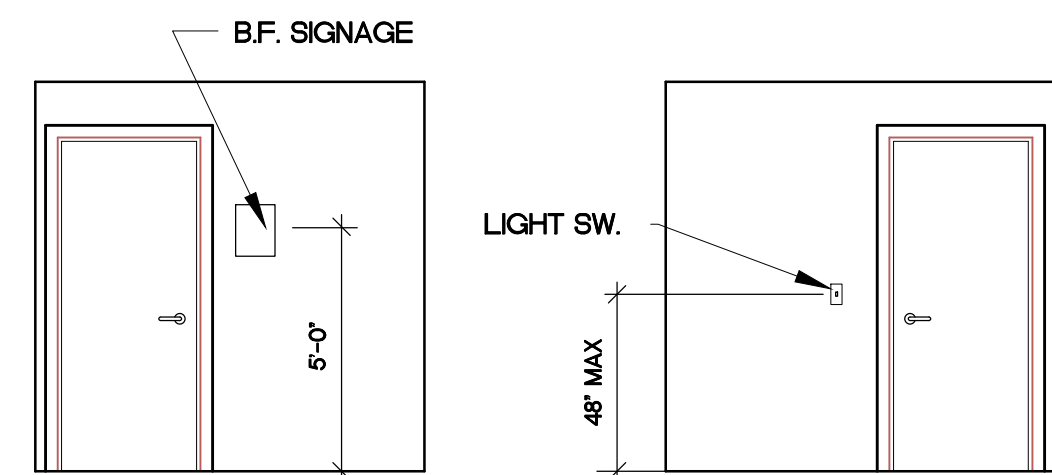
U.S. AND FOREIGN PATENTS PENDING	<b>norweco</b>	REVISION DATE	6-21-07	REVISION	B
		DRAWN BY	BDS	APPROVED BY	JMM
	SINGULAIR® BIO-KINETIC® WASTEWATER TREATMENT SYSTEM MODEL TNT - 750 GPD	DATE	2-16-06	SCALE	NTS
© MMVII				DRAWING NO.	PC-5-7066

THIS DRAWING IS THE PROPERTY OF NORWECO WASTEWATER EQUIPMENT COMPANY AND MAY NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION FROM NORWECO.

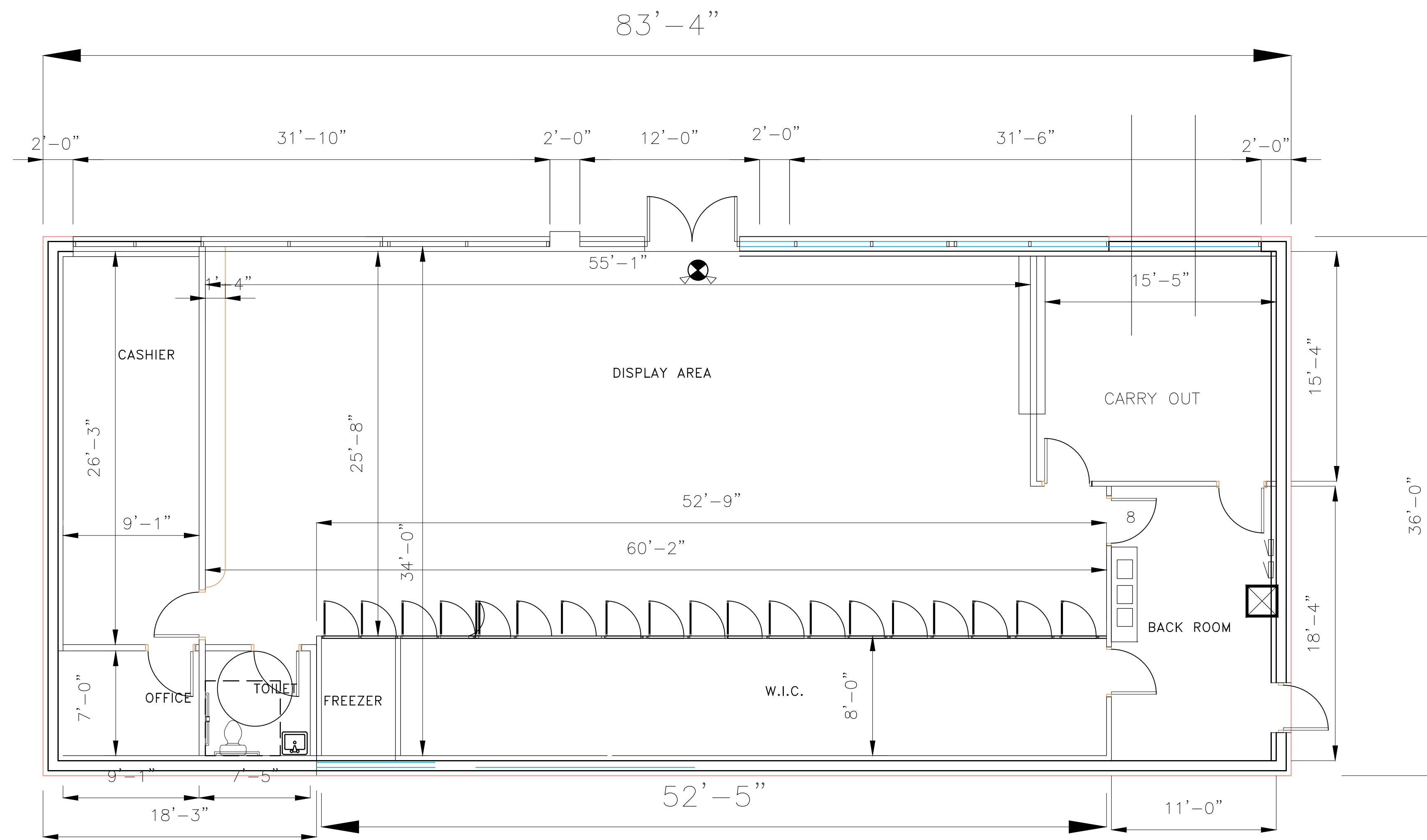




GRAB BAR  
DETAIL



TYPICAL BARRIER FREE STANDARDS  
SINGLE OCCUPANCY (NOT TO SCALE)



**FLOOR PLAN**

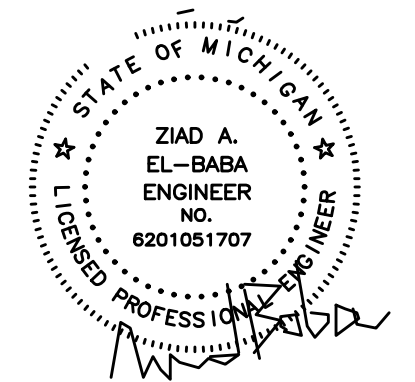
SCALE: 3/16" = 1'-0"

USE GROUP M  
CONSTRUCTION III B

NEW BUILDING AREA 3000 SQ.FT.  
BUILDING IS NOT SPRINKLERED

FOR EMERGENCY LIGHTS AND EXIT LIGHTS SEE ALSO DWG E-1  
"EM" EMERGENCY LIGHTING UNIT WITH SEALED BATTERY  
TEST SWITCH AND READY LIGHT 120VAC OPERATION  
LITHONIA CAT# ELU-2H OR APPROVED EQUAL  
DURATION NOT LESS THAN 90 MIN IN THE EVENT OF POWER LOSS  
"X" EXIT LIGHT STENCIL FACE 6" HIGH RED  
LETTERS SEALED BATTERY.  
LITHONIA CAT# ESIR-ELC OR APPROVED EQUAL  
DURATION NOT LESS THAN 90 MIN IN THE EVENT OF POWER LOSS

CODE COMPLIANCE  
ALL WORK MUST CONFORM TO  
2015 MICHIGAN BUILDING CODE  
2018 INTERNATIONAL FIRE CODE  
2015 MICHIGAN MECHANICAL CODE  
2018 MICHIGAN PLUMBING CODE  
2018 NATIONAL ELECTRIC CODE WITH PART 8 RULES  
ANSI 117.1-2015 ( ACCESSIBILITY)  
ASHRAE 90.1 - 1999



**ZIAD EL-BABA  
ENGINEERING**

674 GAUTHIER  
TECUMSEH ONTARIO  
N8N3P8 CANADA  
CELL : 313-938-8767  
CELL - 519-796-9882

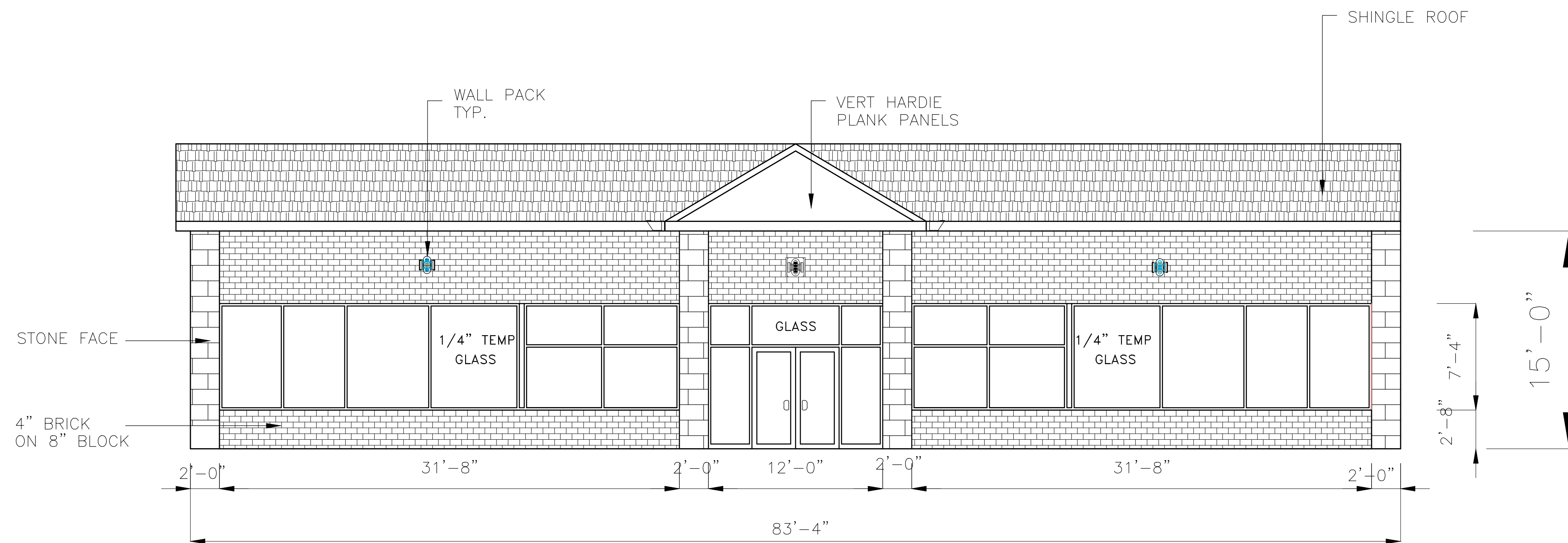
DATE	REV. NO.	ISSUED FOR
JUN.27.24		SITE PLAN

Project:  
NEW GAS STATION  
394 N MILFORD ROAD  
HIGHLAND TWP ,MI  
OWNER

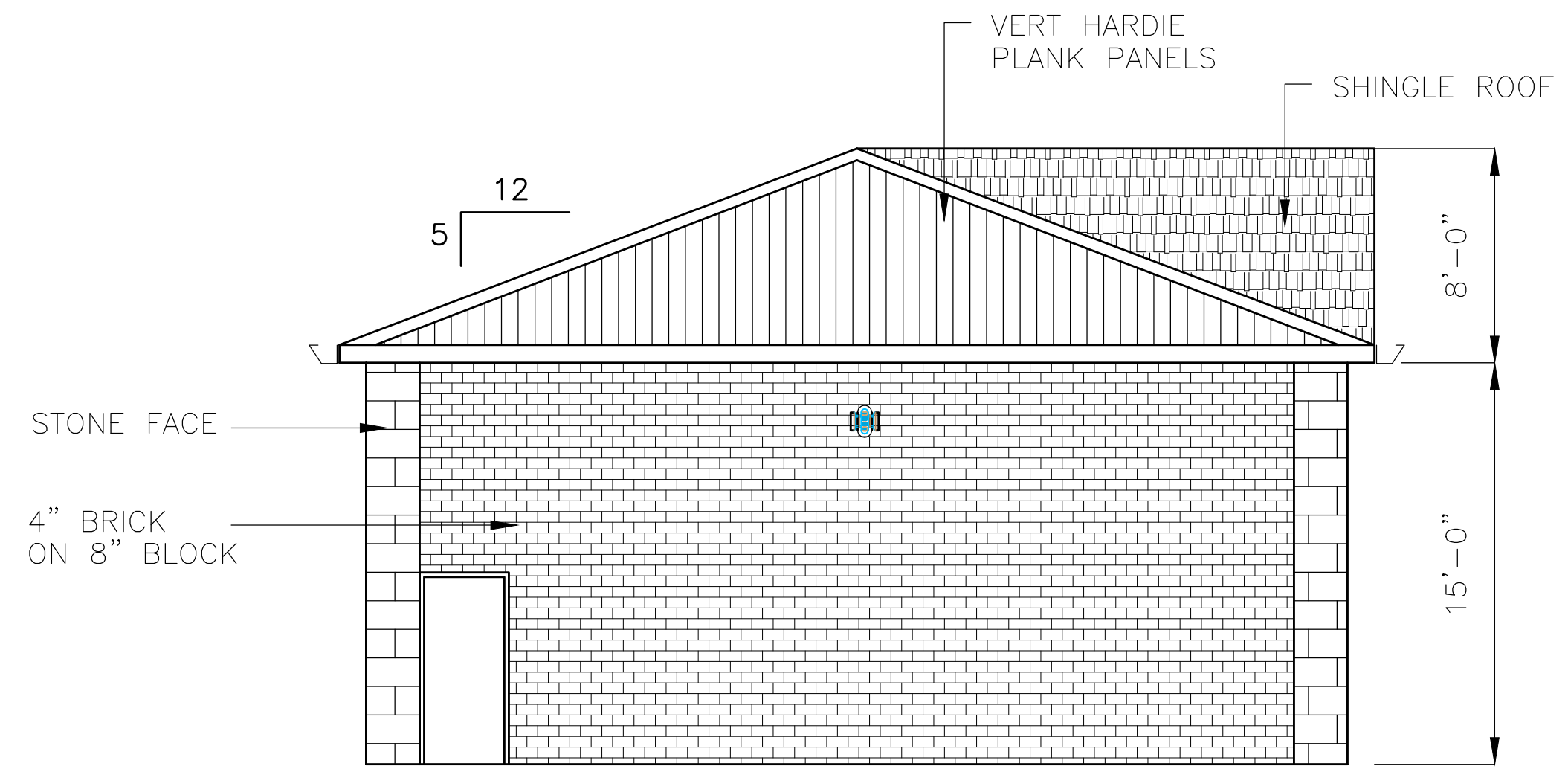
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FLOOR PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

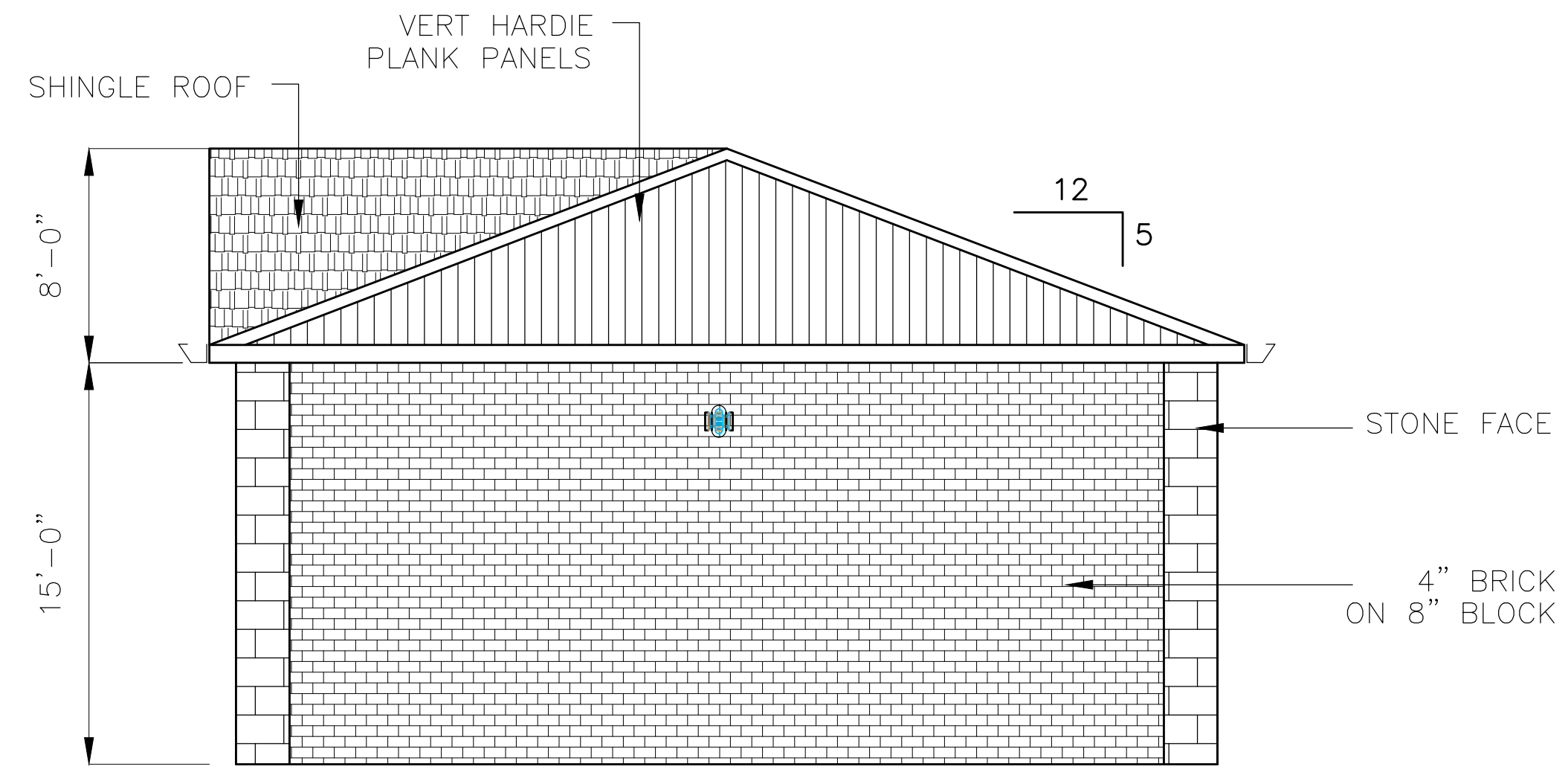
Drawing No.  
A-1



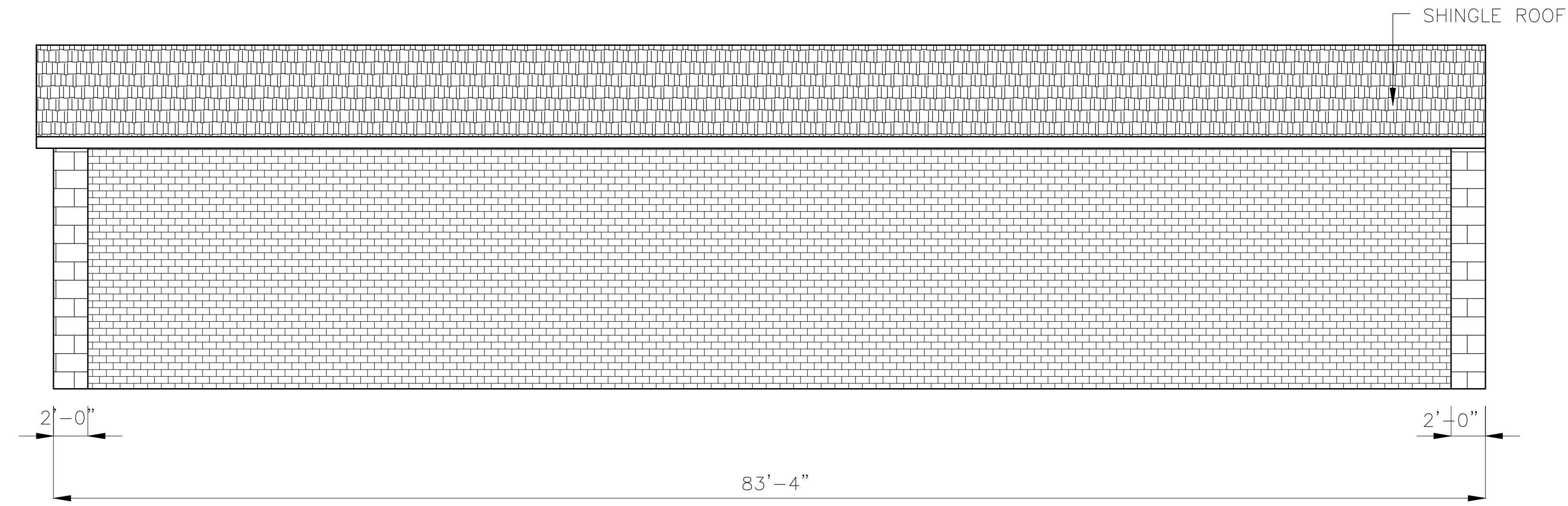
**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



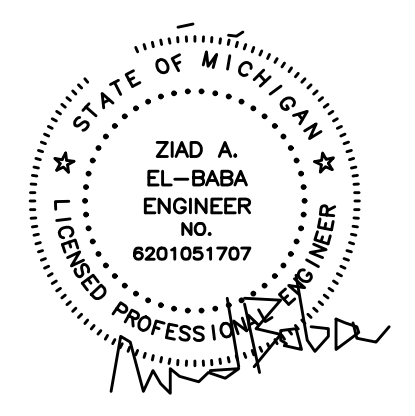
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**ZIAD EL-BABA ENGINEERING**

674 GAUTHIER  
TECUMSEH ONTARIO  
N8N3P8 CANADA  
CELL : 313-938-8767  
CELL - 519-796-9882

DATE	REV. NO.	ISSUED FOR
JUN.27.24		SITE PLAN

Project:  
NEW GAS STATION  
394 N MILFORD ROAD  
HIGHLAND TWP ,MI  
OWNER

Drawing Title:  
ELEVATIONS

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.  
A-2

**CHARTER TOWNSHIP OF HIGHLAND  
ORDINANCE NO. Z-031**

AN ORDINANCE TO AMEND THE CHARTER TOWNSHIP OF HIGHLAND ZONING ORDINANCE (CHAPTER 25 OF THE GENERAL CODE OF ORDINANCES) BY REVISING ARTICLE 2, RULES OF CONSTRUCTION AND DEFINITIONS TO AMEND DEFINITION OF “GAS STATION” ; ARTICLE 4, DISTRICT REGULATIONS TO ALLOW FOR GAS STATIONS AND DRIVE THRU WINDOWS FOR HS, HIGHLAND STATION BUSINESS DISTRICT WITH SPECIAL APPROVAL; ARTICLE 9, DISTRICT SPECIFIC PROVISIONS TO MODIFY SIGNAGE REGULATIONS FOR HIGHWAY ORIENTED BUSINESSES IN HS DISTRICT; ARTICLE 10, SUPPLEMENTAL USE REGULATIONS TO PROVIDE REGULATION RELATIVE TO GAS STATIONS ON HIGHWAY ORIENTED PARCELS IN HS DISTRICT; AND ARTICLE 13, LIGHTING TO ADD REGULATIONS REGARDING CANOPY LIGHTING.

THE CHARTER TOWNSHIP OF HIGHLAND ORDAINS:

**Section 1. Amend Article 2. RULES OF CONSTRUCTION AND DEFINITION** *as follows:*

*Replace Section 2.02 – Definitions beginning with the letter “A” definition of Automobile gas station with the following:*

Automobile gas station. A building or premises for the sale of vehicular fuels. The premises may also include electric vehicle charging stations. Automobile gas stations may sell oil, coolants, wiper fluids and similar automotive accessories and provide equipment for use by customers such as vacuums and air compressors to fill vehicle tires. Gas stations do not include automotive repair facilities. Gas Stations typically include sales of convenience foods and beverages and may be a component of a multiple use facility such as a retail strip center or restaurant.

**Section 2. Amend Article 4. DISTRICT REGULATIONS** *as follows:*

*Amend Section 4.12 B. Permitted uses, subsection 12 as follows:*

12. Restaurants and food-related activities, ~~not to exceed three thousand (3000) square feet maximum.~~

*Amend Section 4.12 C. Special land uses by adding new subsection as follows:*

4. Gas Stations, subject to Section 10.35. Drive-throughs for associated food services are permitted only if explicitly included in the special use approval.

**Section 3. Amend ARTICLE 9. DISTRICT SPECIFIC REGULATIONS** *as follows:*

*Amend Section 9.05. Highland Station District. as follows:*

*Amend Section B.4 Dimensional Requirements as follows:*

4. The maximum height for accessory structures. Fifteen (15) feet
  - a. exception: The maximum height of a gas station canopy is 18 feet unless the Planning Commission determines that the architectural elements of the roof justify a greater height in order to complement the primary structure. It is expected that the canopy shall be designed to match the character of the primary structure and to comply with the Highland Station design guidelines.

*Amend Section C. 1.c Architectural Guidelines as follows:*

- c. The roof design shall be consistent with the architectural style of the building. Buildings shall be designed with pitched roofs or a decorative cornice. Rooftop mechanical equipment shall be screened from all views with screening features that are consistent with the architectural style of the main building. The roof design for accessory structures such as gas station canopies or storage sheds shall complement the primary structure.

*Amend Section D.1 Site circulation, parking and loading areas. as follows:*

1. Internal and external walkways are required in accordance to with Section 11.07, Pedestrian Access.

*Amend Section H.7.h.i. Signs. Permitted signs. Freestanding signs. by adding the following exception under subsection i.*

- i. *Number and size.* One (1) freestanding sign is permitted for each development. Freestanding signs may not exceed a height of four (4) feet with fifteen (15) square feet per face and a maximum of two (2) faces.
  - a. Exception. For parcels fronting Highland Road (M-59), freestanding dimensional signage allowances shall comply with the applicable standards for C-2, General Commercial District. Architectural standards for such signs shall comply with the Highland Station Design Guidelines.

**Section 4. Amend Article 10. SUPPLEMENTAL PROVISIONS by adding the following:**

**Sec. 10.35 Gas Stations in HS, Highland Station District**

The following regulations shall apply:

- A. The use is allowed only on parcels fronting Highland Road (M-59).



- B. Where a drive-through service window is permitted as part of the special use approval, the orientation of the building should be chosen to maximize isolation to neighboring residential properties.

**Section 5. Amend Article 13. LIGHTING as follows:**

*Amend Section 13.06 Canopy signage and lighting. by adding the following:*

- E. All light fixtures shall be mounted on the undersurface of the canopy, and shall be full cutoof with diffusers not visible from locations off the property. Directed beam lighting is permissible, provided the light source cannot be seen from locations off the property.
- F. For LED lighting under canopies, a color no bluer than “warm white” (Correlated Color Temperature no greater than 3000K) shall be utilized.

**Section 6. Savings Clause**

That nothing in this ordinance hereby adopted be construed to affect any just or legal right or remedy of any character nor shall any just or legal right or remedy of any character be lost, impaired or affected by this Ordinance.

**Section 7. Severability**

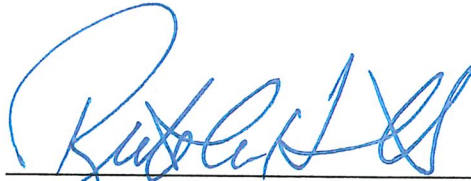
The various parts, sections and clauses of this Ordinance are declared to be severable. If any part, sentence, paragraph, section or clause is adjudged unconstitutional or invalid by a court of competent jurisdiction, the remainder of the Ordinance shall not be affected.

**Section 8. Adoption**

This Zoning Ordinance amendment is hereby declared to have been adopted by the Charter Township of Highland Township Board at a meeting thereof duly called and held on July 1, 2024.

**Section 9. Effective Date**

The effective date of this Ordinance shall be on the 8th day after publication, or a later date as provided in the Michigan Zoning Enabling Act for when a petition for voter referendum on this Ordinance and/or a notice of intent to submit such a petition is timely filed with the Township Clerk.



Rick A. Hamill, Township Supervisor



Tami Flowers MiPMC, Township Clerk

**CERTIFICATION OF CLERK**

I hereby certify that the foregoing is a true and complete copy of a Zoning Ordinance amendment adopted by the Township Board of the Charter Township of Highland on July 1, 2024 which was a regular meeting. I further certify that at said meeting there were present the following Board members:

I further certify that the adoption of said Zoning Ordinance amendment was moved by Board member Frederick and supported by Board member Howe.

I further certify that the following Board members Hamill, Flowers, Frederick, Cooper Howe, Lewis and Salvia voted for adoption of the Zoning Ordinance amendment and that the following Board members: None voted against the adoption of said Zoning Ordinance amendment.

I hereby certify that said Zoning Ordinance amendment has been recorded in the Ordinance Book in said Charter Township and that such recording has been authorized by the signature of the Township Supervisor and Township Clerk.



Tami Flowers MiPMC, Township Clerk

Planning Commission Recommendation: May 16, 2024  
Introduction: June 3, 2024  
Adoption: July 1, 2024  
Published: July 11, 2021  
Effective Date: July 19, 2024

RESUBMITTAL MATERIALS FOR  
9/5/2024 PLANNING COMMISSION MEETING



## Memorandum

To: Planning Commission Members  
From: Elizabeth J Corwin, PE, AIPC; Planning Director  
Date: August 30, 2024  
Re: SPR 24-05  
Applicant and Property Owner: Tarek Gayar, G&G Investments, LLC  
394 N Milford  
PIN 11-22-376-008

---

Your packet includes resubmittal materials for the proposed gas station at the SE corner of Milford Road and Highland Road (M-59). The changes mostly amount to a minor modification of the sidewalk a change in the siding materials for the building. The applicant has also added a vinyl fence to the south property line and suggests that the grade differential between Wee Friends property and the building wall can be managed onsite without a grading agreement. The applicant intends to submit new details for the canopy which were not ready at the time your packet was posted.

Although you discussed site plan issues as part of the discussions on August 1, 2024, you did not take any specific action on a site plan review or approval. The Planning Commission still needs to discuss whether they will undertake ordinance amendments for lot coverage and/or parking ratios so that the applicant may be guided into the appropriate review process—whether that be preliminary approval and direction to seek the agency approvals or variances for the areas that do not comply with the current zoning ordinance requirements.

Prior to your meeting, I'll prepare a draft ordinance amendment for your consideration so that we are prepared for further action.



a ) the canopy must be modified with architectural features to qualify for consideration of a greater height than 18 feet;

CANOPY ROOF WILL BE OF GABLE ROOF AND SHINGLES TO MATCH RESIDENTIAL ECSTATIC LOOK

b) Landscape features shall be modified to utilize greater variety of trees and consider canopy trees along right-of-way

A FOURTH TREE TYPE IS INTRODUCED ALONG THE RIGHT OF WAY – RED MAPLE AS A CANOPY TREE

c) the internal traffic circulation should be refined to improve traffic flow;

THE FUEL TRUCK CIRCULATION IS FOR A 40'-0" LONG TRUCK AND AND AROUND 11'-0" HIGH

d) grading agreements must be obtained for any offsite grading on the south or east property lines

PROPERTIES TO THE WEST AND TO THE SOUTH ARE HIGHER THEN THE SITE BY ONE TO 2 FEET. STORM WATER WILL NOT RUNOFF TO THE WEST AND AND THE SOUTH PROPERTIES

e) consideration of utilizing horizontal siding and other architectural features to improve compliance with the Highland Station Design Guidelines,

f) hours of operation limited to 6 am to 12 midnight

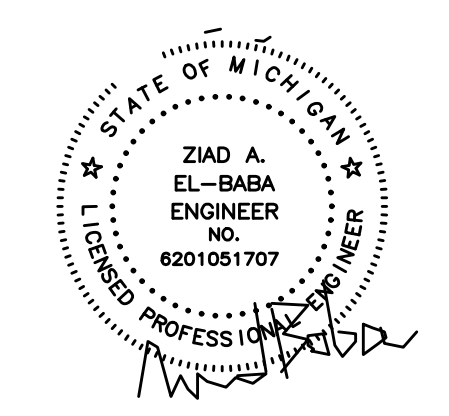
DESPITE TRAFFIC FROM 12 AM TO 6 AM IS AT LOW CAPACITY, STATION WILL OFFER CONVENIENCE FOR MOTORISTS AT THESE DIFFICULT HOURS TO DRIVE

g) reasonable screening between the gas station and the child care center to the south.

EXISTING WOOD FENCE WILL BE REMOVED AND REPLACED WITH DECORATIVE WHITE VINYL FENCE

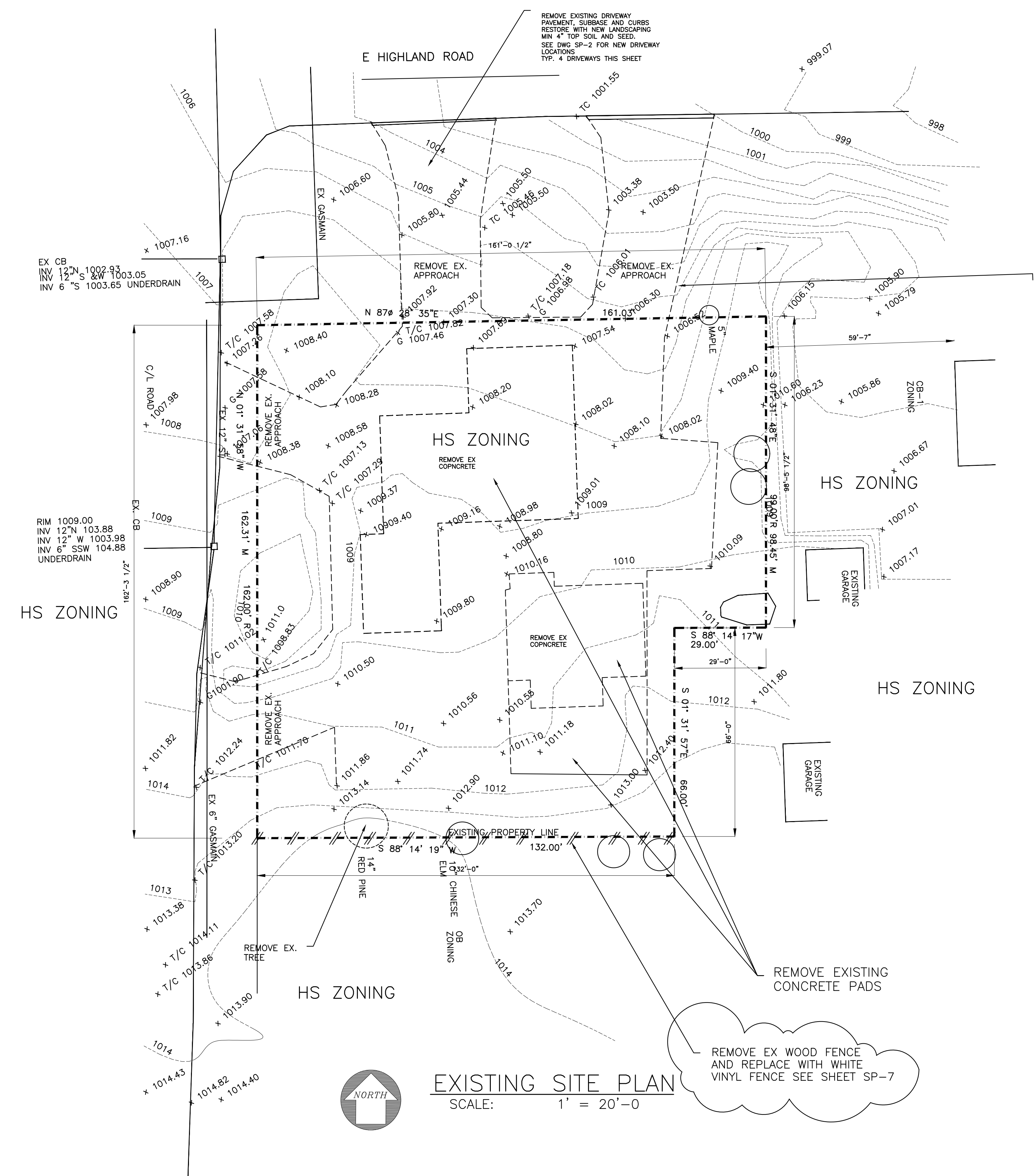


**CAUTION !!!**  
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



**ZIAD EL-BABA ENGINEERING**

674 GAUTHIER  
 TECUMSEH ONTARIO  
 N8N3P8 CANADA  
 CELL : 313-938-8767  
 CELL - 519-796-9882



**EXISTING SITE PLAN**  
 SCALE: 1" = 20'-0"

Legal Description  
 T3N, R7E, SEC 22 RUGGLES & ST JOHNS PLAT LOTS 52 & 54, ALSO  
 W 29 FT OF LOT 56 ON M-59 HWY, ALSO LOT 96 ON MILFORD RD

394 N MILFORD RD HIGHLAND, MI 48357-4538 (Property Address)  
 Parcel Number: H -11-22-376-009

DATE	REV. NO.	ISSUED FOR
JUN.27.24		SITE PLAN
AUG.26.24		SITE PLAN

Project:  
 NEW GAS STATION  
 394 N MILFORD ROAD  
 HIGHLAND TWP ,MI  
 OWNER

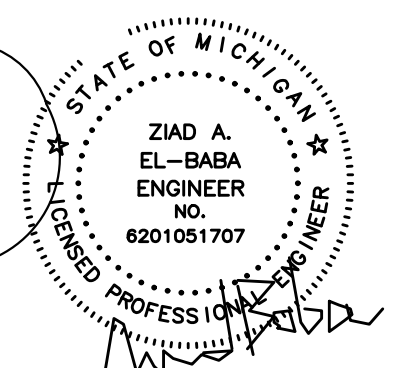
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 EXISTING SITE PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

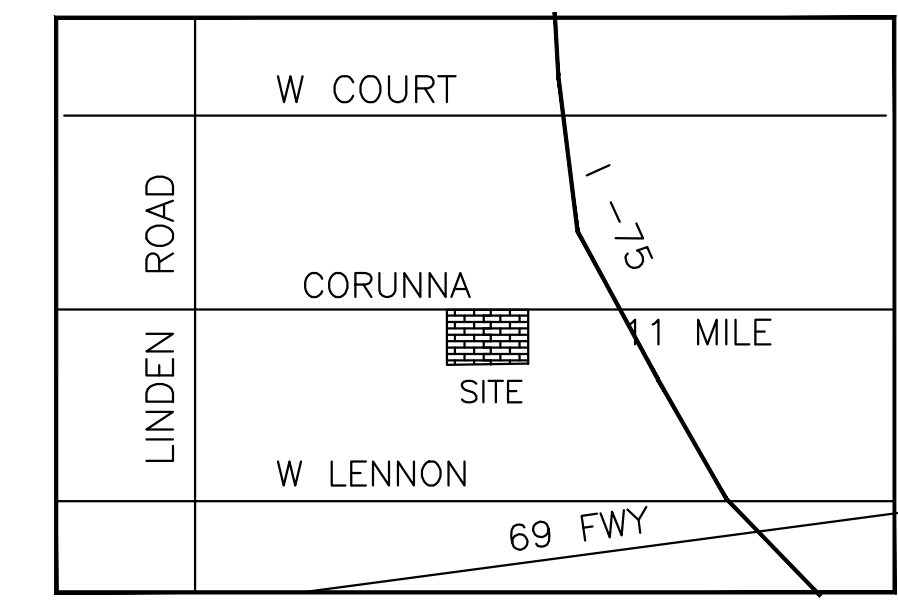
Drawing No.  
 SP-1

# SITE DATA

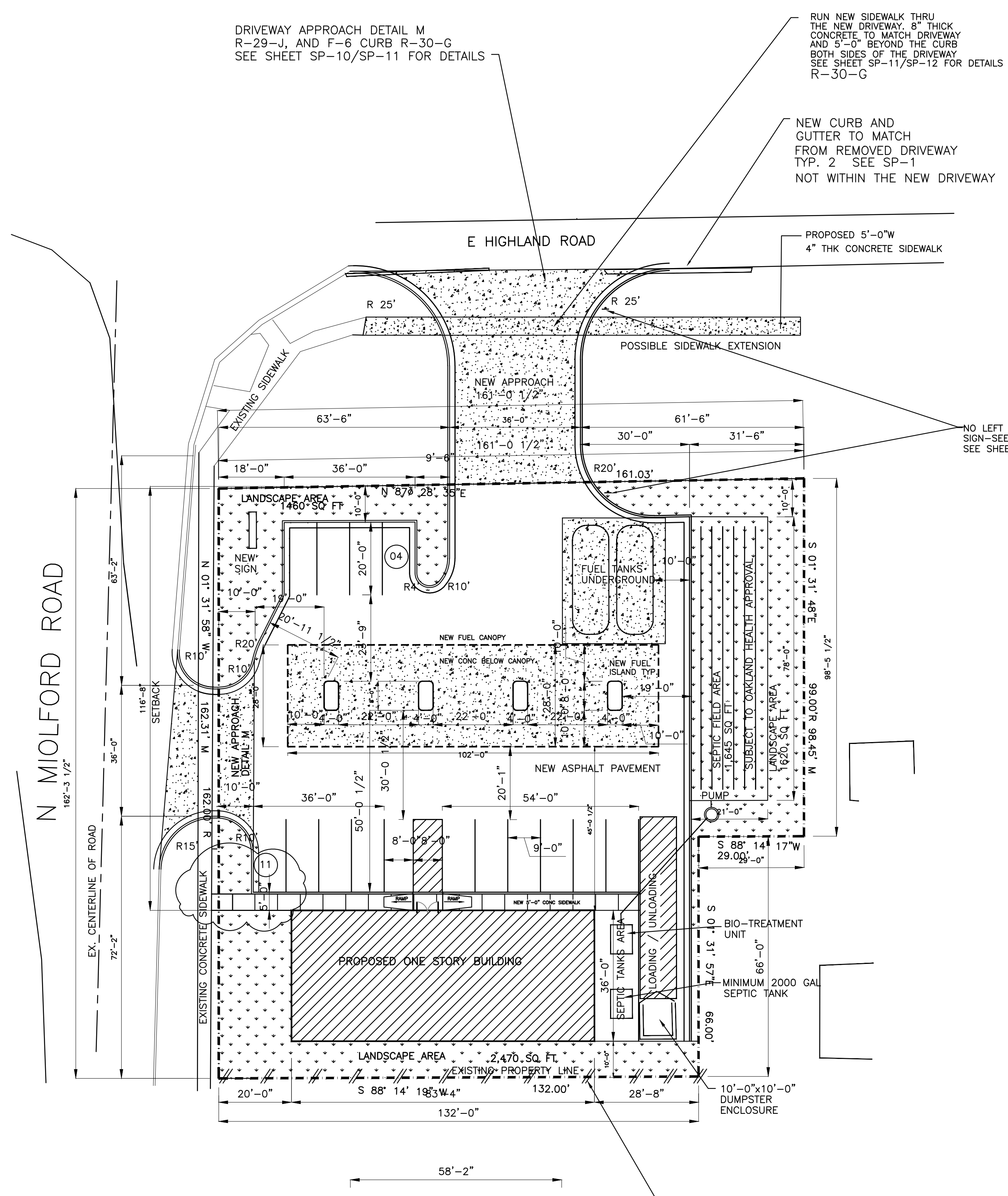
ZONING HS  
 TOTAL SITE AREA 24,389 sq ft=.56 AC  
 USE GROUP M  
 CONSTRUCTION III  
 NEW BUILDING 3000 SQ.FT.  
 REQUIRED PARKING .. = 3000/200 = 15 SPACES  
 PROVIDED LANDSCAPE AREA = 7195 SQ FT=.165 AC= 30 %  
 TOTAL IMPERVIOUS AREA = 17,194 SQ FT = .395 AC<.5 AC= 70%  
 (CONCRETE , ASPHALT, BUILDING)  
 REQUIRED PARKING .. = 3000/200 = 15 SPACES  
 CARRY OUT CORNER IS AN ACCESSORY TO THE STATION  
 HOURS OF OPERATION 6 AM TO 10 PM  
 FUEL DELIVERY BETWEEN 2 AM AND 4 AM



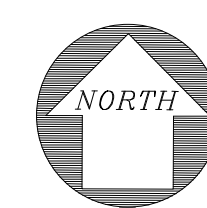
**ZIAD EL-BABA ENGINEERING**  
 674 GAUTHIER  
 TECUMSEH ONTARIO  
 N8N3P8 CANADA  
 CELL : 313-938-8767  
 CELL - 519-796-9882



KEY PLAN



**PROPOSED SITE PLAN**  
 SCALE: 1" = 20'-0"



REMOVE EX WOOD FENCE AND REPLACE WITH WHITE VINYL FENCE SEE SHEET SP-7

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG  
**-811-**  
 (TOLL FREE)

**CAUTION !!!**  
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DATE	REV. NO.	ISSUED FOR
JUN.27.24		SITE PLAN
AUG.26.24		SITE PLAN

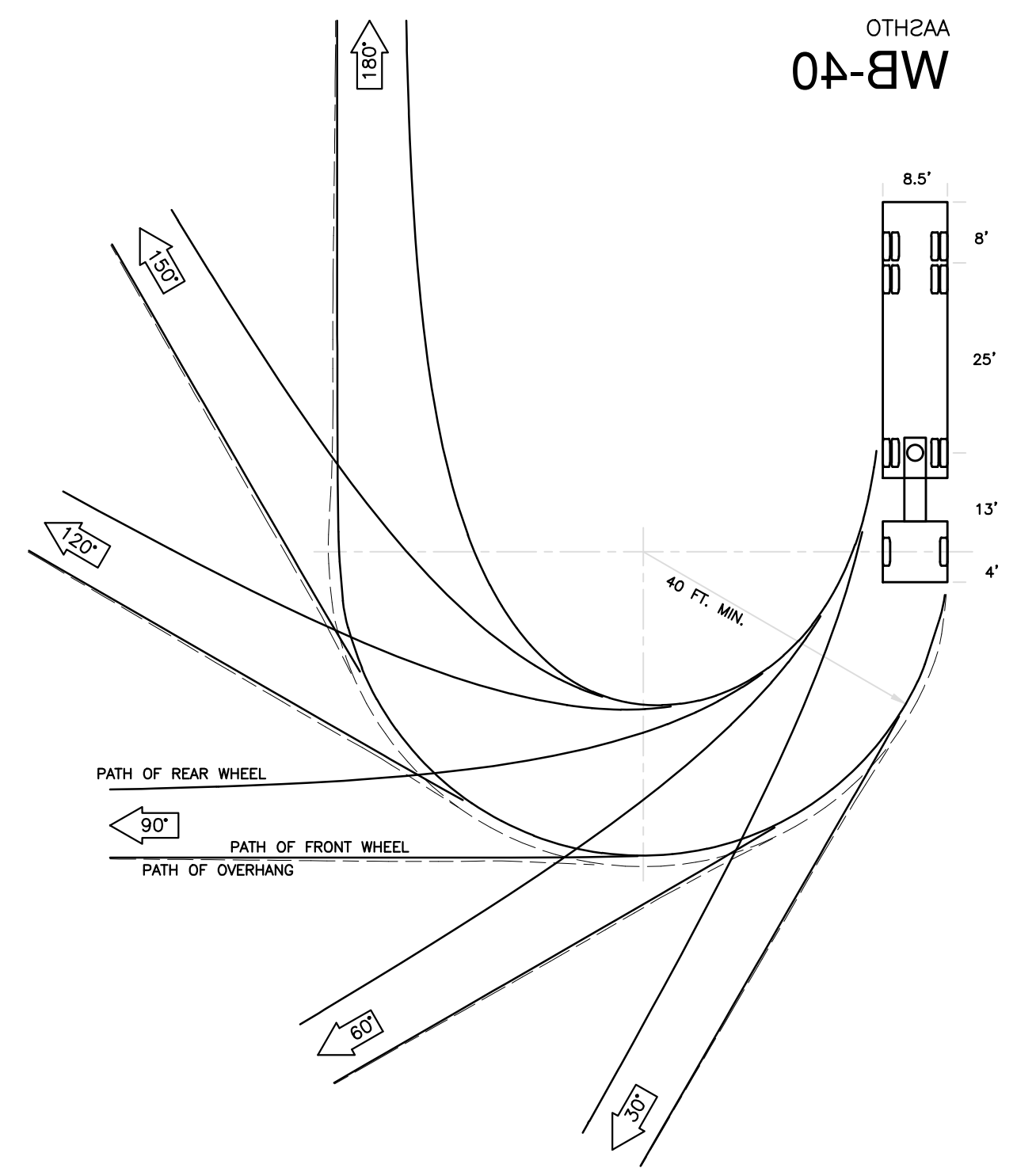
Project:  
 NEW GAS STATION  
 394 N MILFORD ROAD  
 HIGHLAND TWP ,MI  
 OWNER

Drawing Title:  
 EXISTING SITE PLAN

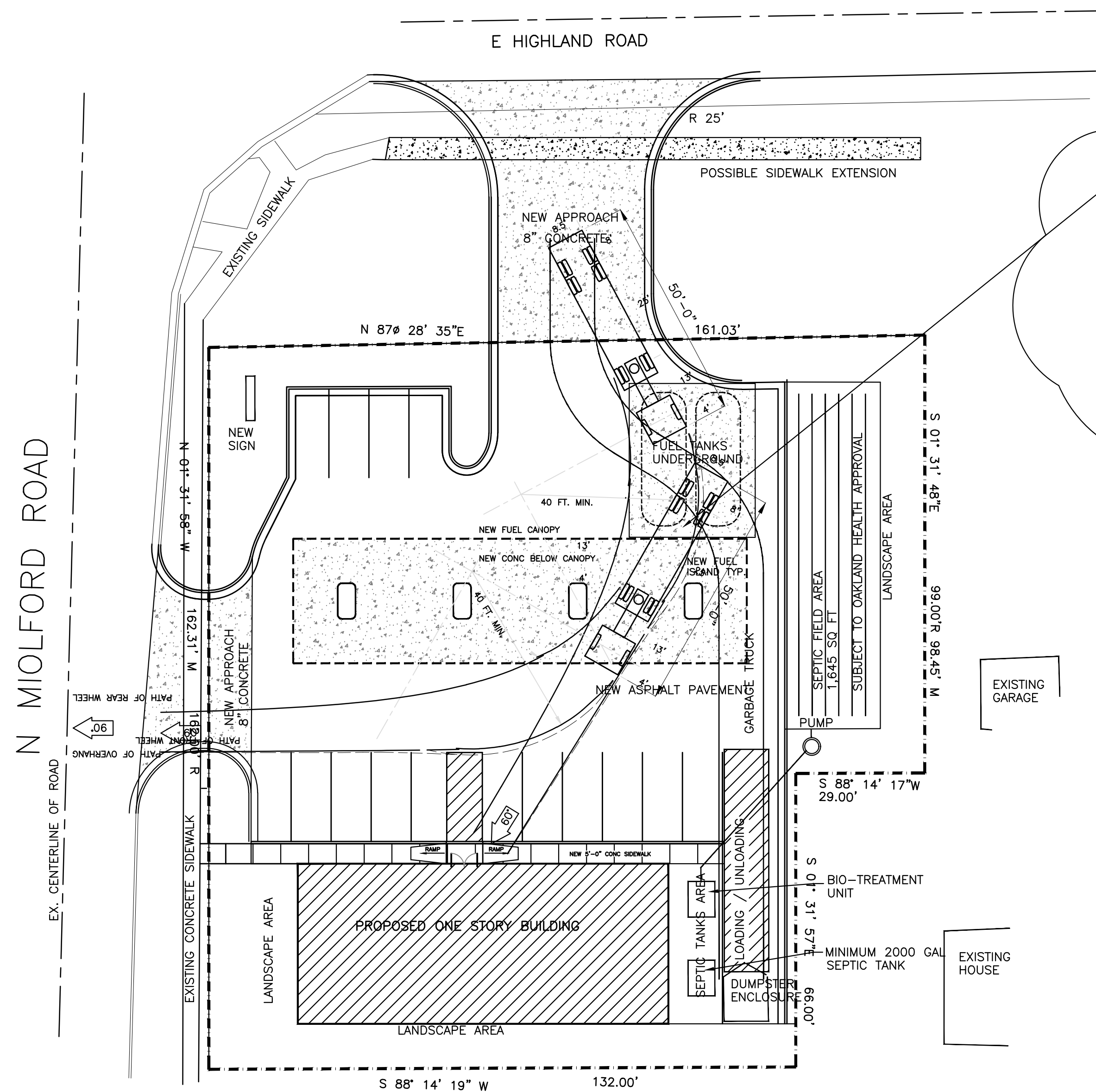
Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.  
 SP-2



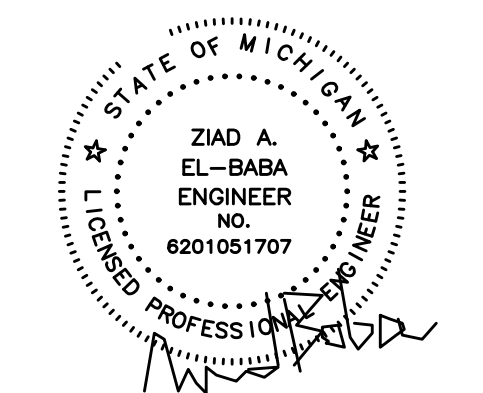


50' FUEL TRUCK  
SCALE: 1"=20'-0"



TRUCK CIRCULATION  
SCALE: 1"=20'-0"

THIS IS CIRCULATION FOR  
50'-0" TRUCK  
NOT THE MINIMUM 68'-0"  
HIGHWAY TRUCK  
  
TOP OF FUEL TRUCK 11'-0"+/-  
UNDERSIDE OF CANOPY IS  
16'-0"



**ZIAD EL-BABA  
ENGINEERING**  
  
674 GAUTHIER  
TECUMSEH ONTARIO  
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CELL - 519-796-9882

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AUG.26.24		SITE PLAN

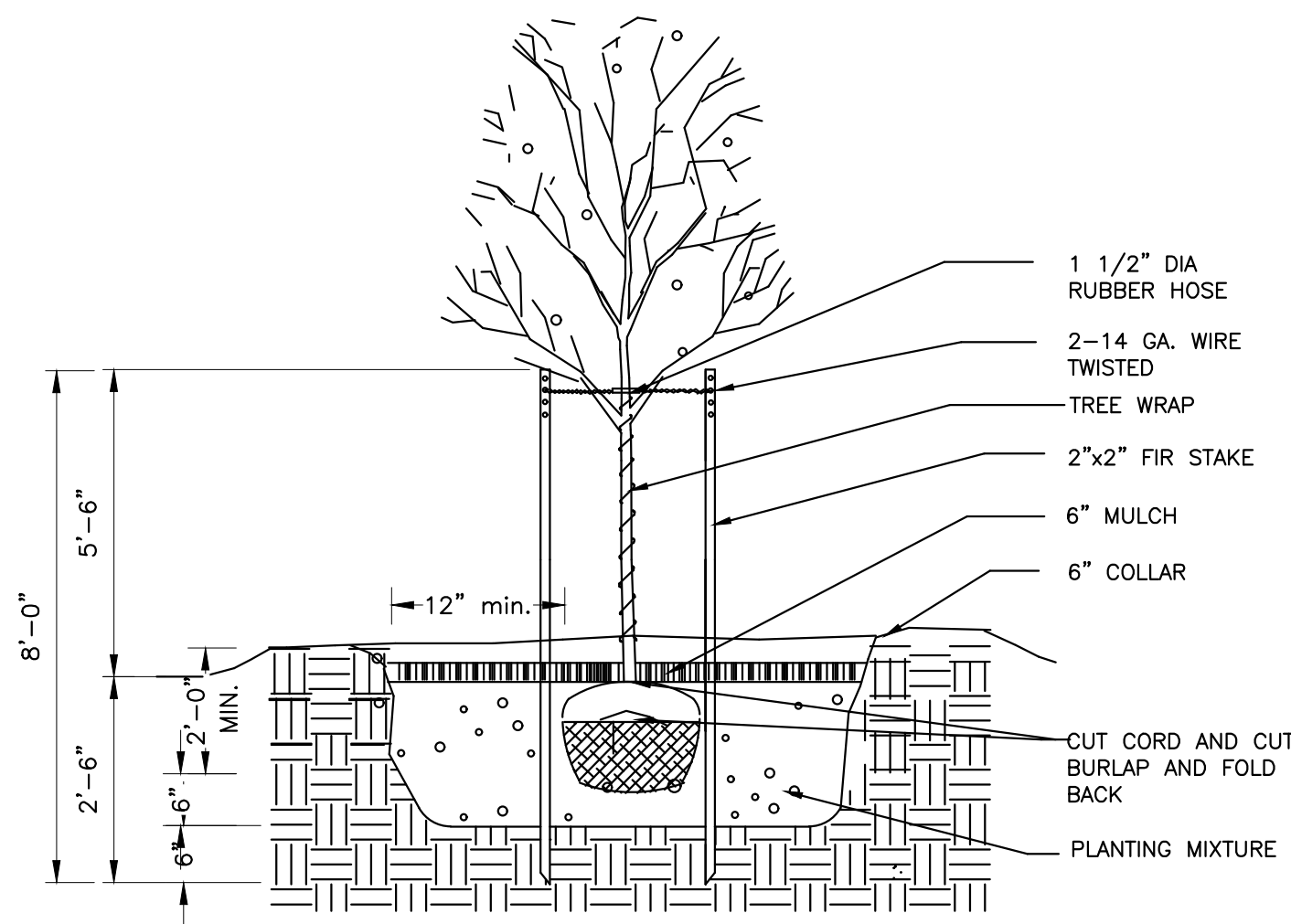
Project:  
NEW GAS STATION  
394 N MILFORD ROAD  
HIGHLAND TWP ,MI  
OWNER

Drawing Title:  
TRUCK CIRCULATION

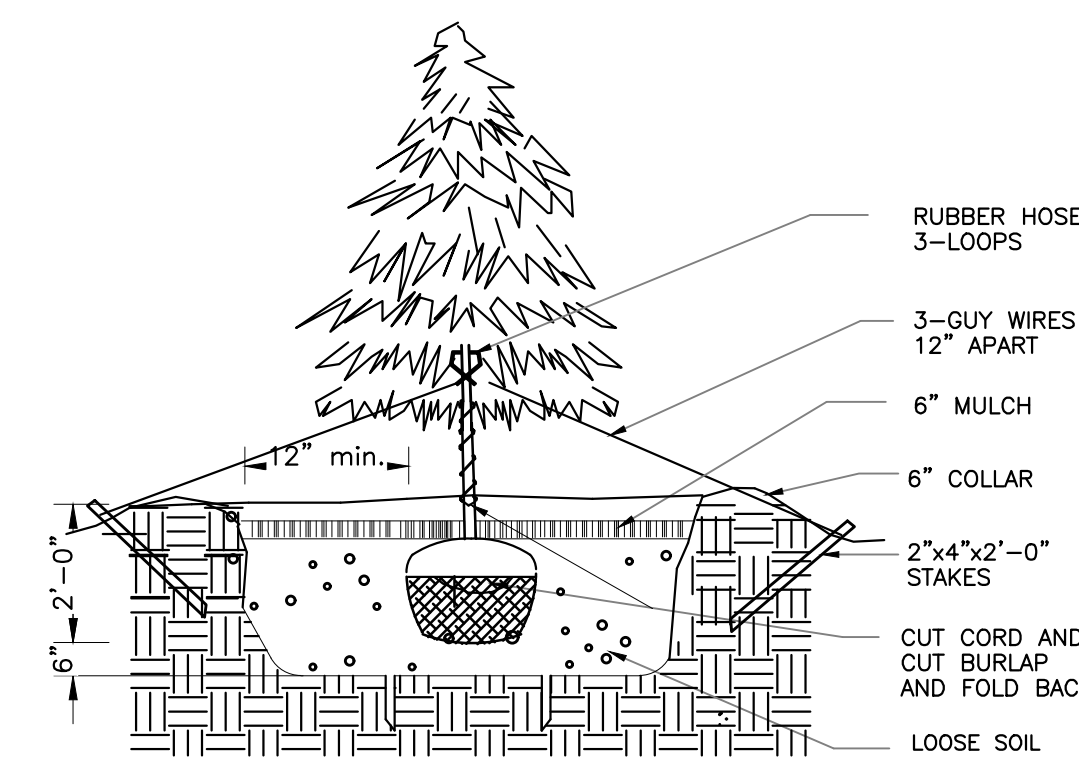
Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.  
  
SP-3

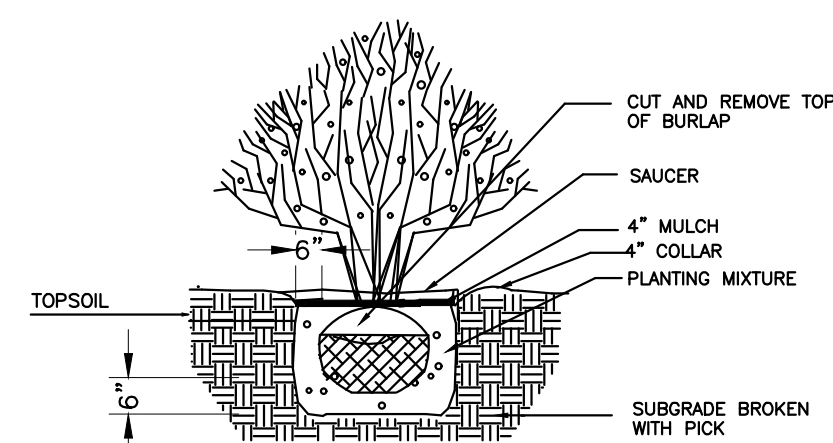




**Deciduous Tree Planting** NTS



**Evergreen Tree Planting** NTS



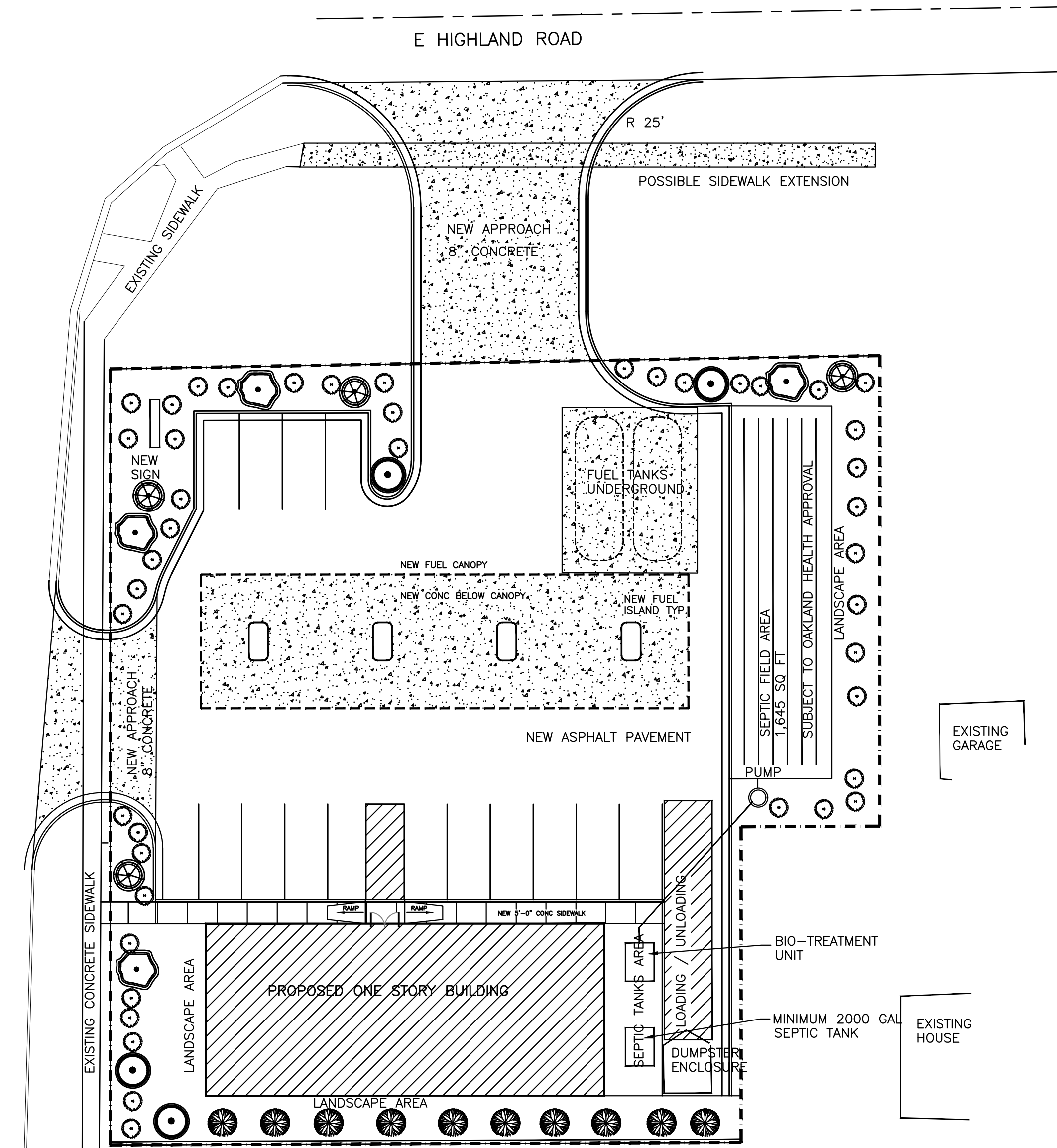
**Shrub Planting** NTS

NEW LANDSCAPING TABLE				
TYPE	SYMBOL	SIZE	BOTANICAL	QUANTITY
SHRUB	⊙	2'-0" FT. HIGH MIN 4'-6" C/C	SPIREA SHRUB	44
SNOWDRIFT CRABAPPLE	⊙	5	4" CAL. 7' CLEAR STEM MIN	4
DECIDUOUS BLOODGOOD MAPLES	⊙	B&B ROOT 4" CALIP.	ACER REBRUM	4
DECIDUOUS BLOODGOOD MAPLES	⊙	B&B ROOT 3" CALIP. @ 25' C/C	ACER PALMATUM-CANOPY TREE	4
EVERGREEN SILVER FIR	⊙	B&B ROOT, 5 HIGH 2 1/2" CALIP.	ABIES ALBA	10

- LANDSCAPING NOTES:**
- ALL LANDSCAPED AREA (L.S. AREA) TOP SOIL TREES AND SHRUBS TO BE PROTECTED FROM EXTREME WEATHER CONDITIONS, BAD SOIL TO BE DISPOSED IN LEGAL MANNER.
  - ALL LANDSCAPED AREA (L.S. AREA) TO RECEIVE MIN. 4" TOP SOIL WITH SOD. PROVIDE FERTILIZER UNDER SOD, ALL PER CITY STANDARDS.
  - ALL PLANT MATERIALS ARE TO BE FIRST QUALITY NURSERY STOCK, FREE FROM DISEASE OR OBJECTIONABLE DISFIGUREMENTS, AND PLANTED IN CONFORMANCE WITH SOUND NURSERY PRACTICE.
  - ALL NEW TREES ARE TO BE STAKED WITH TWO 6 FT., CEDAR STAKES GUYED WITH HOSE COVERED WIRE.
  - ALL PLANTING PITS ARE TO RECEIVE 3 AGRIFORM TABS (3-YEAR FERTILIZERS) AT TIME OF PLANTING
  - ALL PLANT MATERIALS ARE TO BE GUARANTEED FOR ONE YEAR TO BE IN HEALTHY AND VIGOROUS CONDITION, IT IS UNDERSTOOD THAT THE OWNER WILL PROVIDE ADEQUATE AND TIMELY CARE DURING THE GUARANTEE PERIOD
  - NEW LAWN AREAS TO BE "HYDRO-SEED" OR "SOD."
- NOTES:**
- A TREE PERMIT MUST BE OBTAINED FROM THE PLANNING OFFICE PRIOR TO ALL TREE REMOVAL ACTIVITY INVOLVING TREES SIX INCHES OR MORE DBH IN ACCORDANCE WITH THE VILLAGE OF BEVERLY HILLS
  - TREES MUST BE PLANTED NO CLOSER THEN SIX FEET (6') TO PUBLIC UTILITIES.
  - ALL REQUIRED LANDSCAPE MATERIAL INDICATED ON APPROVED PLANS WILL BE REQUIRED THROUGH THE LIFE OF THE PROJECT AND MUST BE REPLACED IF REMOVED OR DEAD.
  - 4 FOOT(4") HIGH WOOD SNOW FENCING OR OTHER RIGID MATERIAL IS TO BE ERCTED AROUND THE DRIP LINE OF ALL TREES TO BE SEEDED IN ACCORDANCE WITH VILLAGE OF BEVERLY HILLS
  - REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS AND BE:
    - NURSERY GROWN
    - STATE DEPARTMENT OF AGRICULTURE INSPECTED
    - NO. 1 GRADE WITH STRAIGHT UNSCARRED TRUNK AND WELL DEVELOPED UNIFORM CROWN ( PARK GRADE TREES WILL NOT BE ACCEPTED)
    - PLANTED PER CITY OF TRENTON DETAILS AND SPECIFICATIONS AND IN ACCORDANCE WITH THE VILLAGE OF BEVERLY HILLS
    - GUARANTEED FOR ONE YEAR.
    - REPLACEMENT TREES SHALL HAVE SHADE POTENTIAL AND

N MILFORD ROAD

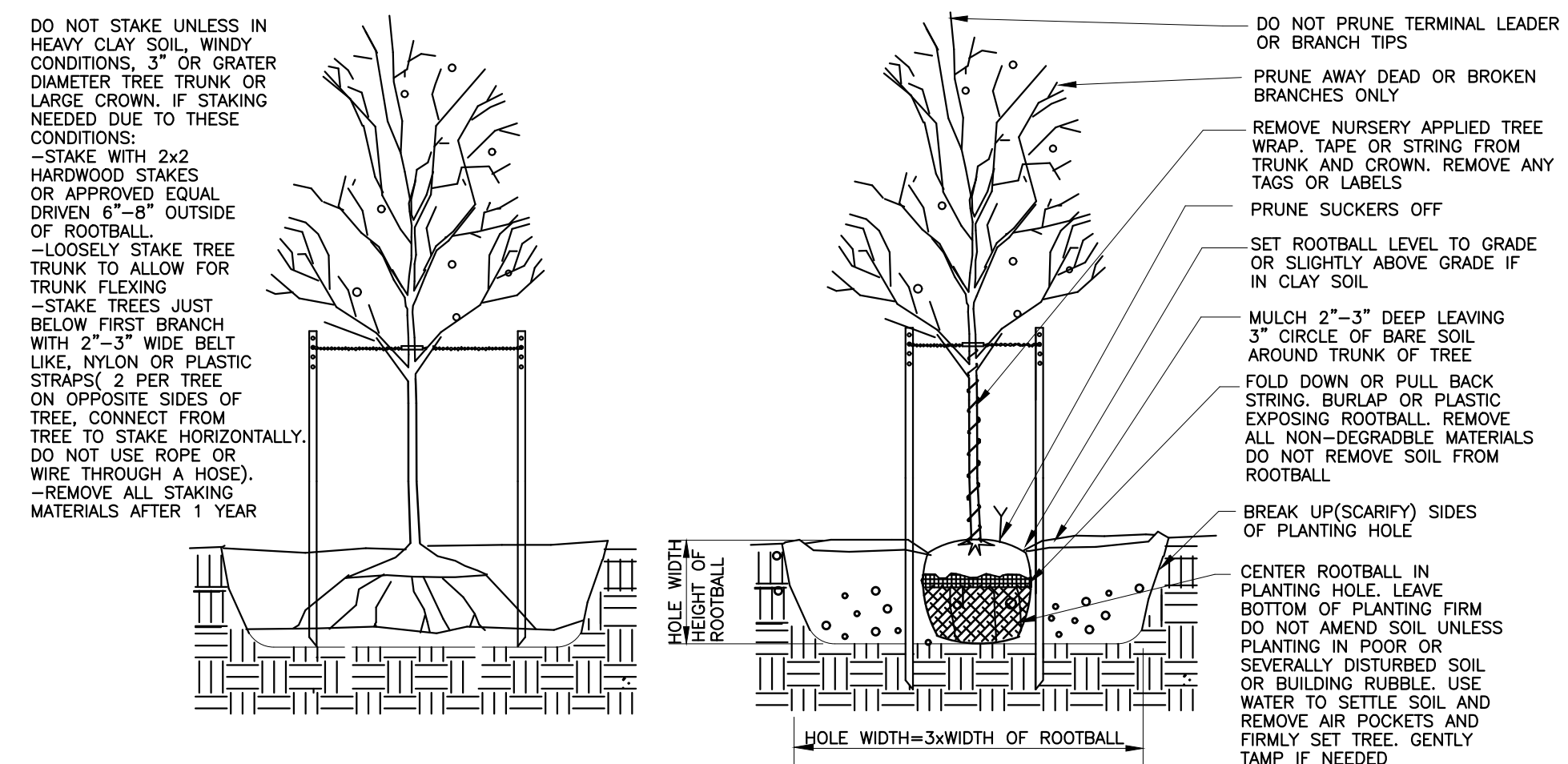
EX. CENTERLINE OF ROAD



**LANDSCAPING PLAN**

SCALE: 1"=20'-0"

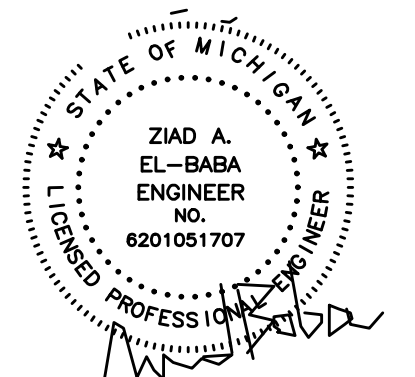
ALL LANDSCAPE AREAS TO RECEIVE UNDERGROUND IRRIGATION SYSTEM



**Deciduous Tree Planting Detail**



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**ZIAD EL-BABA ENGINEERING**

674 GAUTHIER  
TECUMSEH ONTARIO  
N9N3P8 CANADA  
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CELL - 519-796-9882

DATE	REV. NO.	ISSUED FOR
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AUG.26.24		SITE PLAN

Project:  
NEW GAS STATION  
394 N MILFORD ROAD  
HIGHLAND TWP ,MI  
OWNER

Drawing Title:  
LANDSCAPING PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.  
**SP-4**

**RESPONSIBLE FOR THE SOIL EROSION**

**TYPE OF SOIL**

SOIL TYPE : MORLEY LOAM

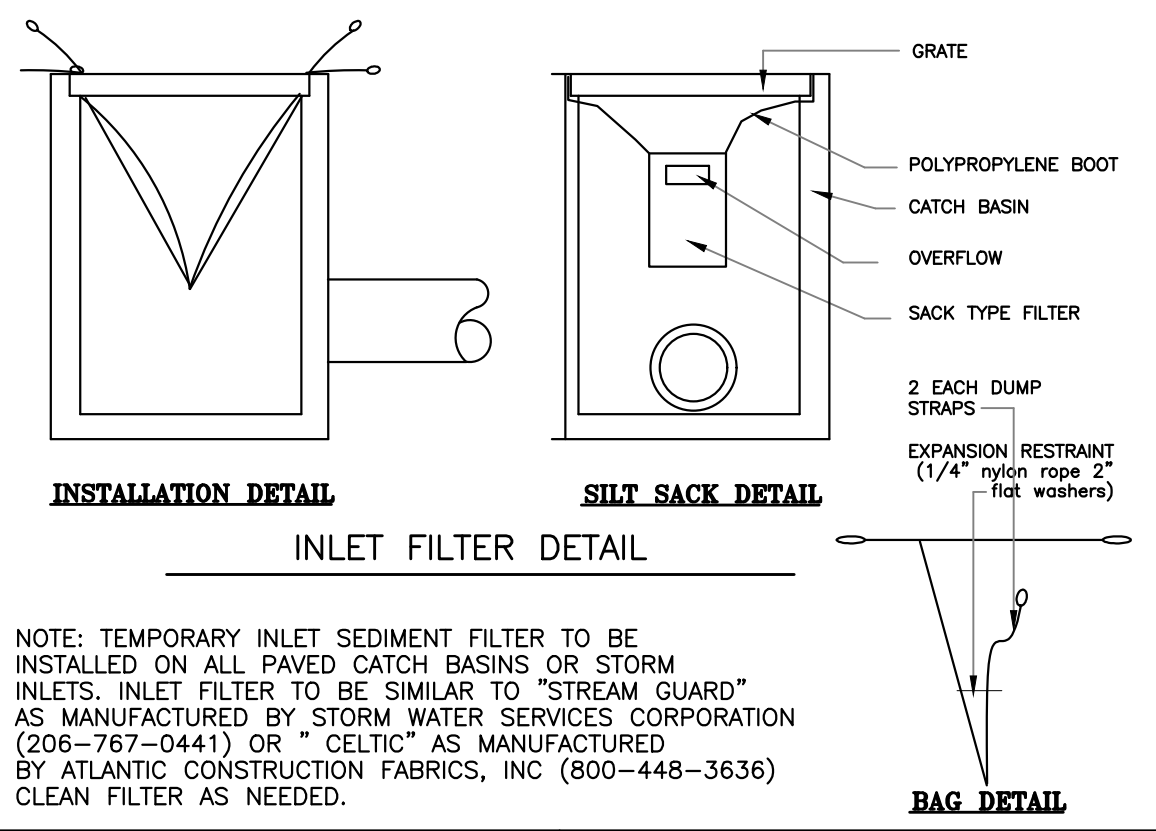
**SOIL EROSION NOTES.**

1. INSTALL SILT FENCE AND/OR CONSTRUCTION FENCES SHOWN ON THE PLAN
2. CITY OF GARDEN CITY ENGINEERING DIVISION MUST BE NOTIFIED WHEN ALL SILT FENCE FOR THIS PROJECT HAS BEEN PLACED, WITH SUFFICIENT TIME TO ALLOW INSPECTION OF SAME PRIOR TO THE START OF ANY SITE WORK
3. THE PROPOSED WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH APPROVED EARTH CHANGE PLANS AND IN COMPLIANCE WITH ALL THE REQUIREMENTS OF THE PERMIT-ACT 451 OF PUBLIC ACTS OF 1994 AND RULES PROMULGATED THEREUNDER
4. ACCESS TO CONSTRUCTION SITE SHALL BE OVER AN EXISTING APPROACH
- 5- CONTRACTOR TO PERFORM DAILY STREET SWEEPING MAY BE NEEDED TO KEEP SOIL THAT IS TRACKED ONTO THE ROADS FROM REACHING THE STORM SEWER SYSTEM.
6. ALL MUD AND/OR DIRT TRACKED ONTO EXISTING ROADS AND DRIVEWAYS OR ADJACENT PARKING LOT AREAS FROM SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED DAILY BY THE GENERAL CONTRACTOR OR HIS DESIGNEE
7. ALL OF THE SOIL EROSION DEVICES SHALL BE MAINTAINED DAILY BY THE CONTRACTOR.
8. **ALL CONTRACTORS:** DO NOT NEEDLESSLY DESTROY VEGETATION OF ANY TYPE. DUST CONTROL IS TO BE MAINTAINED ON SITE DURING CONSTRUCTION. ALL DIRT AND DEBRIS ARE TO BE KEPT OF ALL ADJACENT ROADS. IN NO EVENT SHALL WORK AREA EXTEND BEYOND THE LIMITS OF CONSTRUCTION INDICATED ON THE PLAN.
9. DURING CONSTRUCTION OF THE NEW STORM STORAGE PIPE THE ENDS OF ALL OPEN PIPES WILL BE PROTECTED BY FILTER BAGS, STONE FILTERS, OR OTHER APPROVED MEANS (UNTIL FULLY INSTALLED)

10- AREA OF DISTURBANCE .39 AC  
 NEW CONC CURBS, LANDSCAPING  
 NEW PAVEMENT, NEW BUILDING  
 NEW STORM DRAINAGE SYSTEM

**RULE ADOPTED:**  
 PART 91, SOIL EROSION & SEDIMENTATION CONTROL, PA 451 OF 1994 AS AMENDED AND THE RULES 323, 1701-1714 PROMULGATED UNDER PART 91 ARE HEREBY ADOPTED BY REFERENCE AND MADE A PART OF THIS ORDINANCE AS IF FULLY SET FORTH HEREIN

10. APPROXIMATE STARTING DATE: MID 2019
11. APPROXIMATE COMPLETION DATE: END OF 2019
12. TOTAL ACRES OF DISTURBANCE : 0.39 ACRES
13. EXISTING LOAMY SOIL
14. NEAREST BODY OF WATER = 1000+/- FT RIVER ROUGE

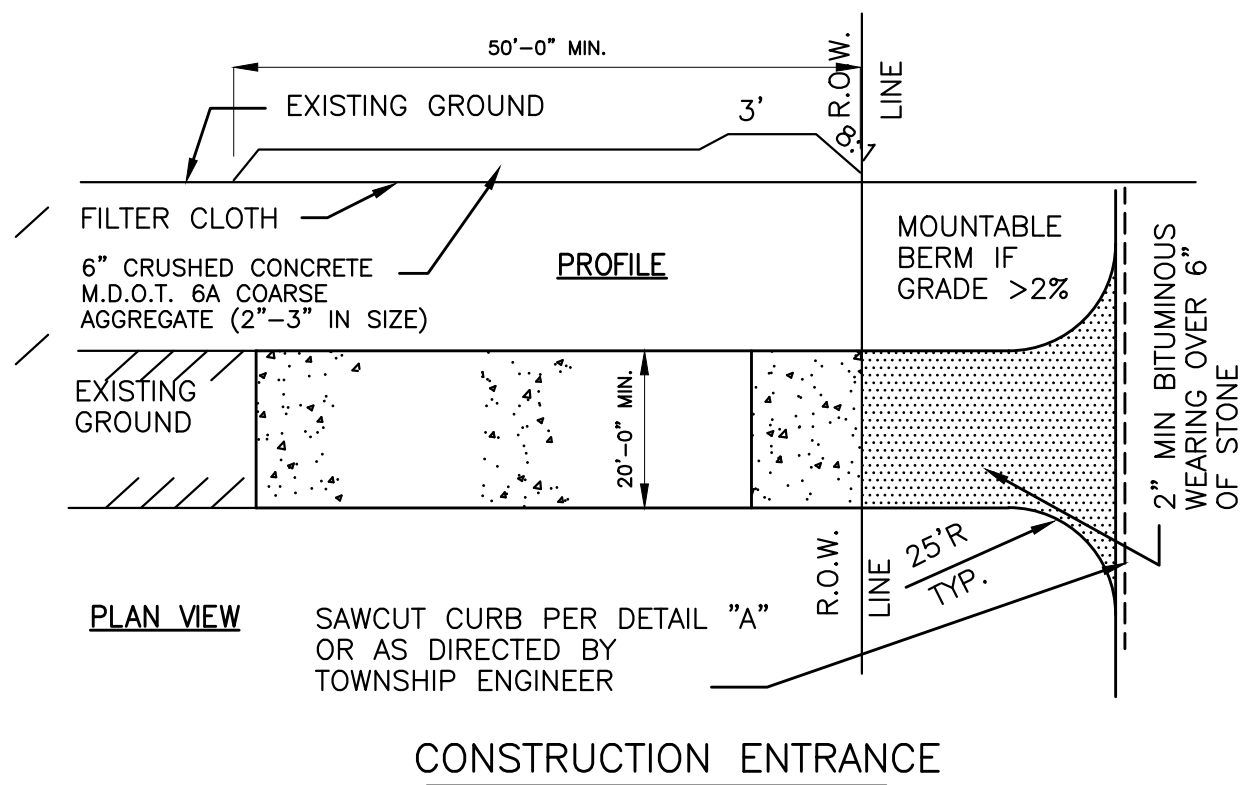


NOTE: TEMPORARY INLET SEDIMENT FILTER TO BE INSTALLED ON ALL PAVED CATCH BASINS OR STORM INLETS. INLET FILTER TO BE SIMILAR TO "STREAM GUARD" AS MANUFACTURED BY STORM WATER SERVICES CORPORATION (206-767-0441) OR "CELTIC" AS MANUFACTURED BY ATLANTIC CONSTRUCTION FABRICS, INC (600-448-3636) CLEAN FILTER AS NEEDED.

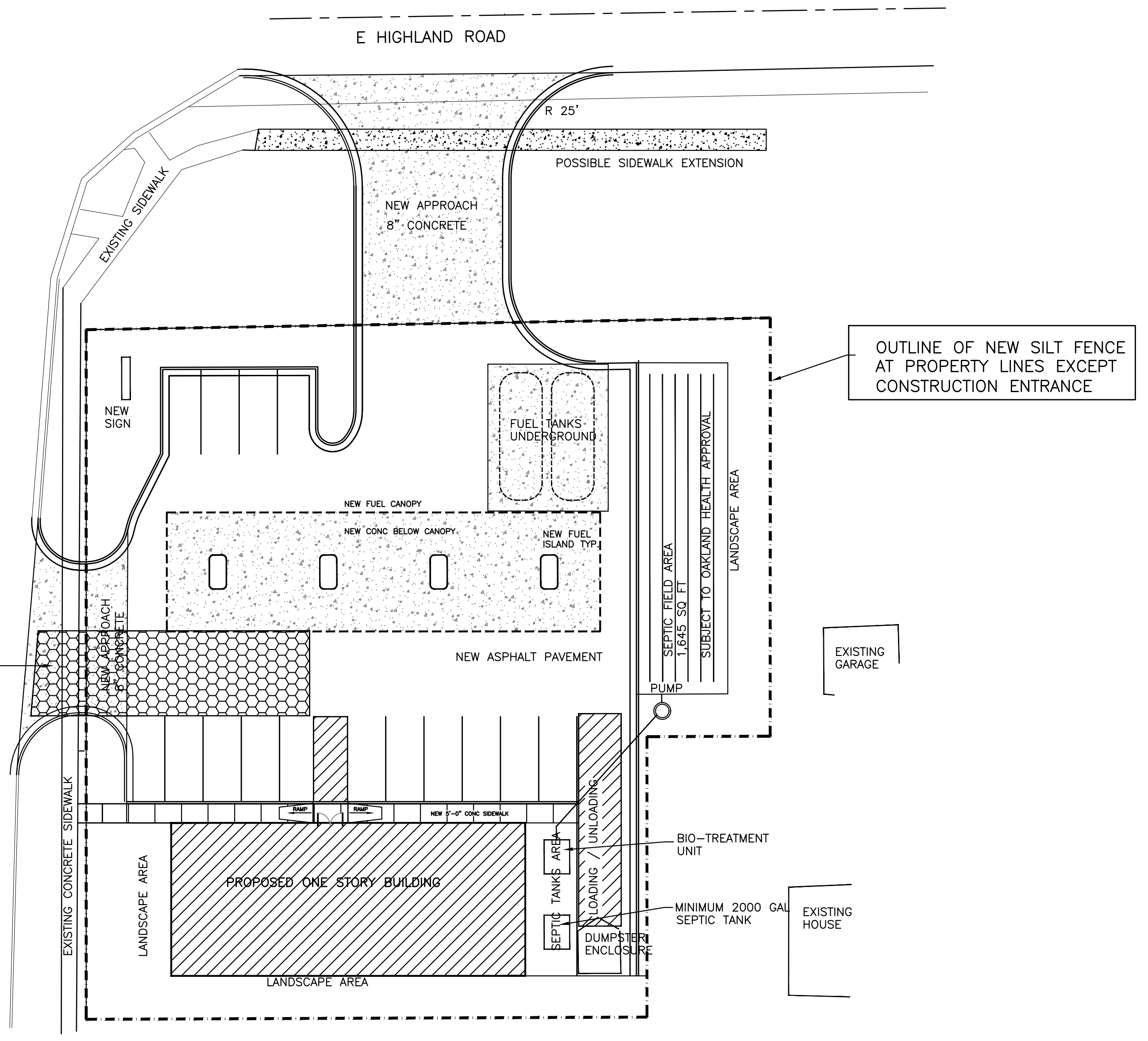
CONSTRUCTION SEQUENCE	OPERATION TIME SCHEDULE MID 2020				
	FIRST	SECOND	THIRD	FOURTH	FIFTH
A	SOIL EROSION CONTROL MEASURE				
B	BUILDING STRUCTURAL				
C	SITE PREPARATION				
D	NEW PAVEMENT				
E	NEW LANDSCAPING/CURBING				
F	STORM SEWER				

**PROPOSED WORK:**

NEW PARKING LOT - AND LANDSCAPING

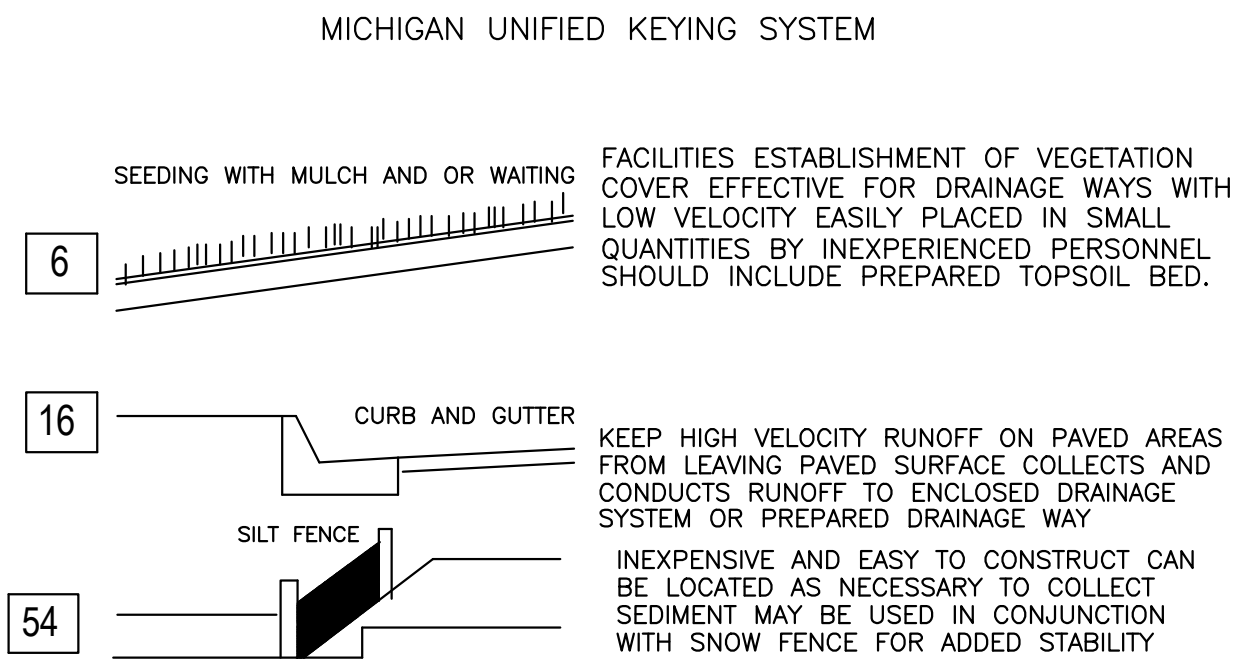
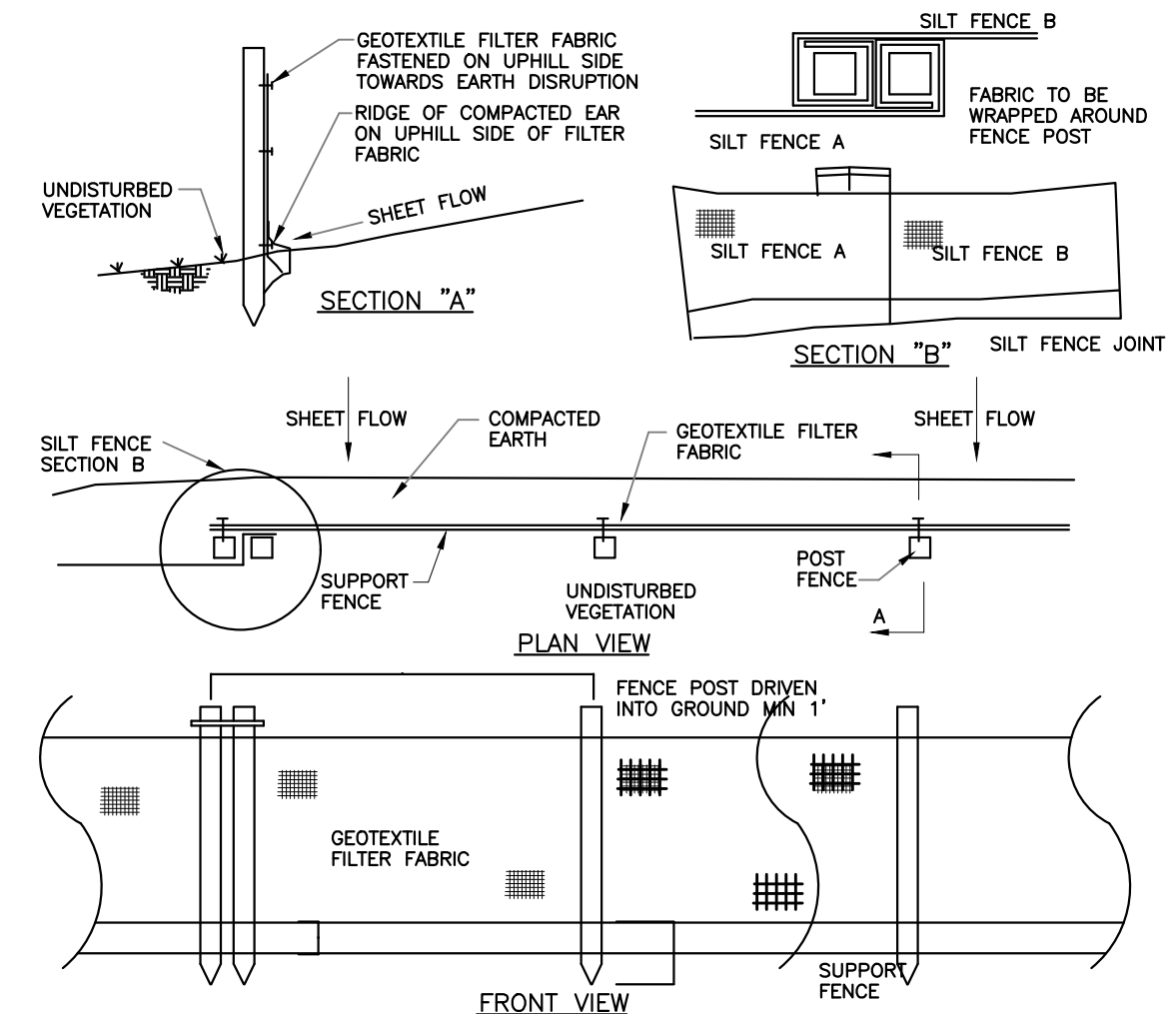


NOTE TO CONTRACTOR : ALL DISTURBANCE ONTO THE ADJACENT PARCELS SHALL BE FULLY RESTORED WITHIN 15 DAYS AFTER THE WORK ON THE ADJACENT PARCEL HAS BEEN COMPLETED



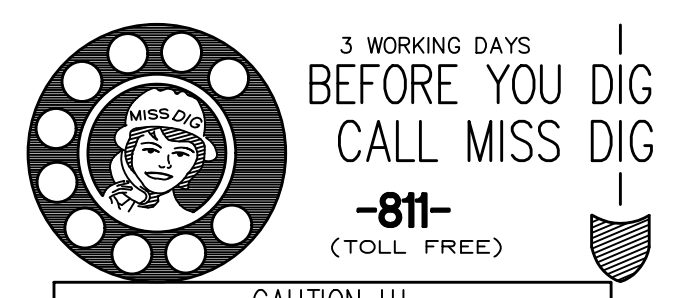
**EROSION PLAN**  
 SCALE: 1"=20'-0"

THIS PLAN ILLUSTRATES THE MINIMUM SESC MEASURES NEEDED TO PREVENT SOILS FROM LEAVING THE SITE AND IS SUBJECT TO CHANGE AS CONDITIONS IN THE FIELD WARRANT

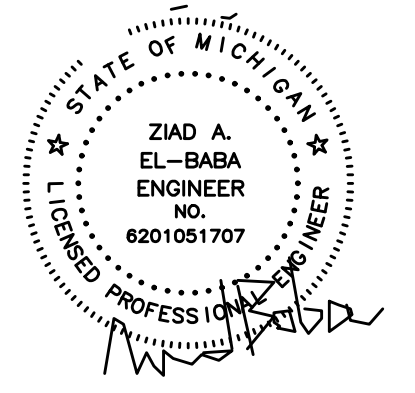


NOTE: EARTHWORK, GRADING AND PAVING SHALL COMELY WITH COUNTY STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY STANDARDS AND SPECIFICATIONS FOR LAND DEVELOPMENT PROJECTS. IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN SPECIFICATIONS AND BECOME FAMILIAR WITH THEIR REQUIREMENTS.

CLOSEST SURFACE WATER IS MDOT STORM SYSTEM



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**ZIAD EL-BABA ENGINEERING**

674 GAUTHIER  
 TECUMSEH ONTARIO  
 N8N3P8 CANADA  
 CELL : 313-938-8767  
 CELL - 519-796-9882

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AUG.26.24		SITE PLAN

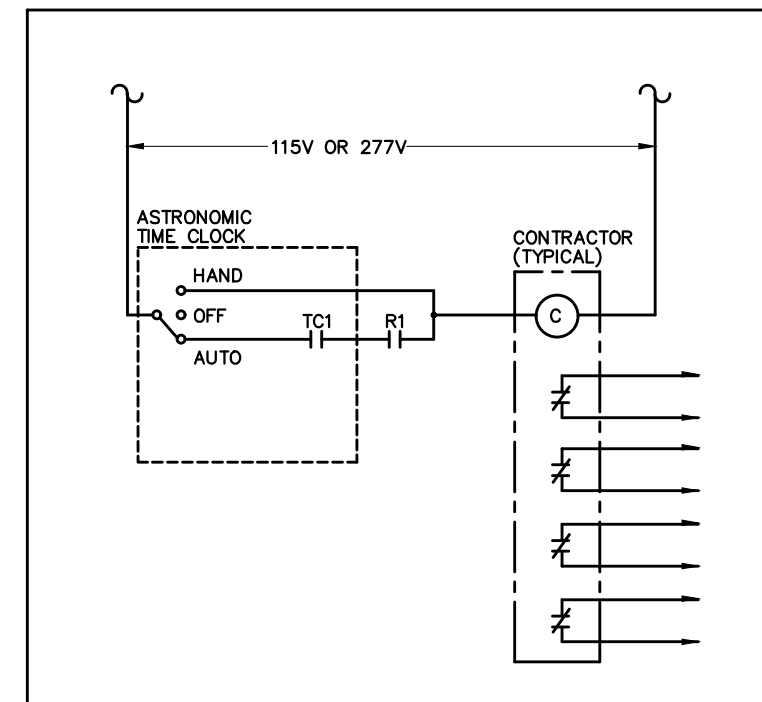
Project:  
 NEW GAS STATION  
 394 N MILFORD ROAD  
 HIGHLAND TWP ,MI  
 OWNER

Drawing Title:  
 EROSION PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.  
 SP-5

WATTSTOPPER # EM-24A2  
(OPTIONAL)



WATTSTOPPER # HINCXX-VOLT  
NOTE:  
XX = SPECIFY QUANTITY OF CONTRACTOR  
POLES REQUIRED (MULTIPLES OF 4)  
VOLT = SPECIFY 115V OR 277V  
CONTRACTOR TO SPECIFY NUMBER OF CIRCUITS REQUIRED

- SEE MH COLUMN OF LUMINARIES LOCATIONS FOR MOUNTING HEIGHTS.
- SEE LUMINARIES SCHEDULE FOR LIGHT LOSS FACTORS.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT GRADE SURFACE.

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	4.0 fc	9.50 fc	0.1 fc	9.5/0.1	50.0:1

LUMINAIRE SCHEDULE

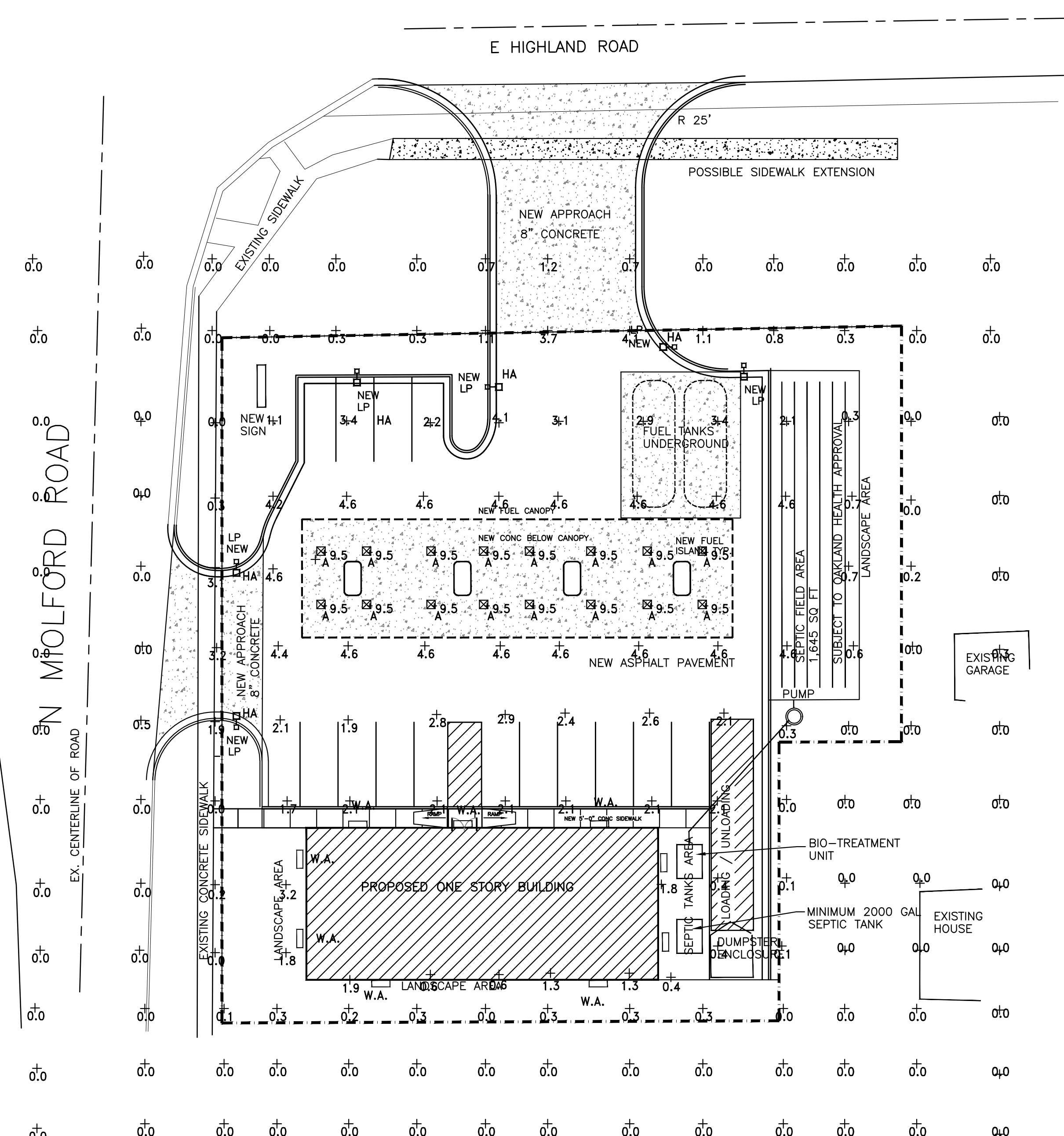
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
WA	9		LITHONIA #WST 100M FT (WALL MTD)	ARCHITECTURAL SCORCE WITH FORWARD THROW DISTRIBUTION WITH CLEAR, FLAT GLASS	ONE 100-WATT CLEAR ED-17 METAL HALIDE, HORIZONTAL POSITION.	LTL11348.IES	8500	0.72	140

CANOPY LIGHTING BY ENCORE OR EQUAL

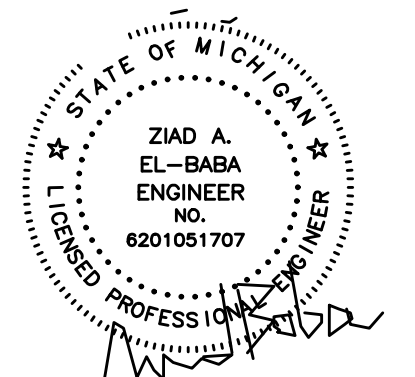
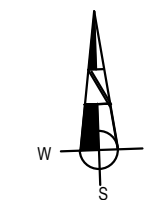
Symbol	Label	Qty	Catalog Number	Description	Lamp	LENS	LINE VOLTAGE	LUMINAIRE	Watts
☒	A	16		RECESSED	250W CLEAR SMH	F	MT	WHT	250

LUMINARIES SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
NEW LP	8			TOP MOUNTED FIXTURES STANDARD SIMPLE STYLE CASTING W/ LUNAR OPTICS	145 HP 150W, 55V, HPS BALLAST DOWNWARD POSITION.	GV05012SB3NNZ	12000	0.72	213



PHOTOMETRIC PLAN  
SCALE: 1"=20'-0"



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Project:  
NEW GAS STATION  
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HIGHLAND TWP ,MI  
OWNER

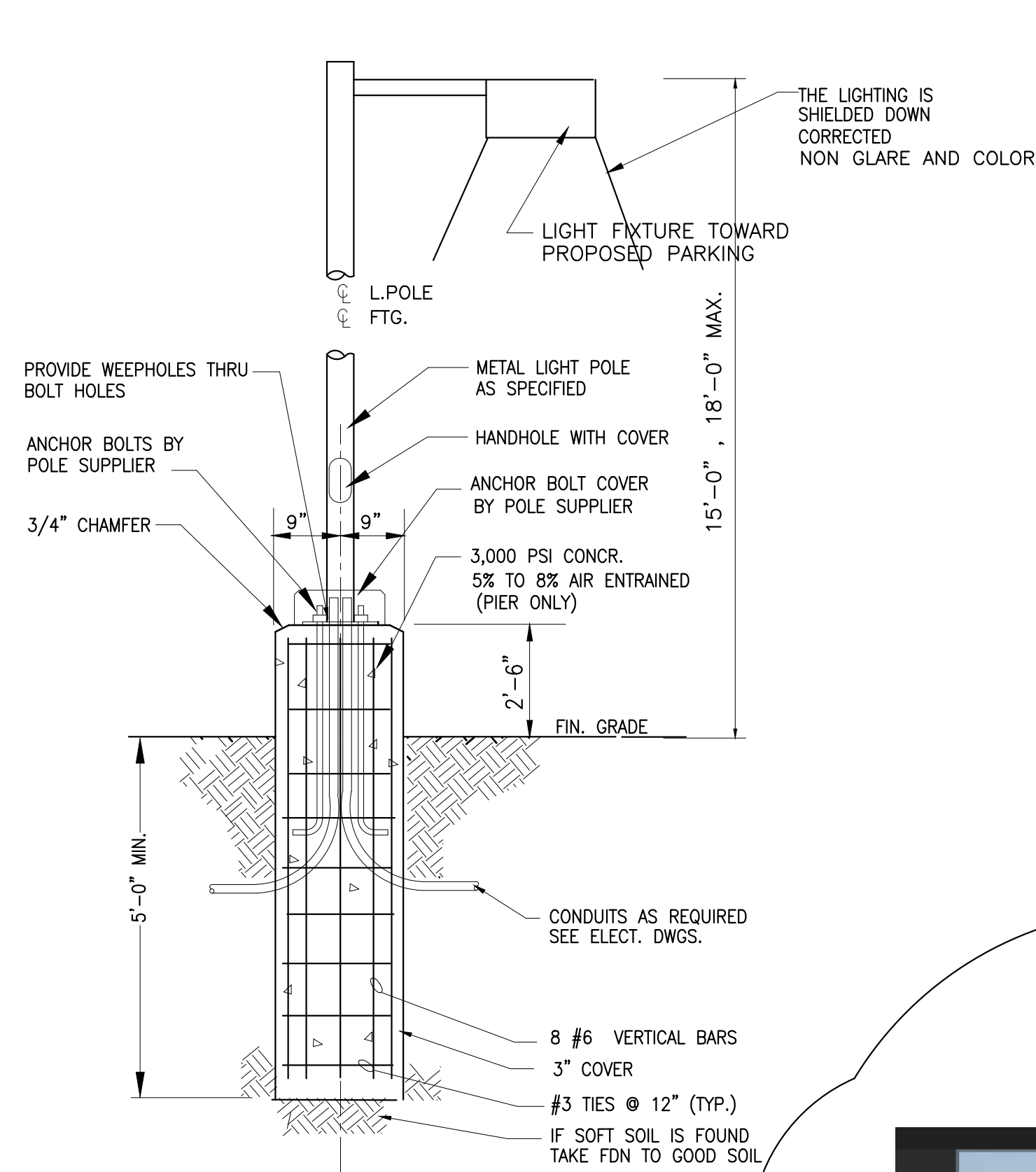
Drawing Title:  
PHOTOMETRIC PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.

SP-6



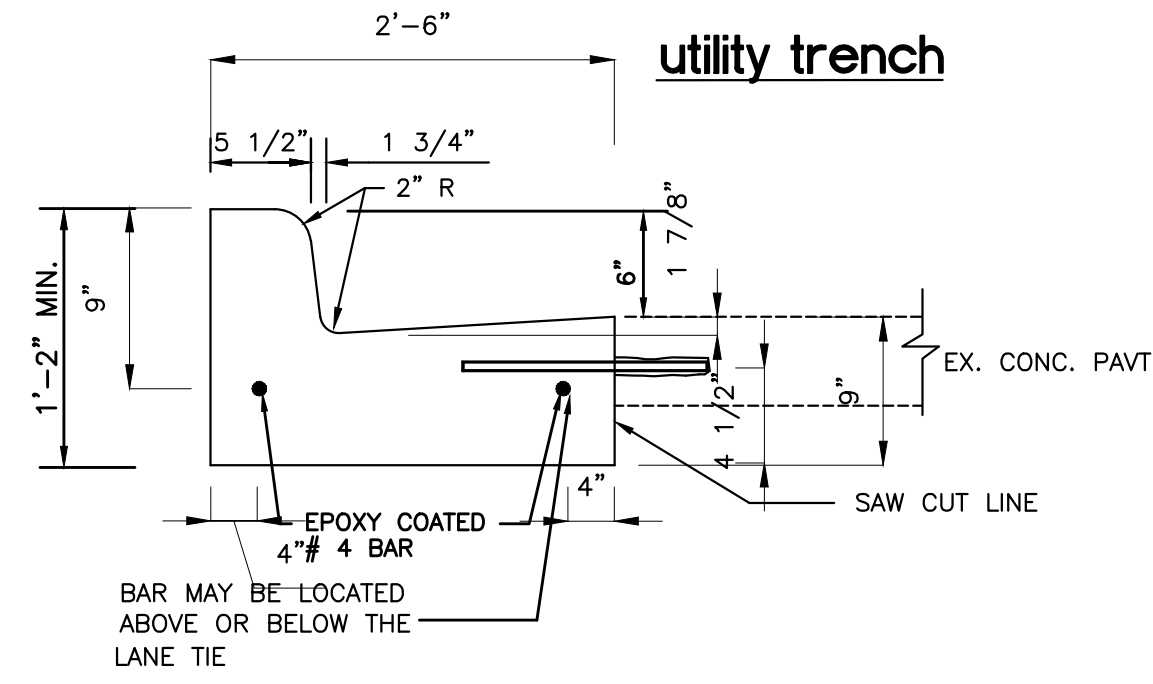
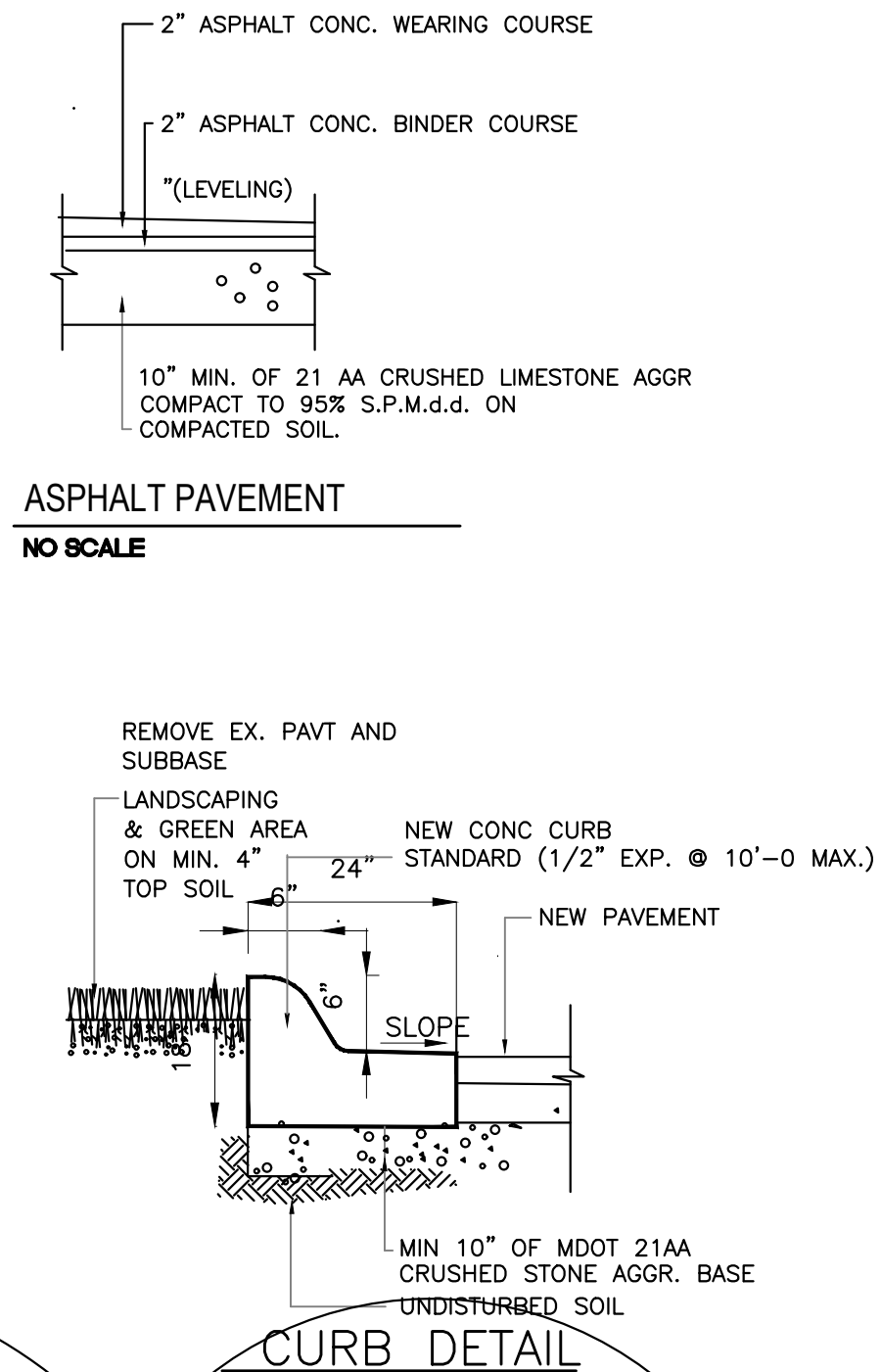


**TYP. LIGHT POLE BASE DETAIL**

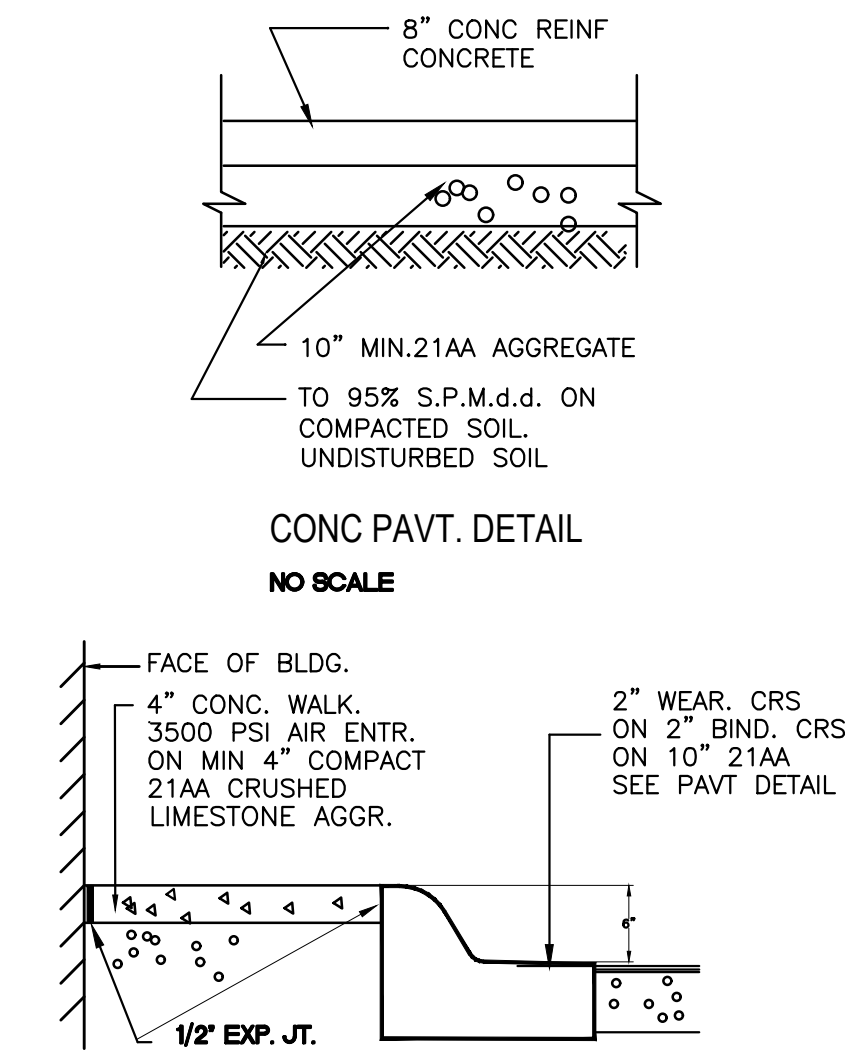
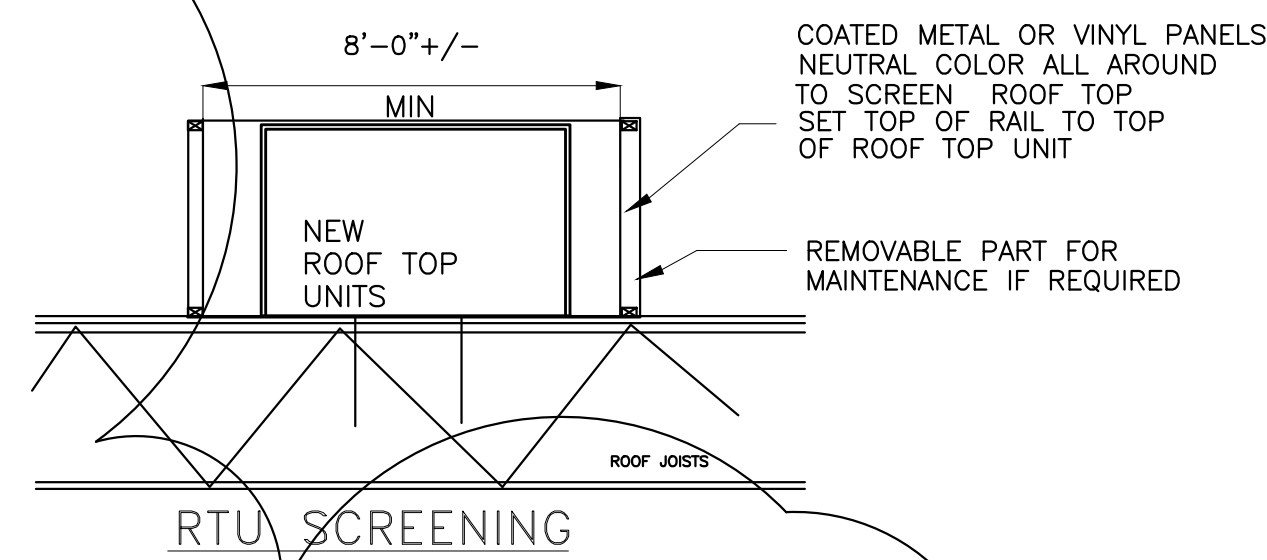
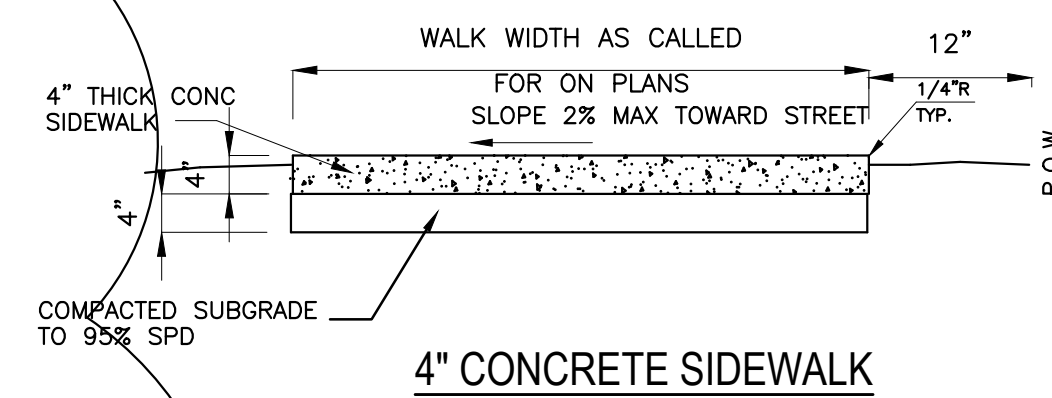
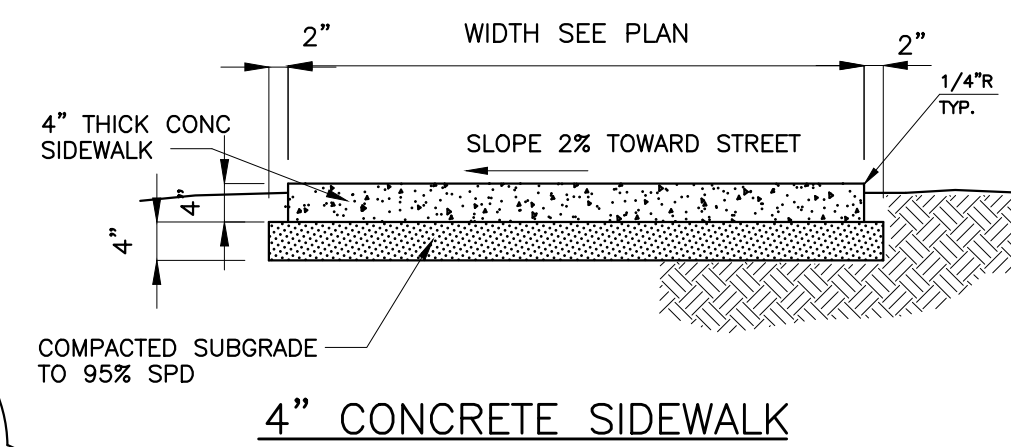
NOTE: ALL NEW LIGHTING TO BE SHIELDED AND DIRECTED DOWN WARD.

**LIGHTING NOTES:**

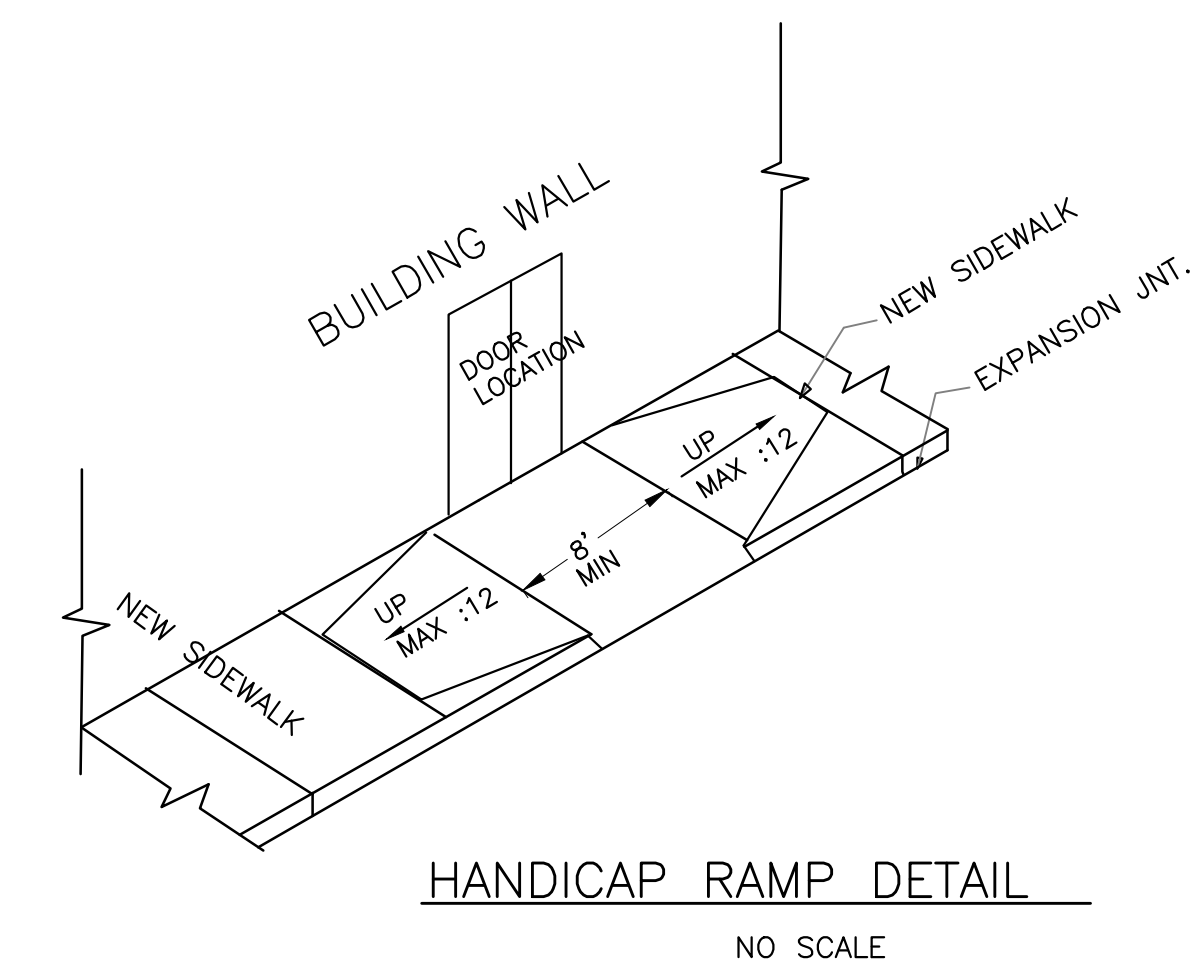
- 1- PARKING LOT LIGHTING POLE LENS TO BE LIMITED TO 250 W
- 2- FUEL CANOPY LIGHTING IS LIMITED TO 400 W. AND RECESSED IN
- 3- WALL PACKS ARE LIMITED TO 1745 W
- 4- ALL LIGHTS TO BE SHIELDED FROM ADJACENT PROPERTY.



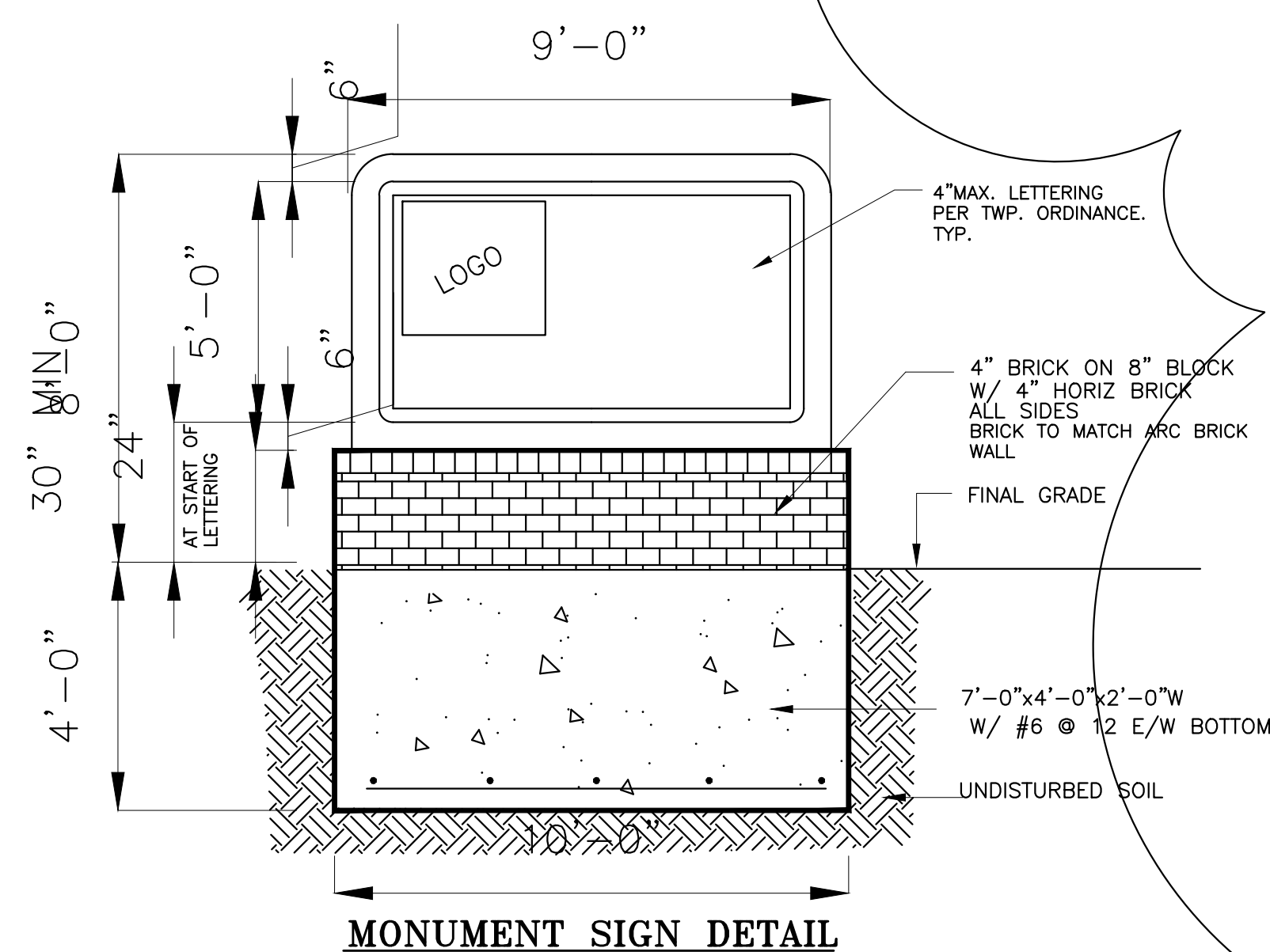
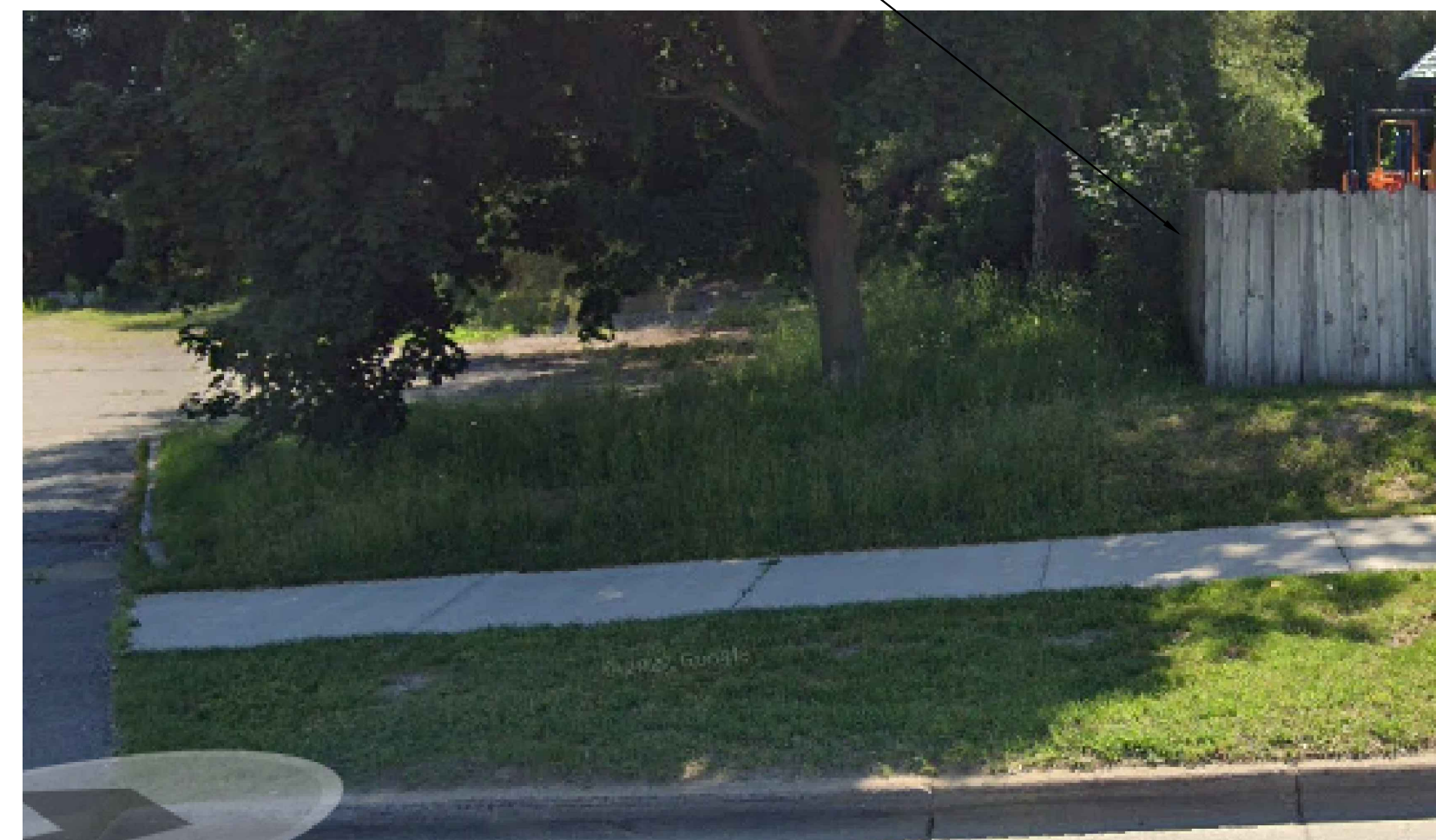
**CURB + GUTTER TYPE F-5  
M.DOT R-30 E**



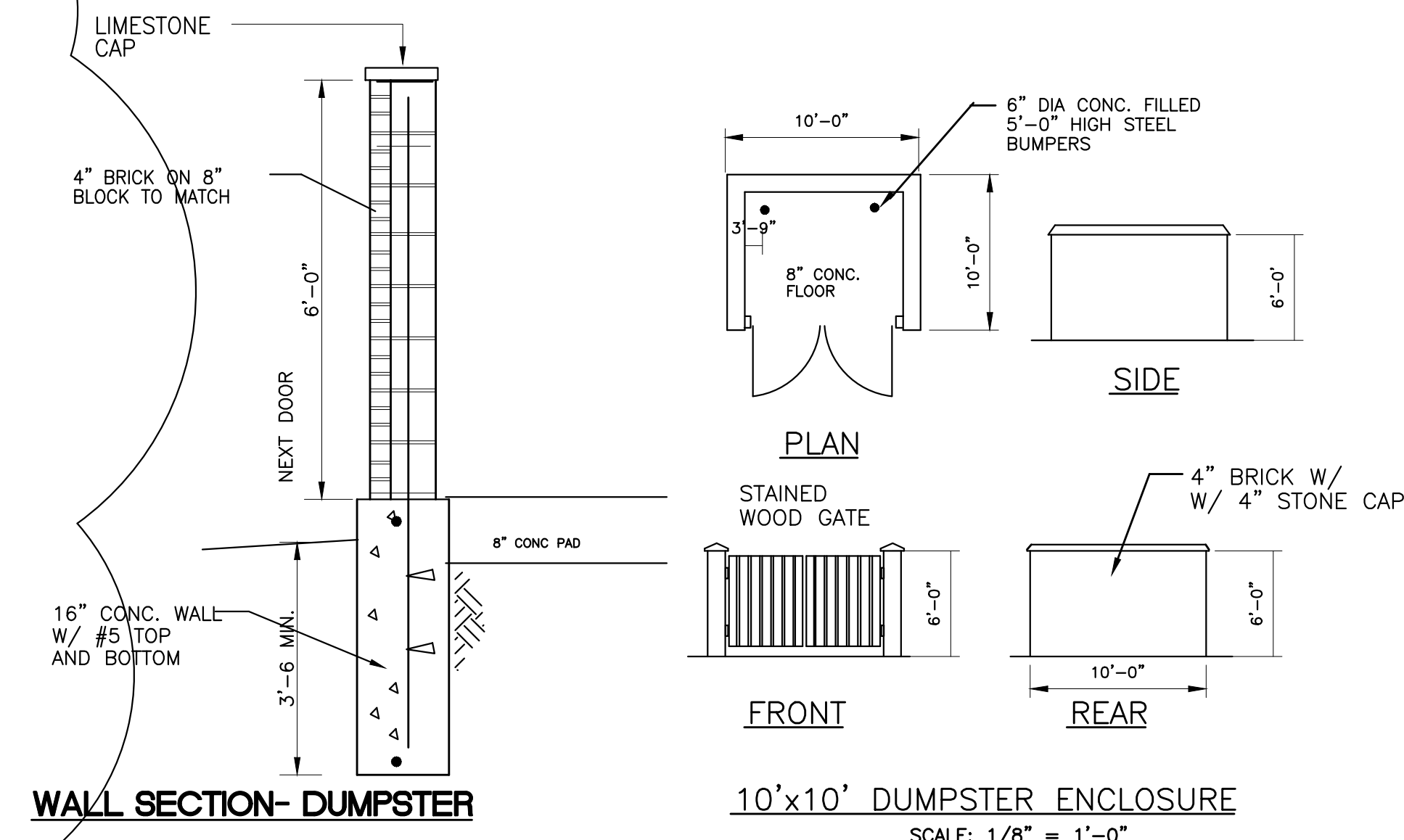
**INTEGRATED SIDEWALK DETAIL**



TO THE SOUTH FACING THE DY CARE CENTER EXISTING WOOD FENCE WILL BE REPLACED WITH DECORATIVE VINYL FENCE

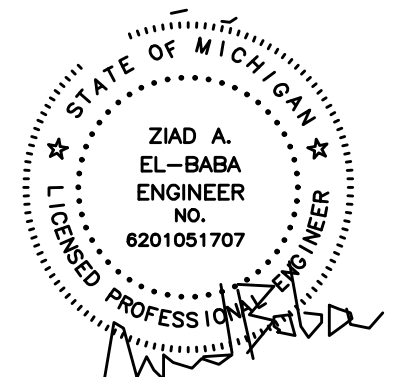


**MONUMENT SIGN DETAIL**



**WALL SECTION- DUMPSTER**

**10'x10' DUMPSTER ENCLOSURE**  
SCALE: 1/8" = 1'-0"



**ZIAD EL-BABA  
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AUG.26.24		SITE PLAN

Project:  
NEW GAS STATION  
394 N MILFORD ROAD  
HIGHLAND TWP ,MI  
OWNER

Drawing Title:  
EROSION PLAN

Project Number	Scale	AS NOTED

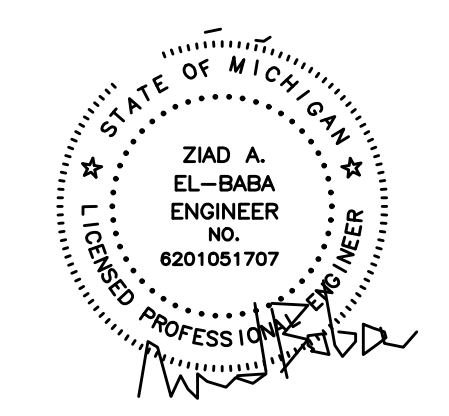
Drawing No.

SP-7





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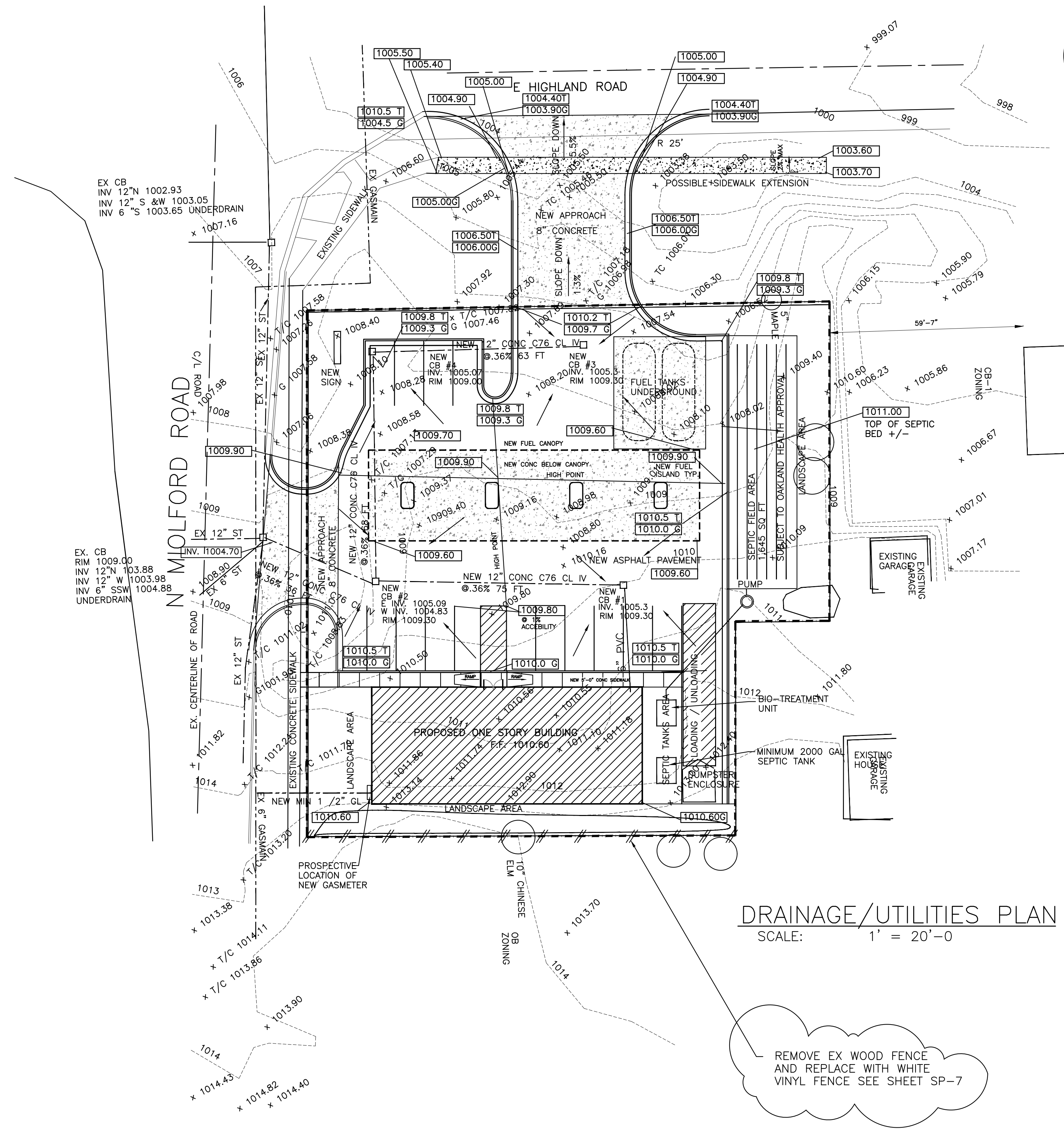
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AUG.26.24		SITE PLAN

Project:  
 NEW GAS STATION  
 394 N MILFORD ROAD  
 HIGHLAND TWP ,MI  
 OWNER

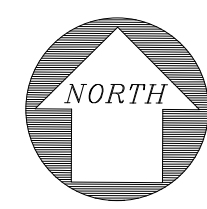
Drawing Title:  
 DRAINAGE/UTILITIES PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.  
 SP-8



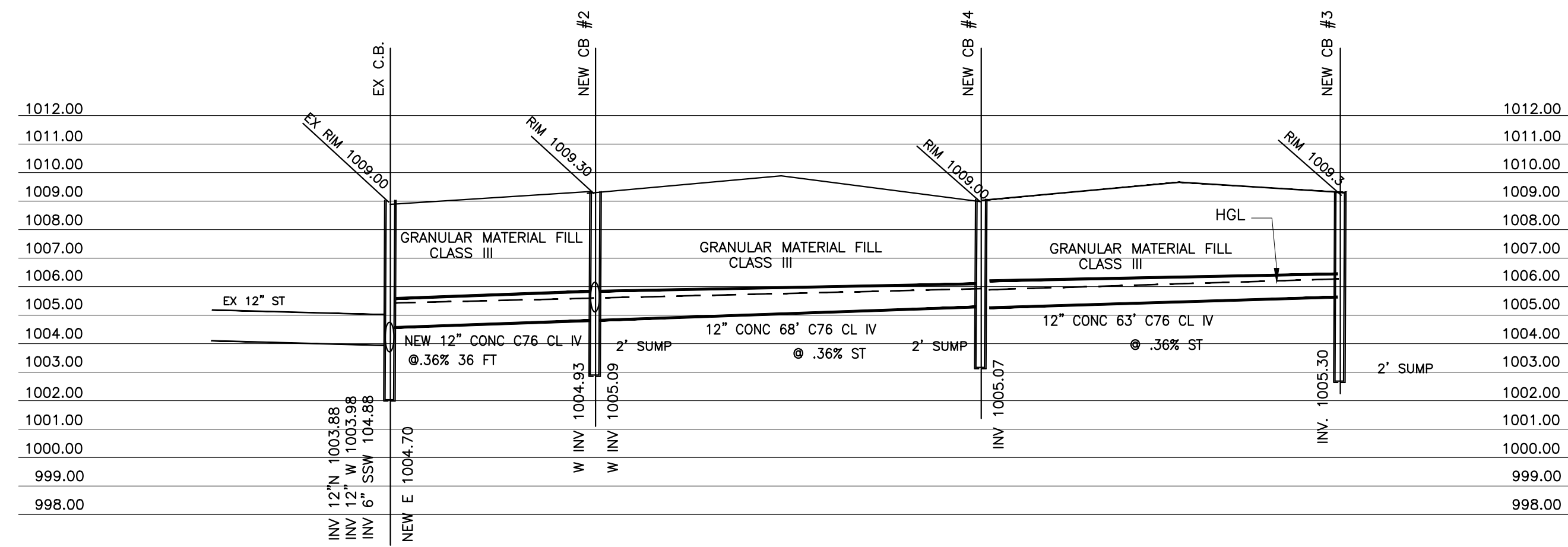
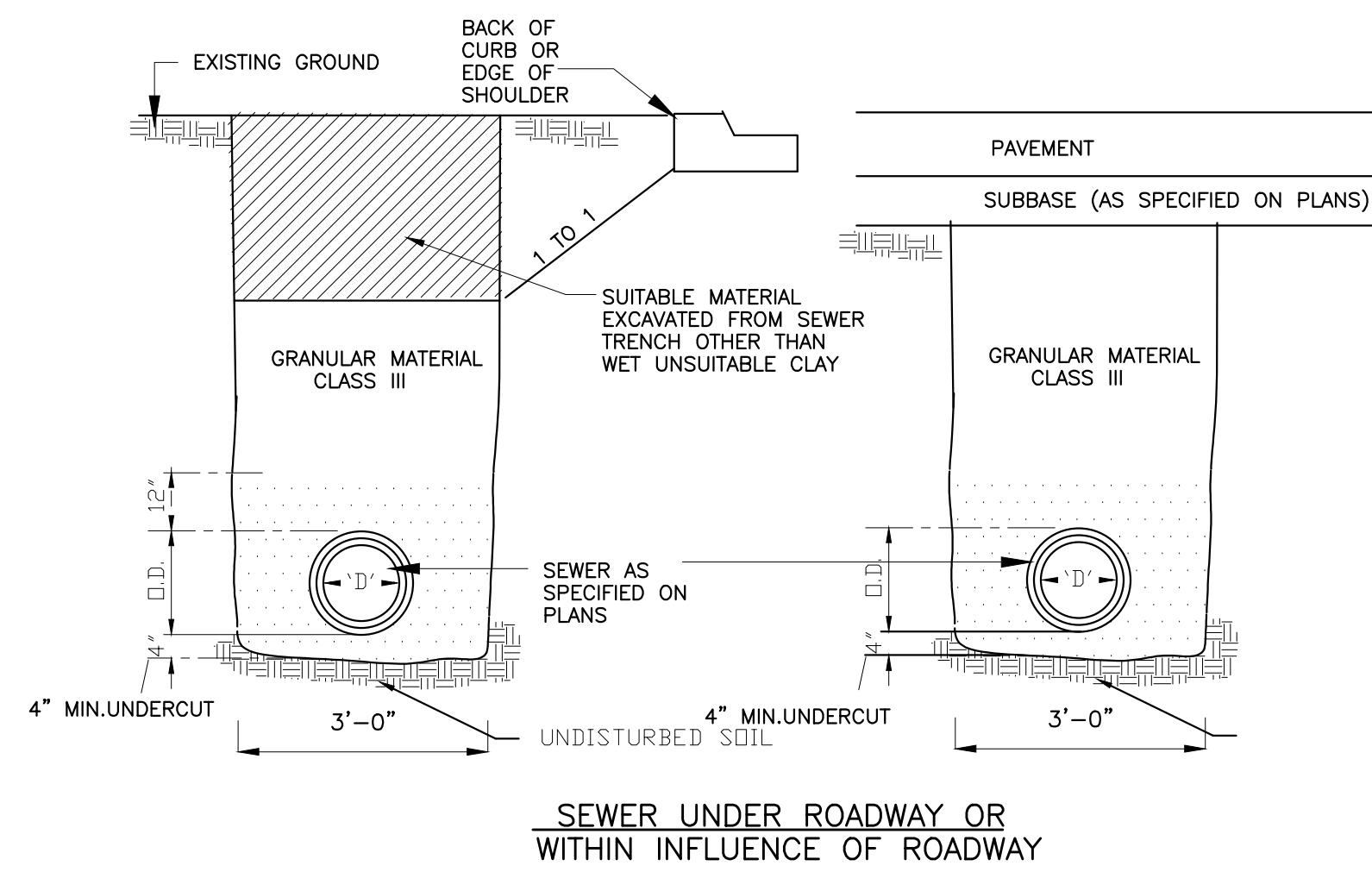
**DRAINAGE/UTILITIES PLAN**  
 SCALE: 1" = 20'-0"



REMOVE EX WOOD FENCE AND REPLACE WITH WHITE VINYL FENCE SEE SHEET SP-7

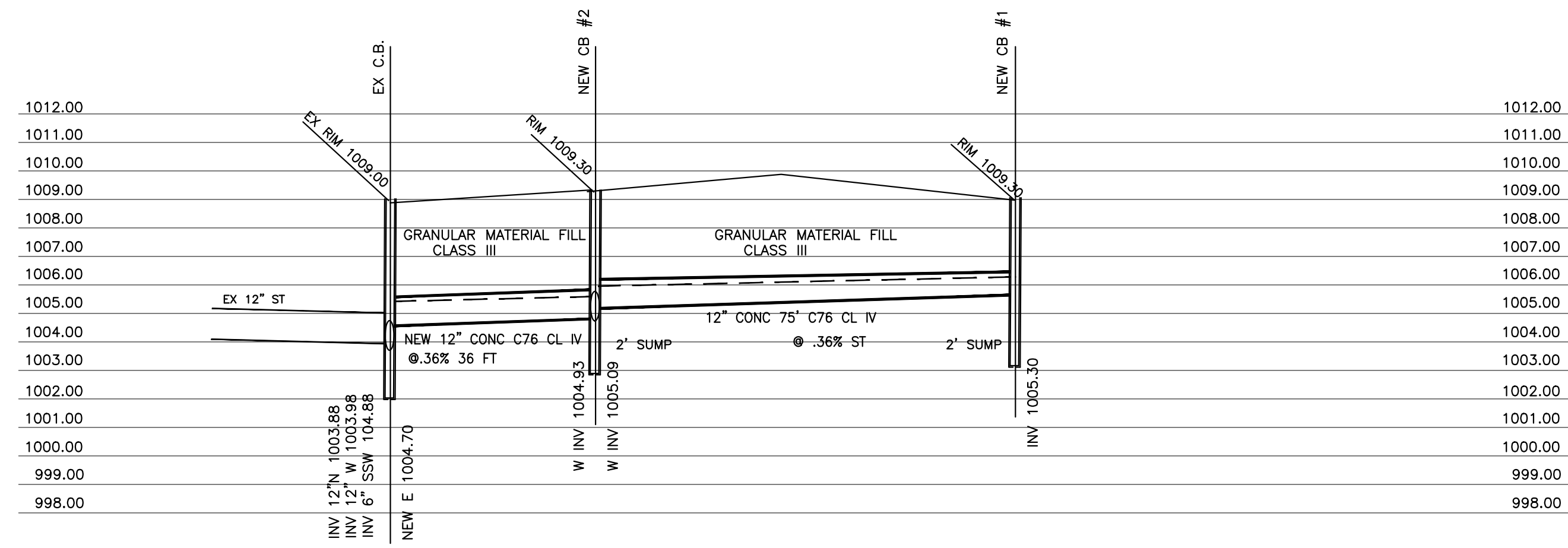
EX CB  
 INV 12" N 1002.93  
 INV 12" S & W 1003.05  
 INV 6" S 1003.65 UNDERDRAIN

EX. CB  
 RIM 1009.00  
 INV 12" N 1003.88  
 INV 12" W 1003.98  
 INV 6" SSW 1004.88  
 UNDERDRAIN



STORM PROFILE FROM CB #3 TO EXISTING CB

SCALE: HORIZ. 1"=20'-0"  
VERT. 1"=4'-0"



STORM PROFILE FROM CB #1 TO EXISTING CB

SCALE: HORIZ. 1"=20'-0"  
VERT. 1"=4'-0"

TC = 242 / 60(2.7) = 1.5 MIN

$$T_c = \frac{L}{60V}$$

$$I = \frac{30.20p^{0.22}}{(T_c + 9.17)^{0.81}}$$

Eq. III-7	$I = \frac{30.20p^{0.22}}{(T_c + 9.17)^{0.81}}$
I =	Average rainfall intensity in inches/hour
p =	Design storm return period in years
T <sub>c</sub> =	Time of concentration in minutes

C Values		
Green Space	HSG A	0.15
	HSG B	0.20
	HSG C	0.25
	HSG D	0.30
Impervious Areas		0.95
Water		1.00

\*HSG = Hydrological Soil Group

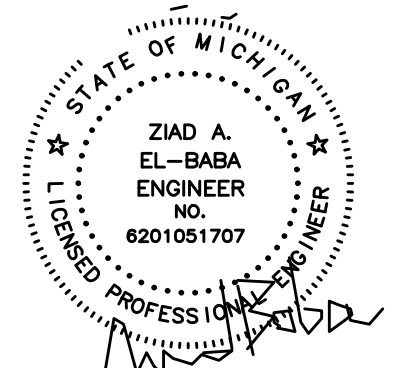
STORM CALCULATION:

10 YEAR STORM USE TC = 10 MIN  
 $I_{10} = 30.20(10)^{0.22} / (9.17 + 10)^{0.81} = 4.58$  in/hr

$Q = C.I.A.$   $C = \frac{.25 \times 7900 + .95 \times 17600}{25,500} = .73$

$t = L/V * 60$   $T$  (START) = 10 MIN.  $n = 0.012$

FROM MH	TO MH	AREA ACRES	TOTAL AREA ACRES	C	T	I	Q C.I.A. FT3/S	L FT	D IN.	S SLOPE	Q full FT3/S	V full FT3	INV UPST	INV. DNST	RIM ELEV	H.G. UPPER	RIM - HGL MINIMUM 2.5	
CB #1	CB #2	.24 INCL BLDG	.24	.78	.78	10.00	4.58	0.86	75	12	.32	2.1	2.7	1005.30	1005.09	1009.30	1006.1	3.2
CB #3	CB #4	.13	.13	.67	.67	10.46	4.58	0.40	63	12	.32	2.1	2.7	1005.30	1005.07	1009.30	1006.1	3.2
CB #4	CB #2	.07	.20	.68	.70	10.46	4.50	0.63	68	12	.32	2.1	2.7	1005.07	1004.93	1009.00	1005.87	3.13
CB #2	EX CB	.12	.56	.80	.73	10.46	4.46	1.80	36	12	.32	2.1	2.7	1004.93	1004.70	1009.30	1005.73	3.57



**ZIAD EL-BABA ENGINEERING**

674 GAUTHIER  
TECUMSEH ONTARIO  
N8N3P8 CANADA  
CELL : 313-938-8767  
CELL - 519-796-9882

DATE	REV. NO.	ISSUED FOR
JUN.27.24		SITE PLAN
AUG.26.24		SITE PLAN

Project:  
NEW GAS STATION  
394 N MILFORD ROAD  
HIGHLAND TWP ,MI  
OWNER

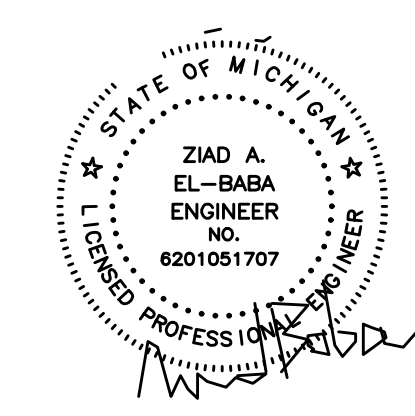
Drawing Title:  
DRAINAGE/UTILITIES PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.  
**SP-9**



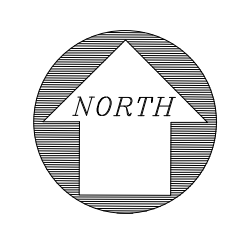
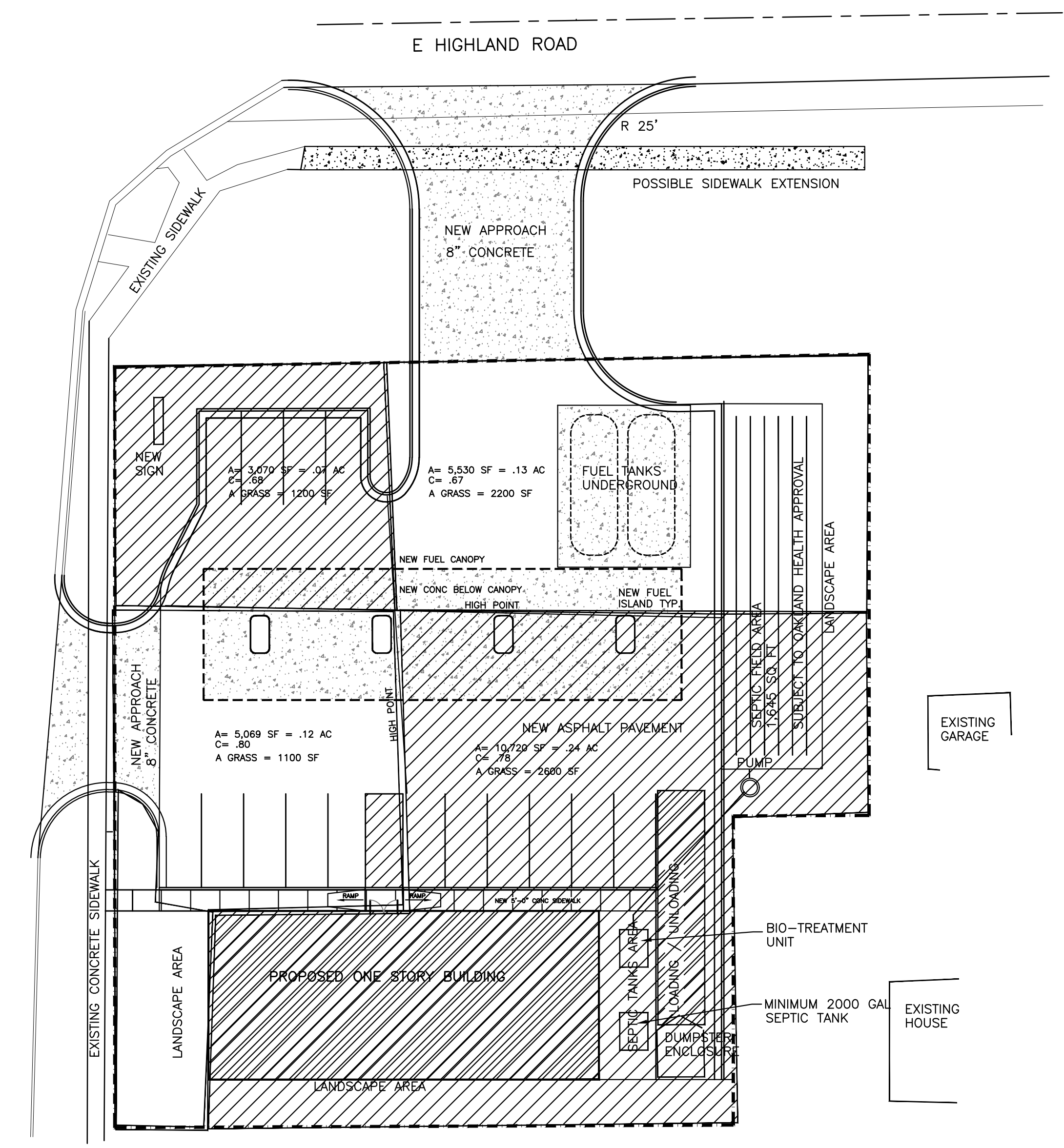
**CAUTION !!!**  
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



**ZIAD EL-BABA ENGINEERING**

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N MILFORD ROAD  
 EX. CENTERLINE OF ROAD



**DRAINAGE AREAS**  
 SCALE: 1" = 20'-0"

DATE	REV. NO.	ISSUED FOR
JUN.27.24		SITE PLAN
AUG.26.24		SITE PLAN

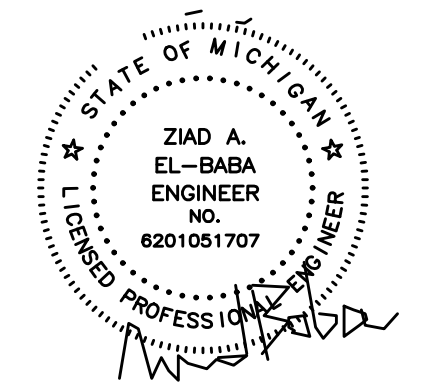
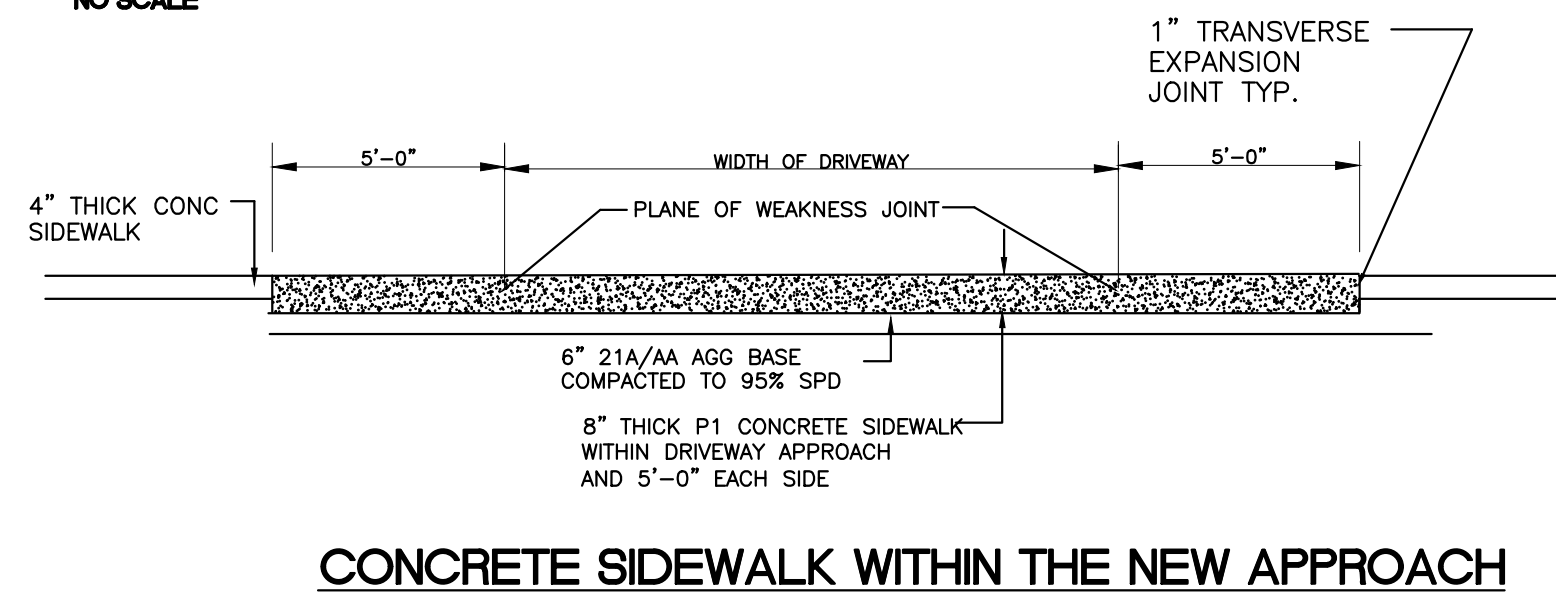
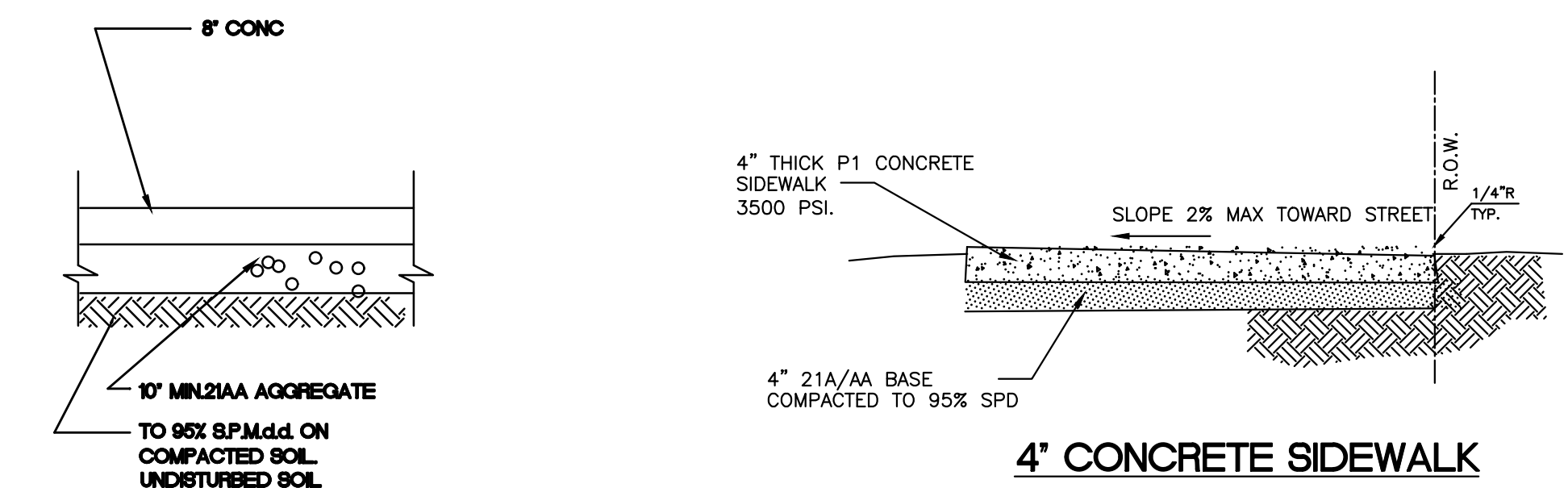
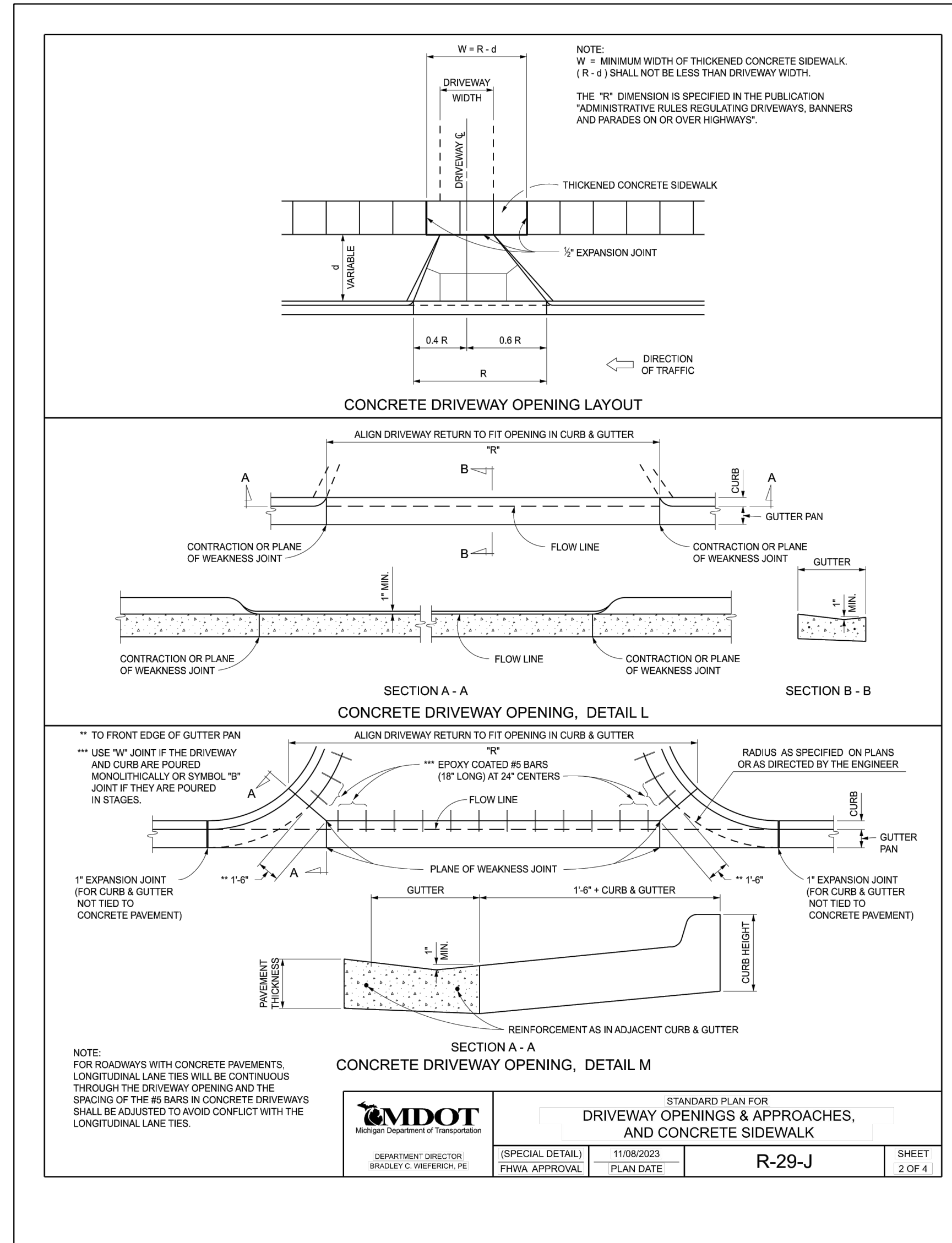
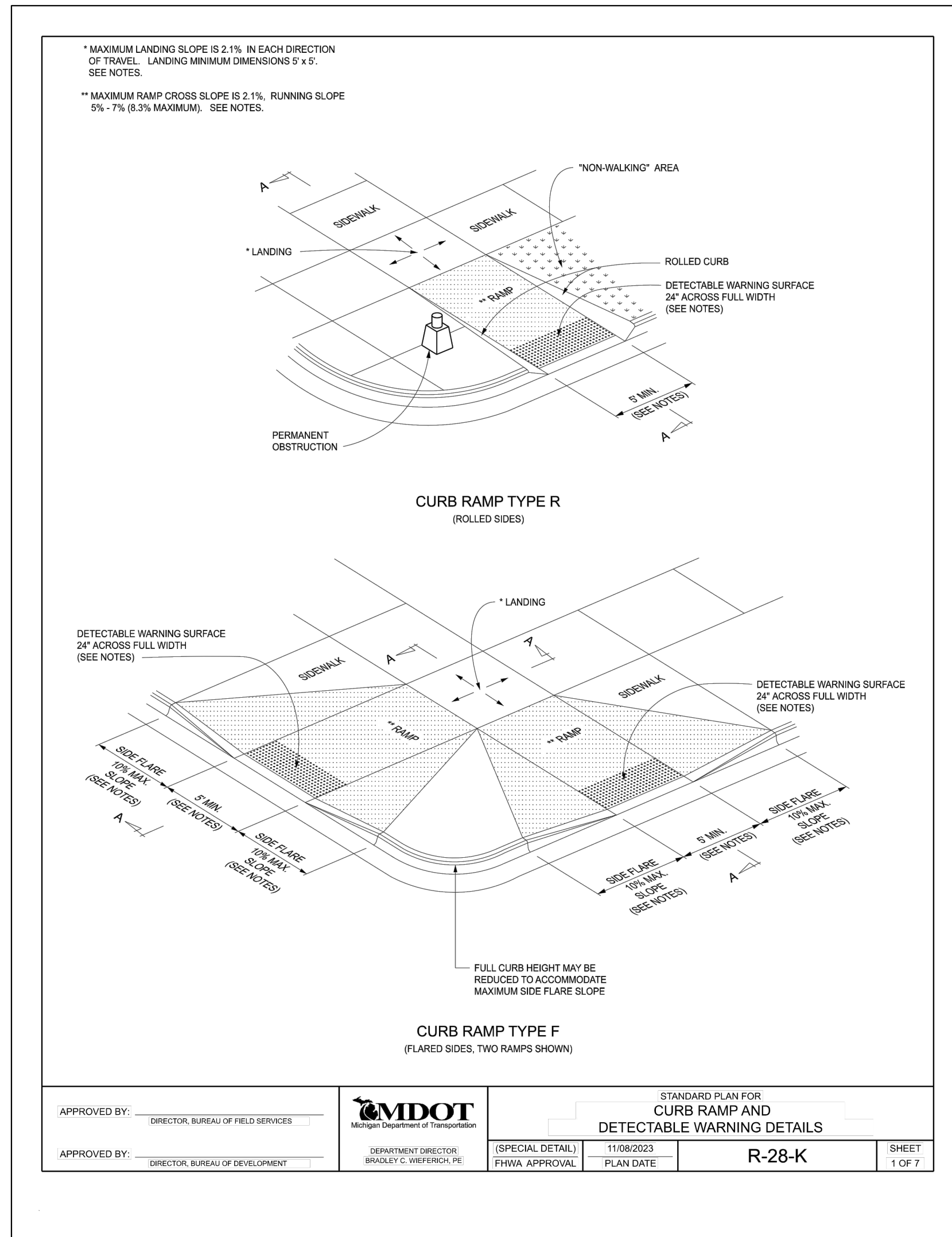
Project:  
 NEW GAS STATION  
 394 N MILFORD ROAD  
 HIGHLAND TWP ,MI  
 OWNER

Drawing Title:  
 DRAINAGE AREAS

Project Number	
Scale	AS NOTED
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Drawn By	
Checked By	

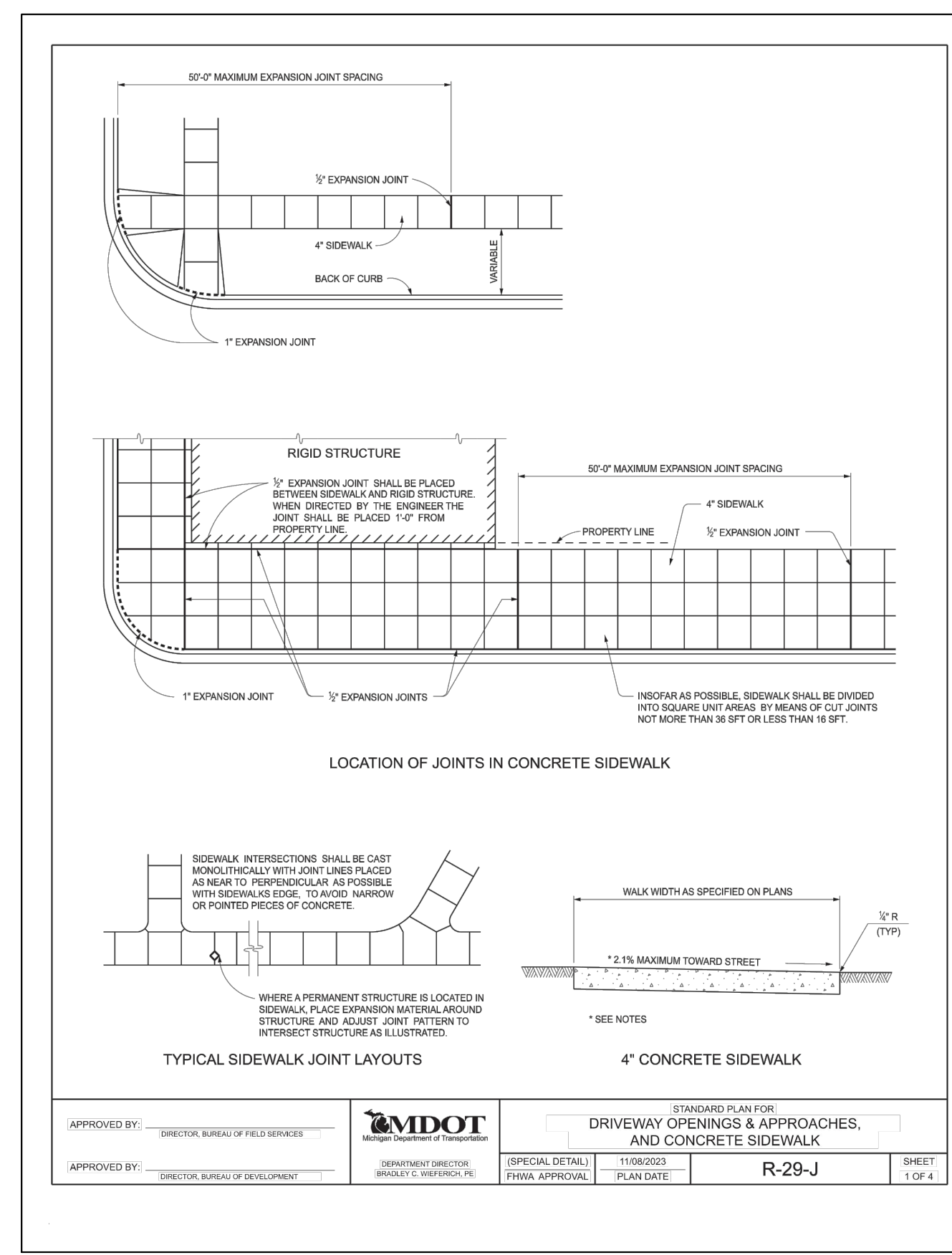
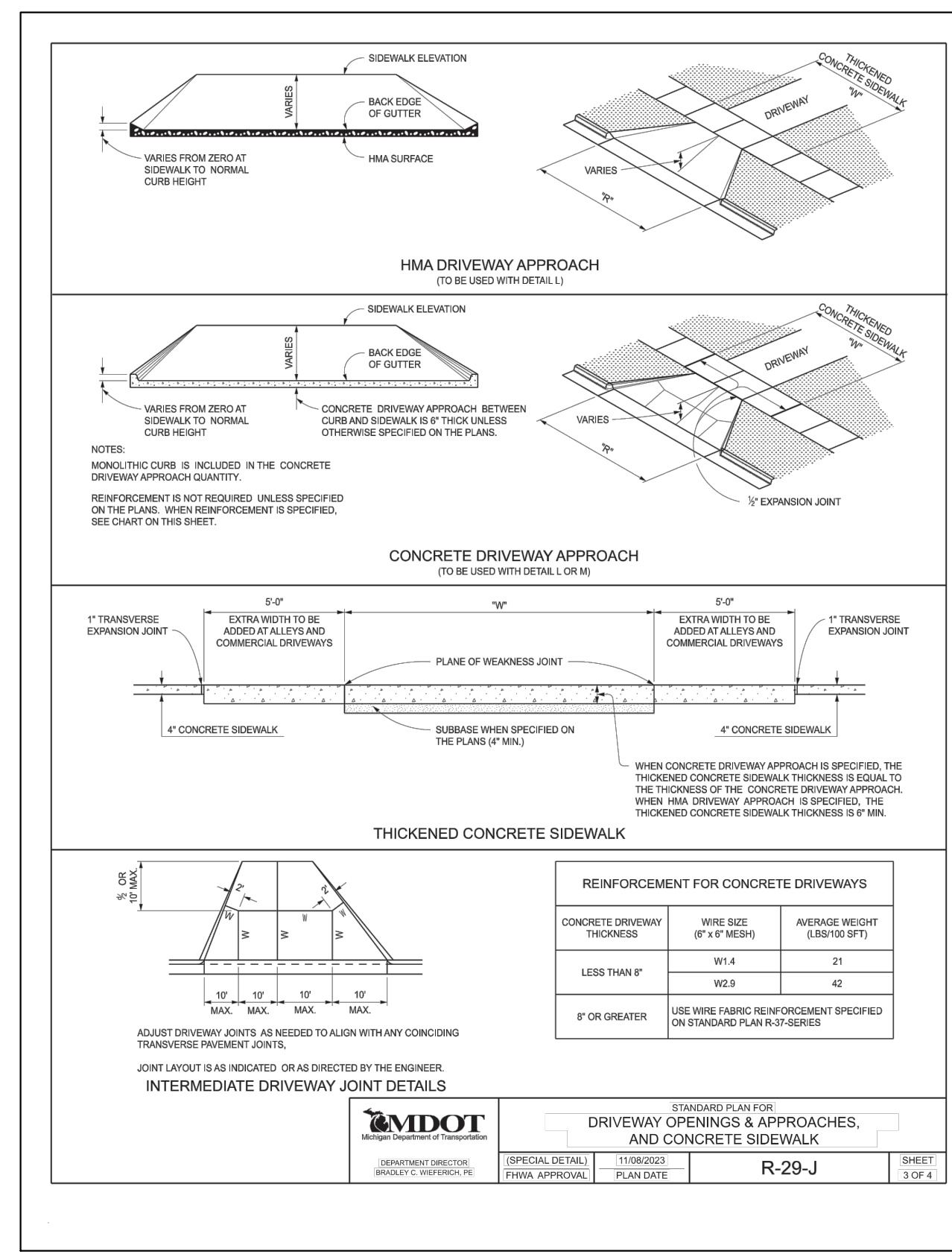
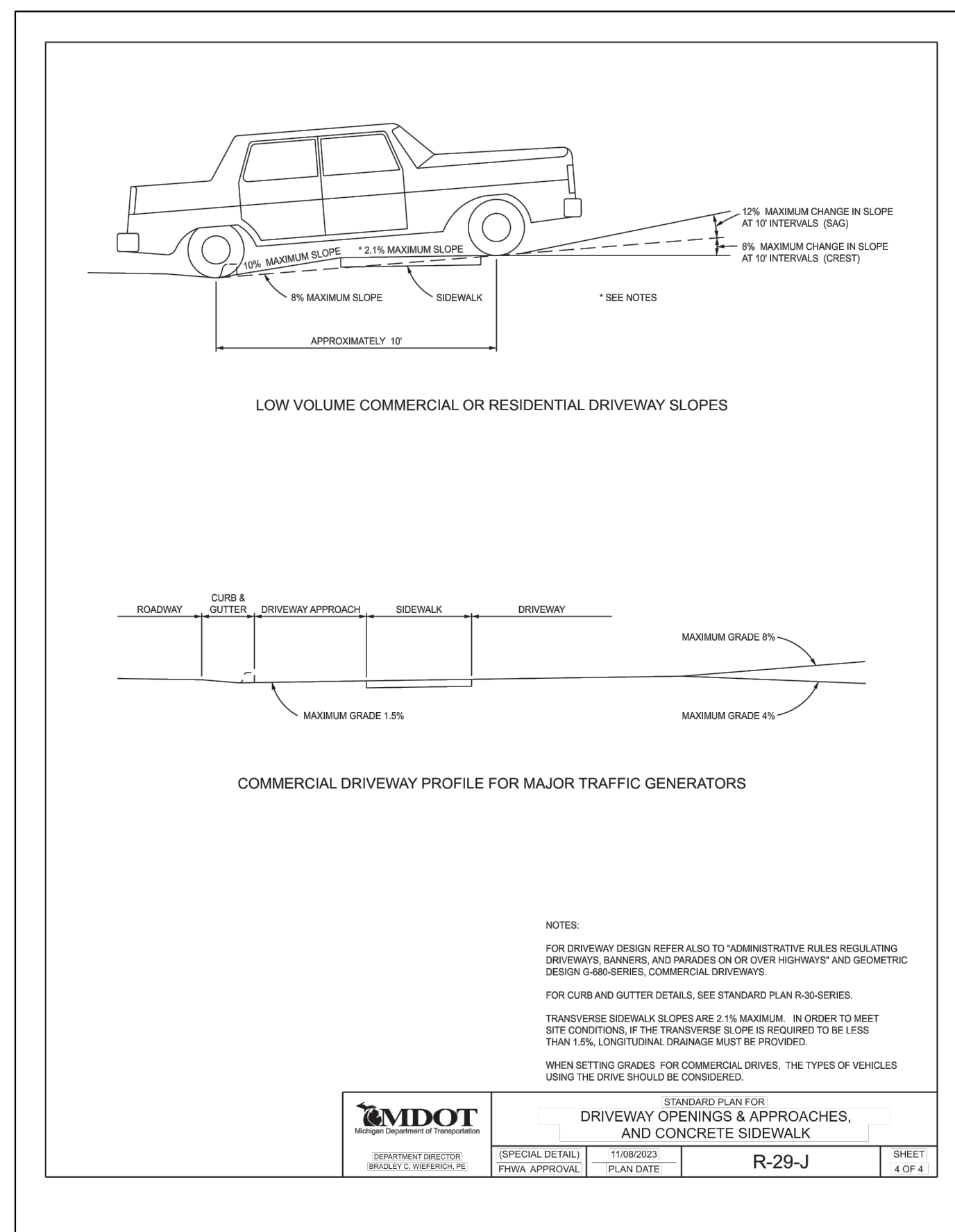
Drawing No.  
 SP-10





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 TECUMSEH ONTARIO  
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 CELL - 519-796-9882



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DATE		ISSUED FOR
AUG.26.24		SITE PLAN

Project:  
 NEW GAS STATION  
 394 N MILFORD ROAD  
 HIGHLAND TWP ,MI  
 OWNER

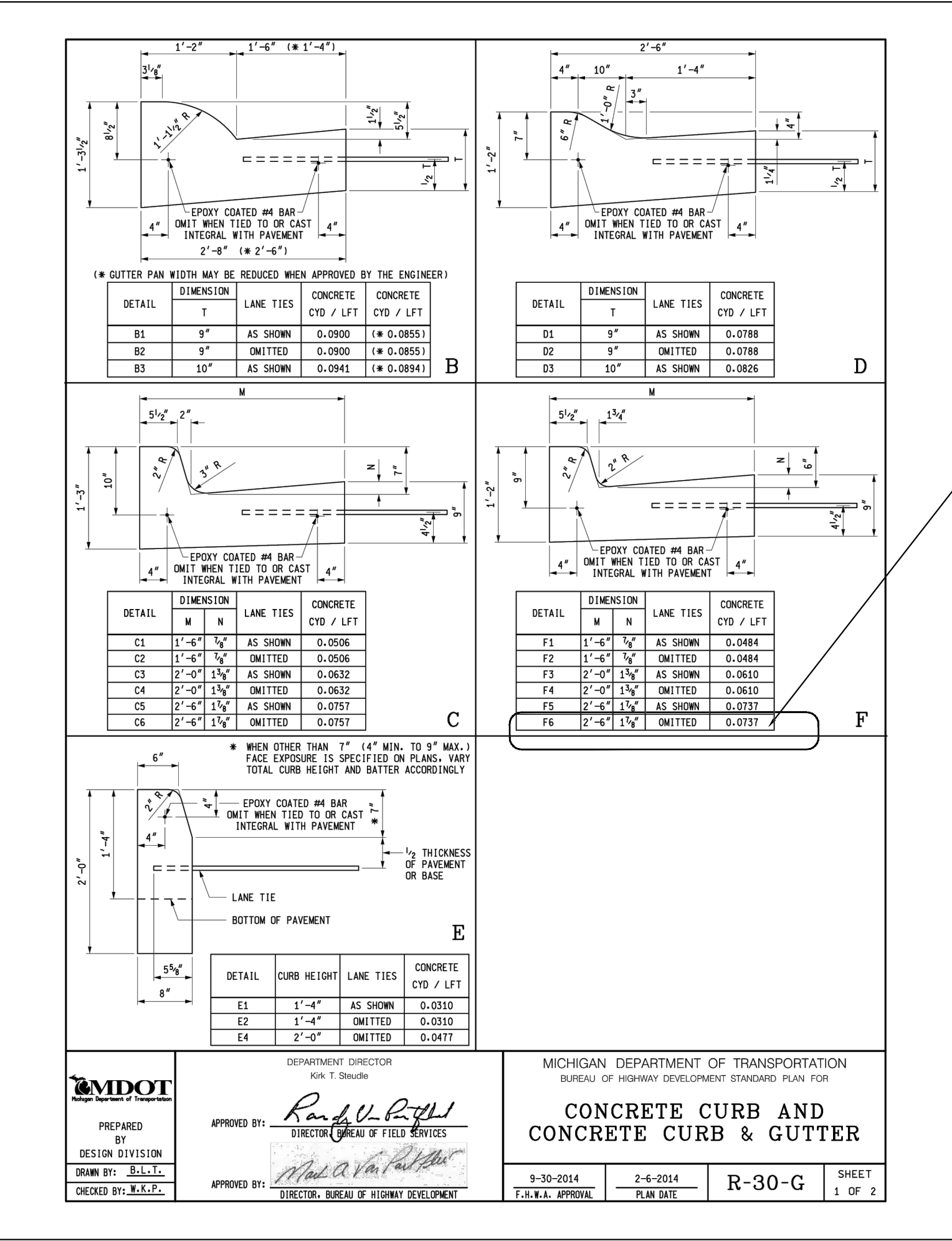
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 MDOT DETAILS

Project Number	AS NOTED
Scale	AS NOTED
Date	
Drawn By	
Checked By	

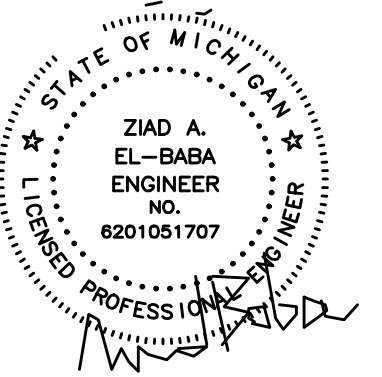
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SP-11

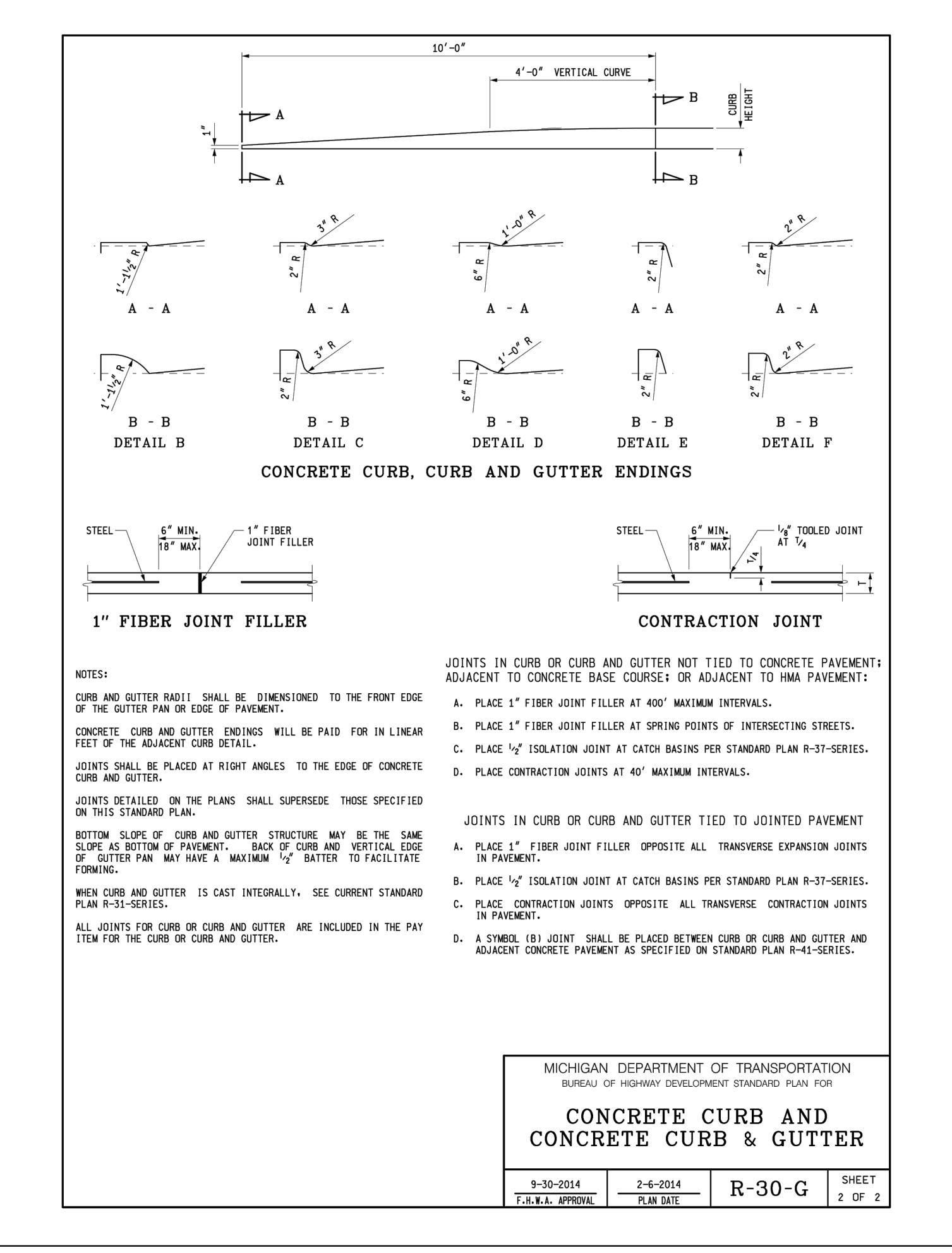




CURB F-6



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674 GAUTHIER  
TECUMSEH ONTARIO  
N8N3P8 CANADA  
CELL : 313-938-8767  
CELL - 519-796-9882



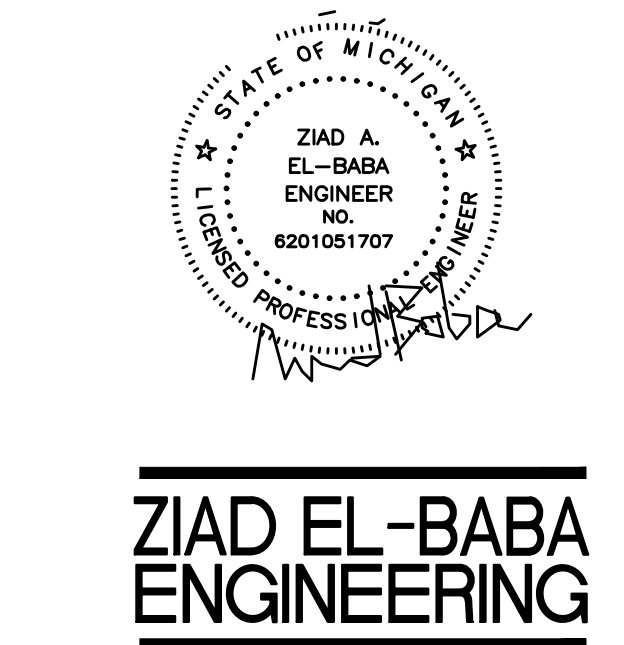
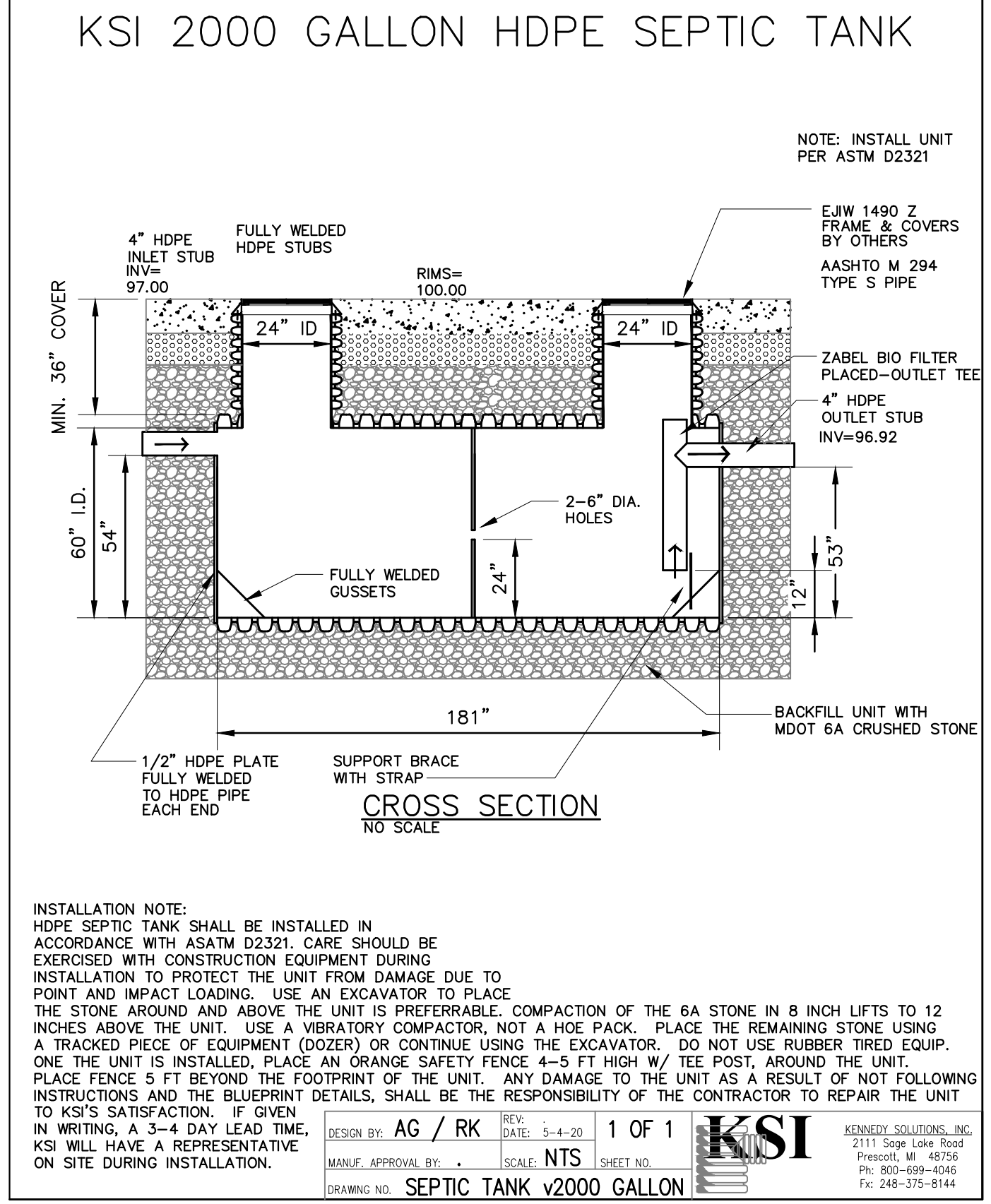
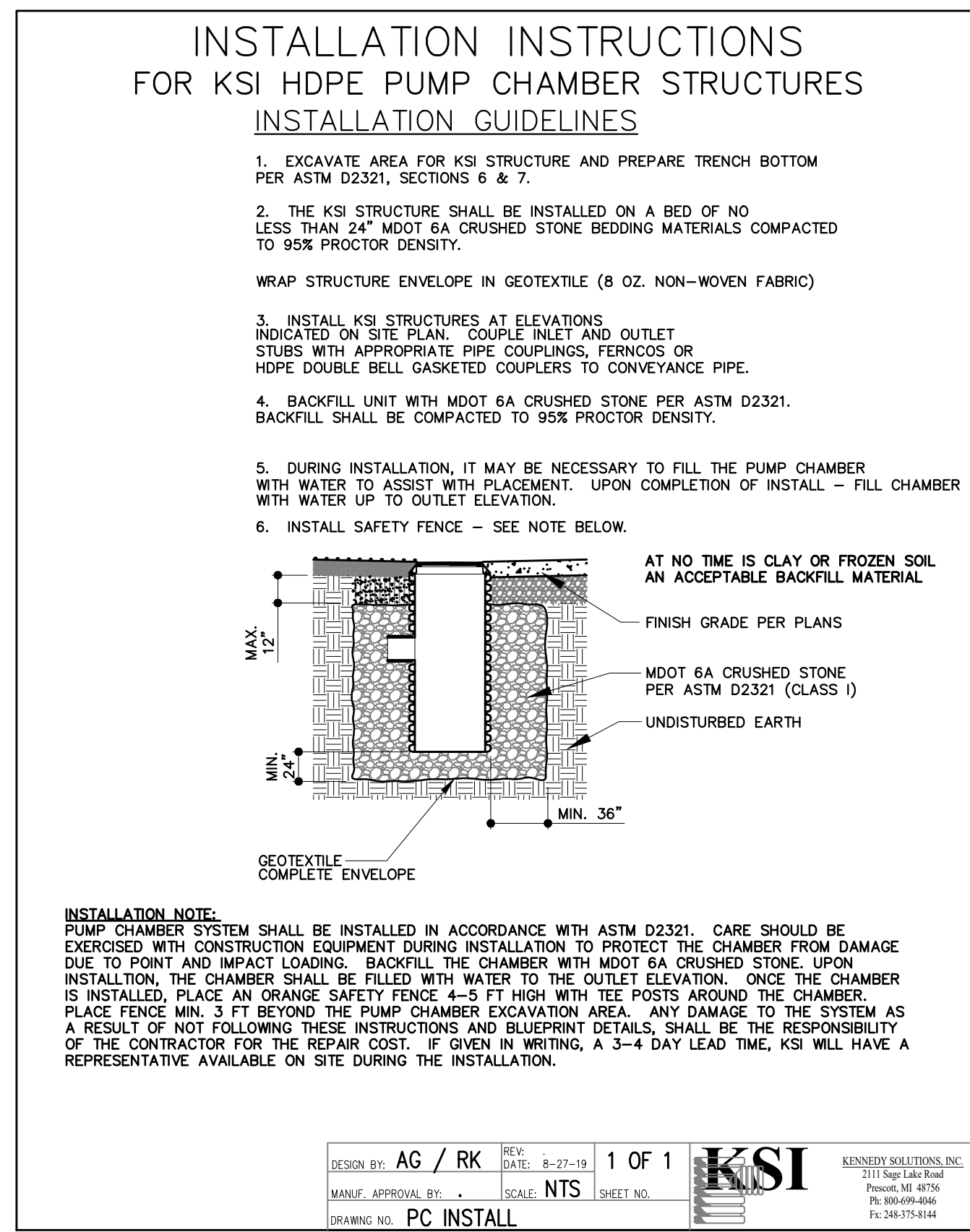
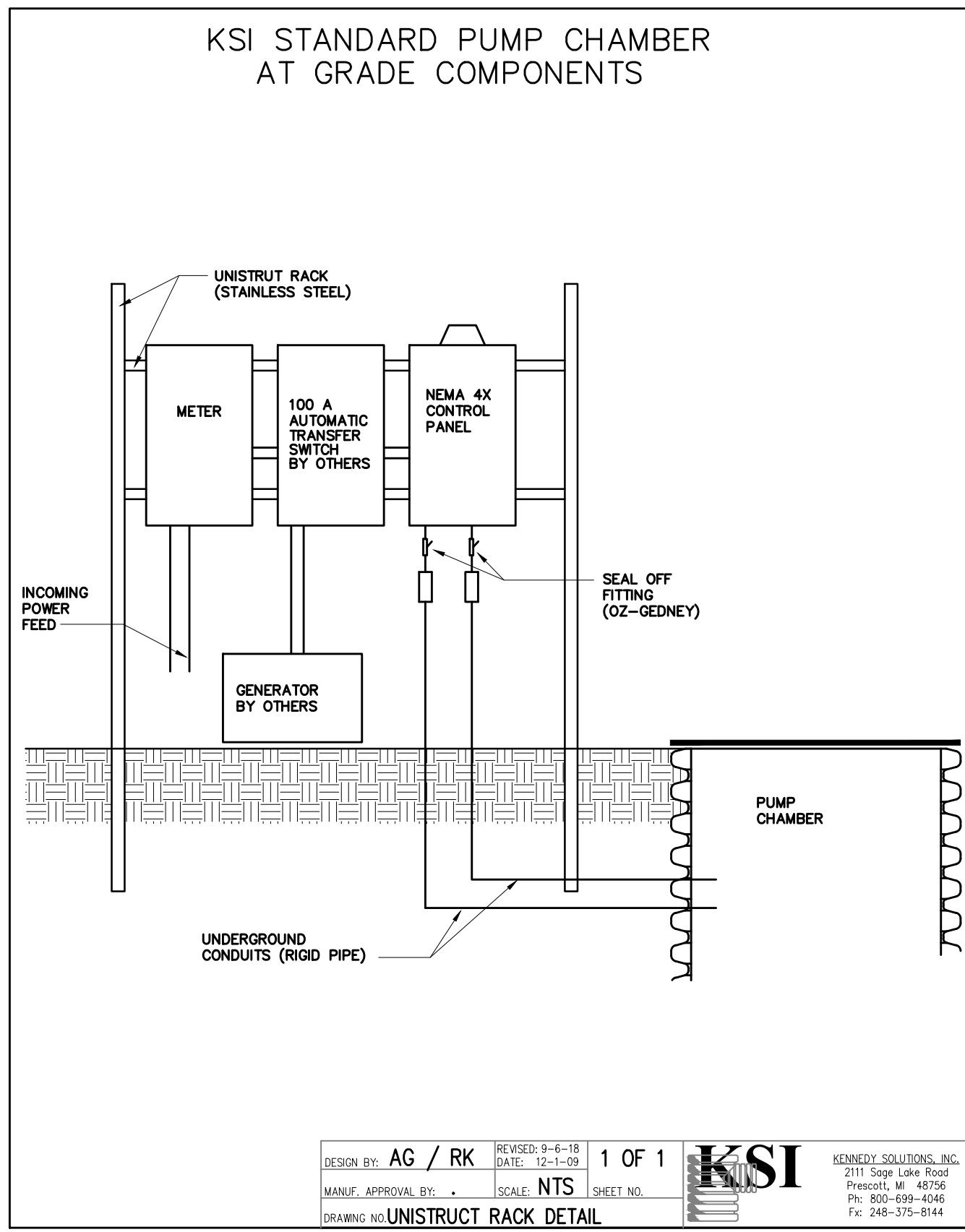
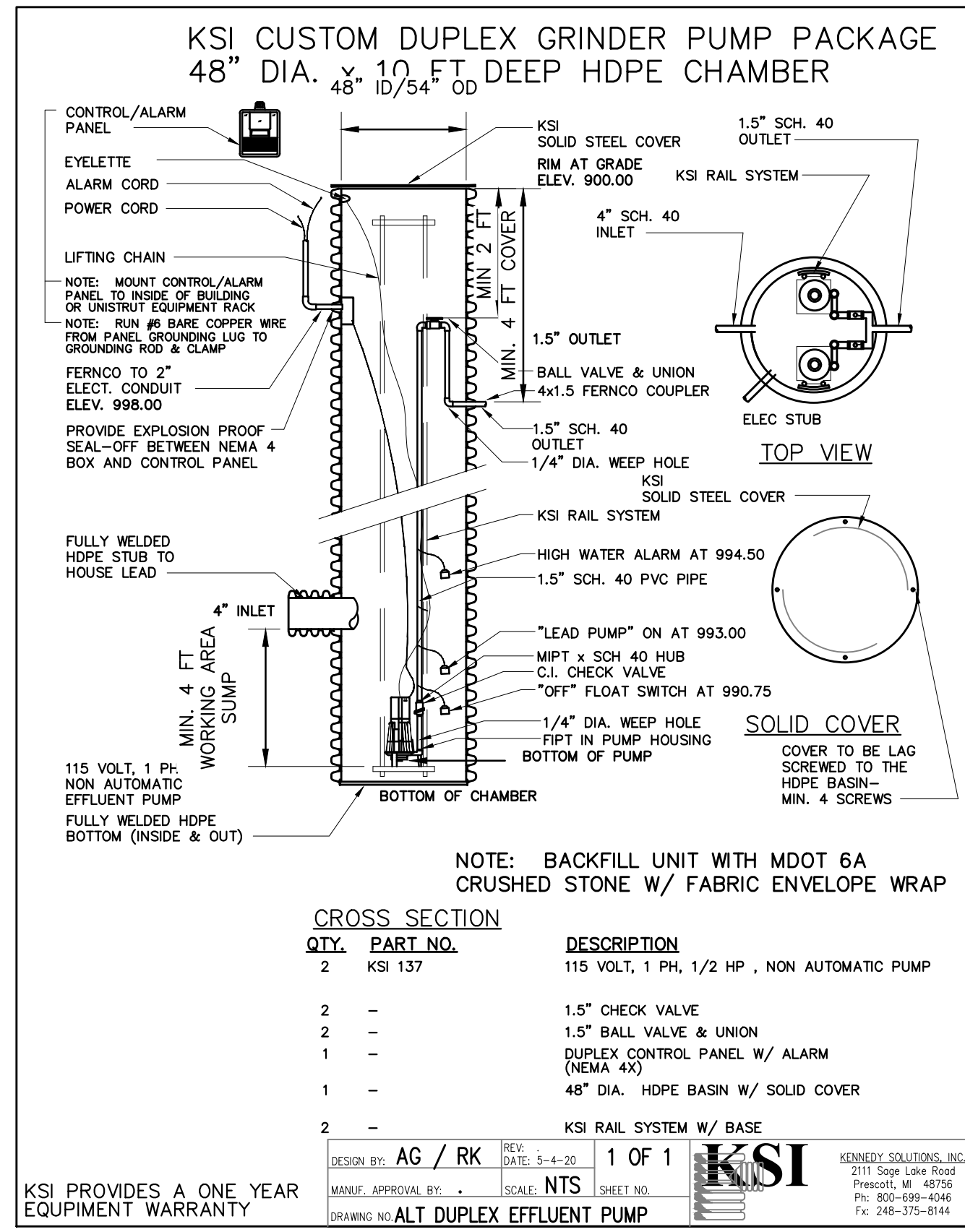
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AUG.26.24		SITE PLAN

Project:  
NEW GAS STATION  
394 N MILFORD ROAD  
HIGHLAND TWP ,MI  
OWNER

Drawing Title:  
MDOT DETAILS

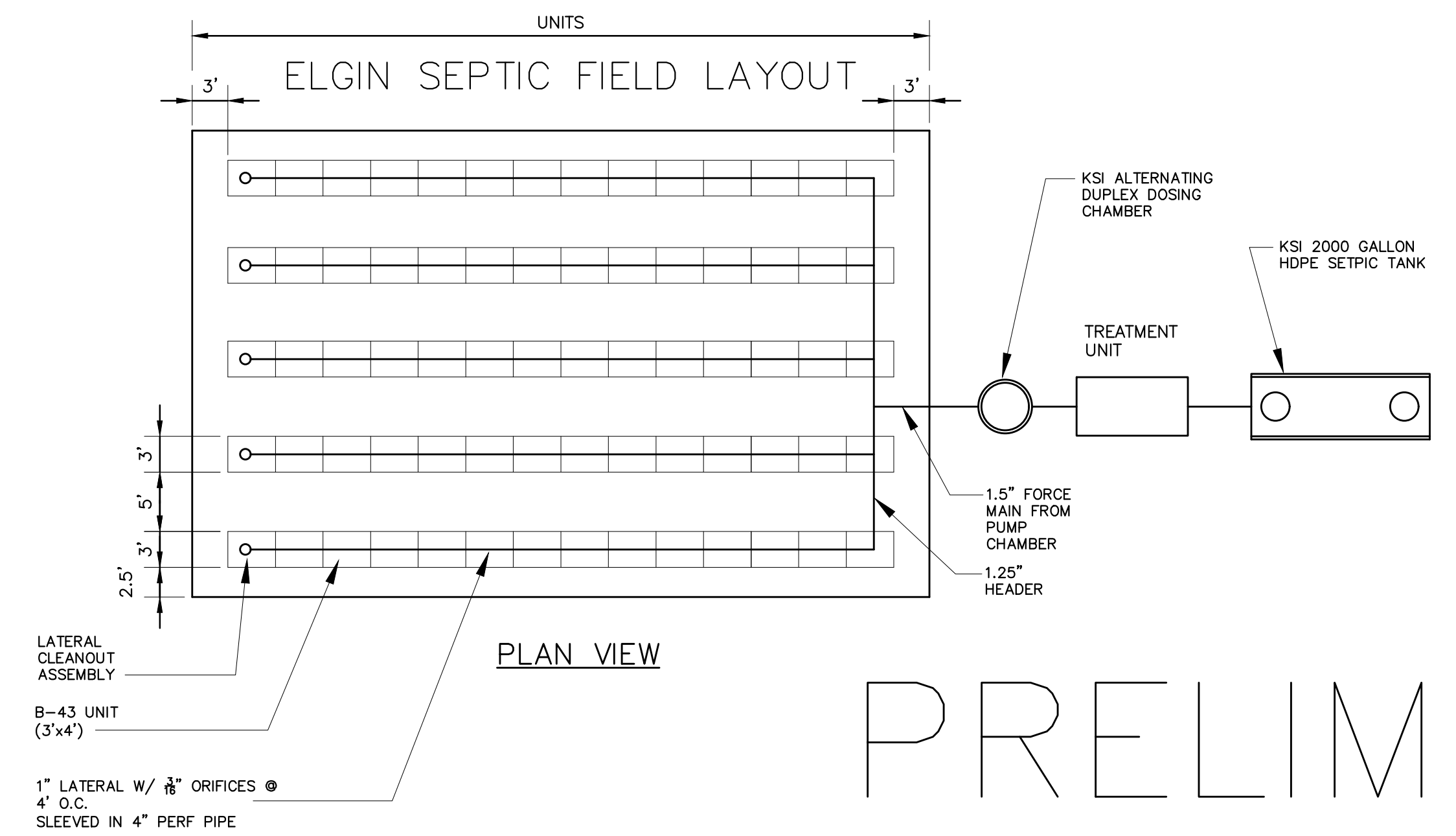
Project Number	Scale	AS NOTED
	Date	
	Drawn By	
	Checked By	

Drawing No.  
SP-12

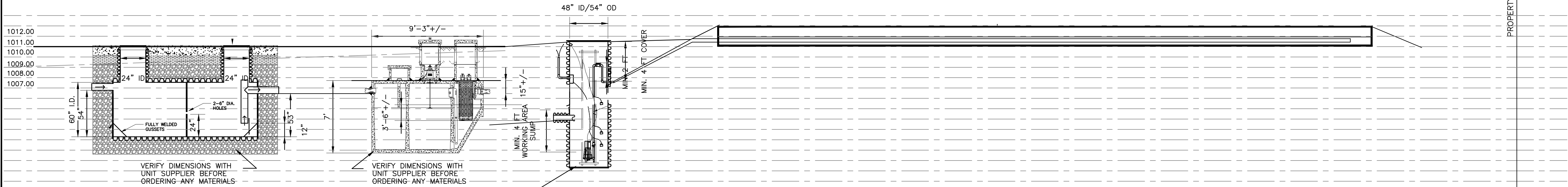
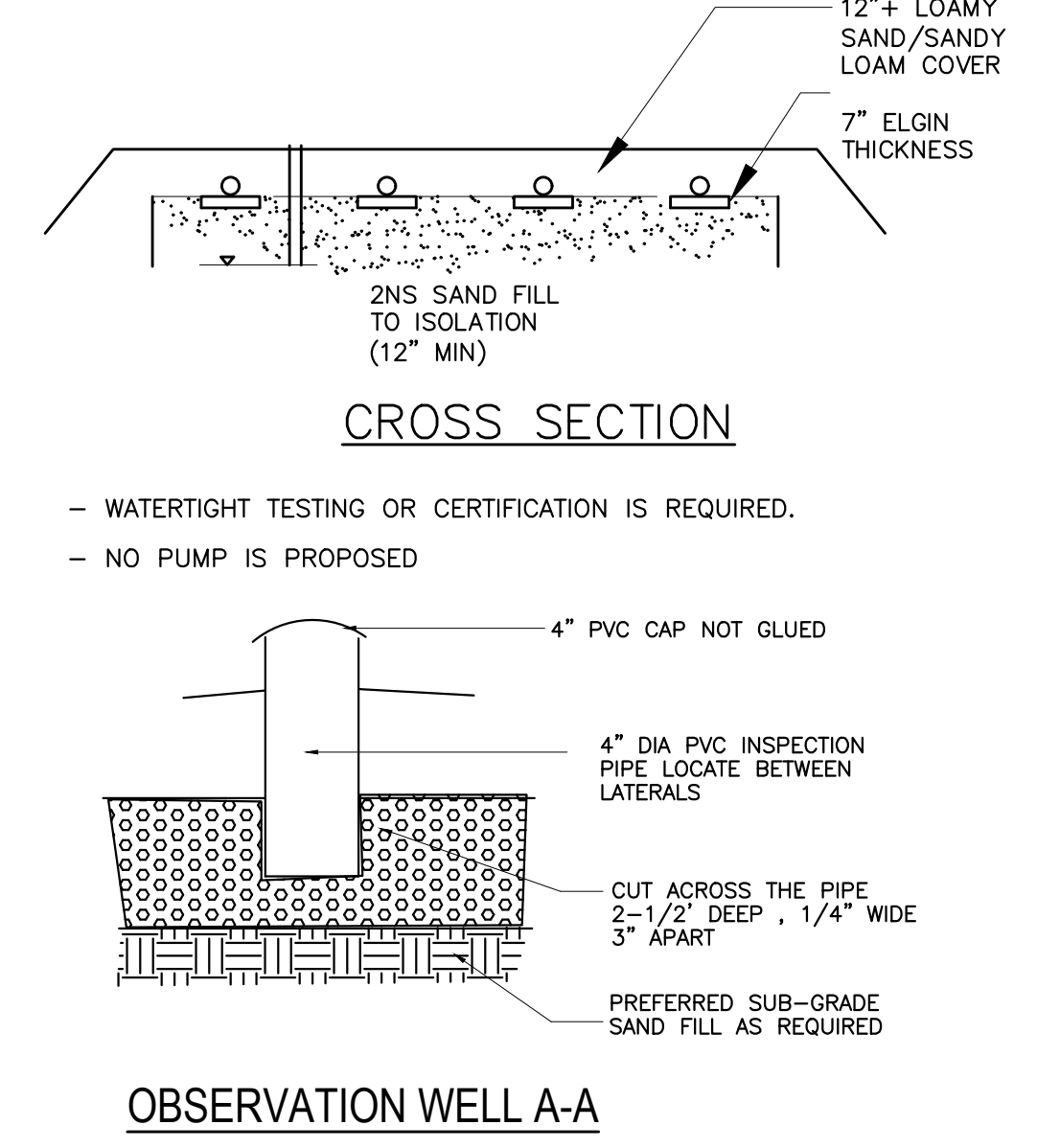


**ZIAD EL-BABA  
ENGINEERING**

- GENERAL NOTES:**
- AFTER INSTALLATION OF SYSTEM, VACUUM AND CLEAN TO CONFIRM WATER TIGHT AND TESTED
  - PROVIDE FENCED AREA SIMILAR TO EXISTING W/ BOLLARD AND ROPES AND INSTALL A SIGN FOR NO TRAFFIC OF ANY KIND
  - THE SUPPLIER/OR INSTALLER MUST INSPECT THE SYSTEM FOR ONE YEAR AND SUBMIT REPORT TO OKLAHOMA COUNTY HEALTH DEPARTMENT. THE HEALTH DEPARTMENT MAY REQUEST ADDITIONAL TIME FOR INSPECTIONS BEYOND THE FIRST YEAR.
  - THE INSTALLER/CONTRACTOR SHALL PREPARE THE FIELD, BY REMOVING ALL EXISTING CONNECTION TO EXISTING SYSTEM
  - PREPARE FINAL DISPOSAL AREA BY REMOVING ALL EXISTING DRAINFIELD, CONTAMINATED SOILS, PARKING SURFACE, GRAVEL, TOP SOIL AND FILL MATERIAL APPROX. 5 FEET, HEALTH DEPT MUST INSPECT.
  - BACKFILL WITH SAND ALL SAND BACKFILL SHALL BE MDOT CLASS II SAND
  - BOTH THE FINAL DISPOSAL AND RE-CIRCULATION PUMP SYSTEM TO BE DUPLEX PUMPS. THE PUMPS ARE TO ALTERNATE BETWEEN CYCLES.
  - RE-CIRCULATION SYSTEM:
    - SYSTEM TO ALARM ON HIGH WATER AND POWER FAILURE.
    - PUMPS TO ALTERNATE BETWEEN CYCLES.
    - PUMPS TO OPERATE ON A TIMED DOSE, PER MANUFACTURER'S RECOMMENDATIONS.
  - FINAL DISPOSAL SYSTEMS:
    - SYSTEM TO ALARM ON HIGH WATER AND POWER FAILURE.
    - PUMPS TO OPERATE BETWEEN CYCLES.
    - PUMPS TO OPERATE ON FLOAT LEVEL CONTROL DOSING THE FINAL DISPOSAL 121.7 GAL /DOSE



**PRELIMINARY**



**SEPTIC SYSTEM PROFILE**  
 SCALE : 1"=4' VERTICAL  
 SCALE : 1"=50' HORIZONTAL

674 GAUTHIER  
 TECUMSEH ONTARIO  
 N8N3P8 CANADA

CELL : 313-938-8767  
 CELL NO. : 510-796-9882

DATE	ISSUED FOR
JUN.27	

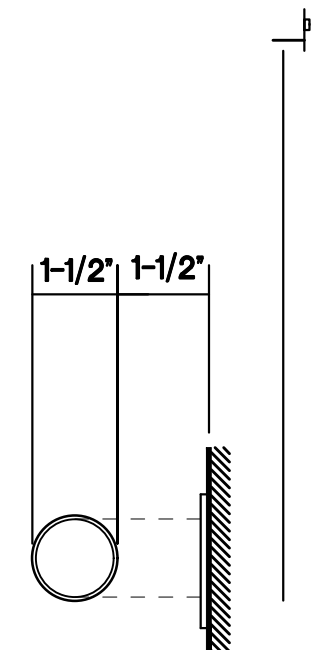
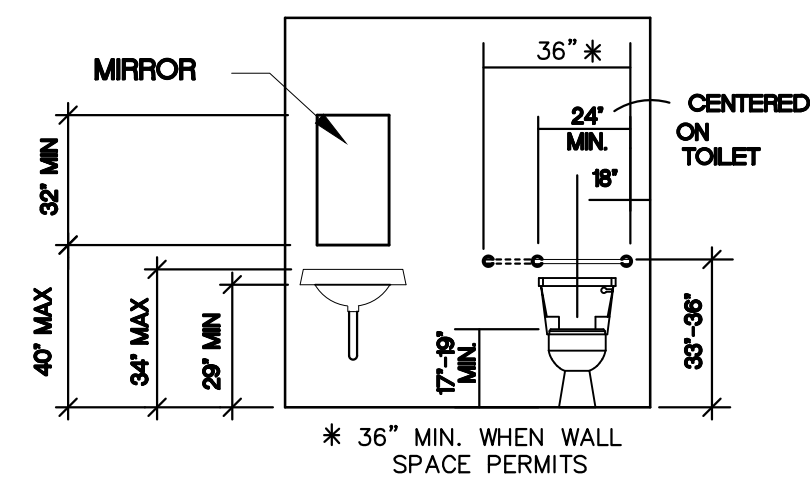
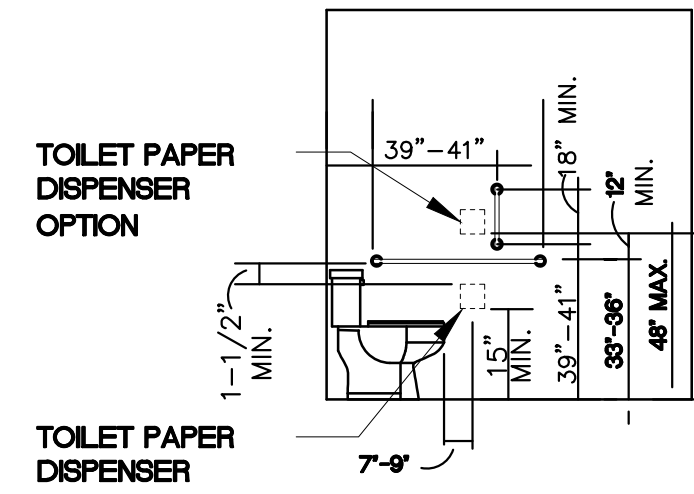
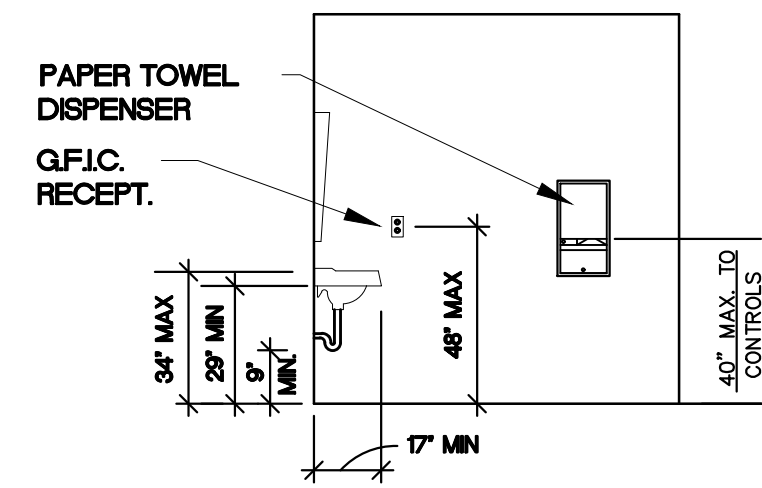
**PROJECT:**  
 NEW GAS STATION  
 394 N MILFORD ROAD  
 HIGHLAND TWP ,MI

**OWNER**

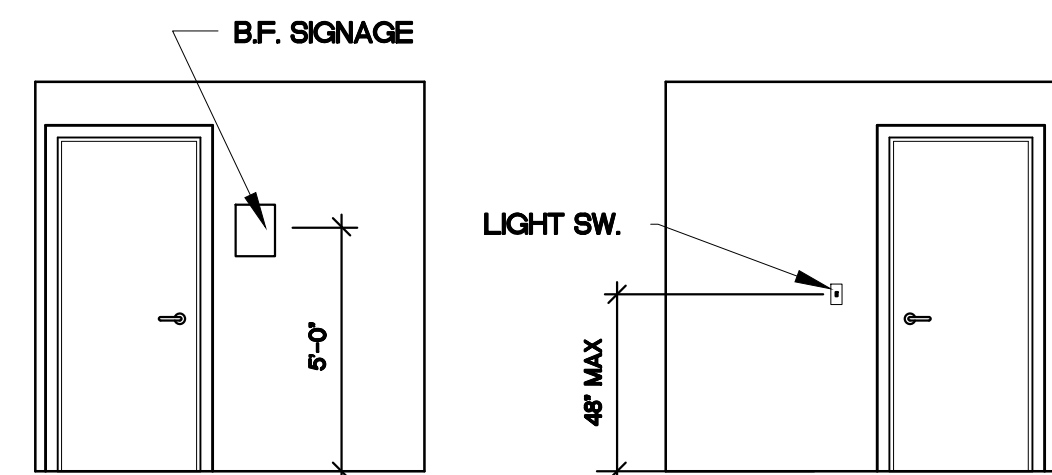
Drawing Title:  
**SEPTIC SYSTEM DETAILS**

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

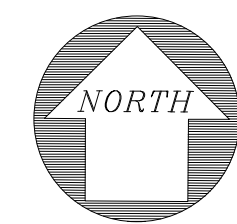
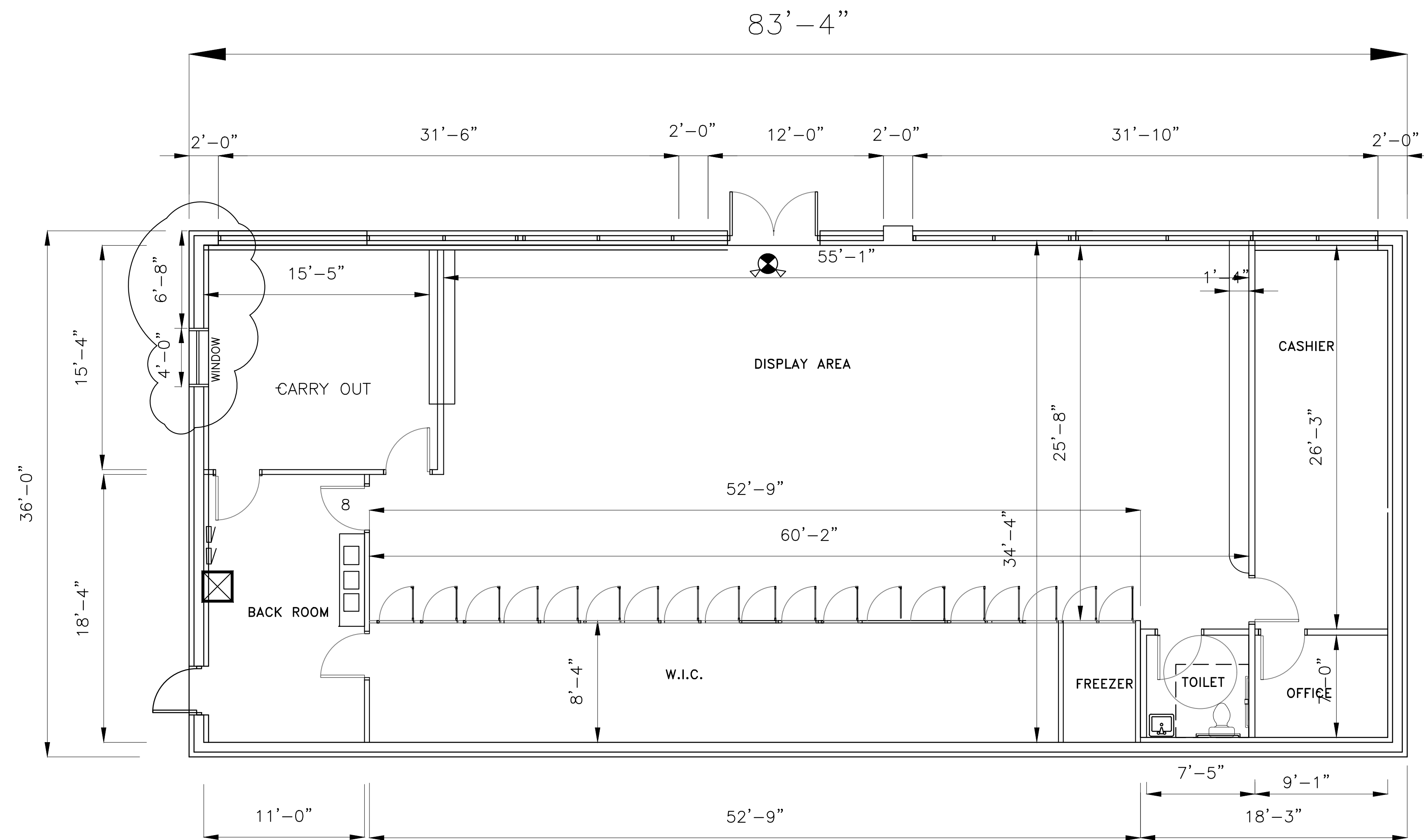
Drawing No.  
**SP-13**



GRAB BAR DETAIL



TYPICAL BARRIER FREE STANDARDS  
SINGLE OCCUPANCY (NOT TO SCALE)



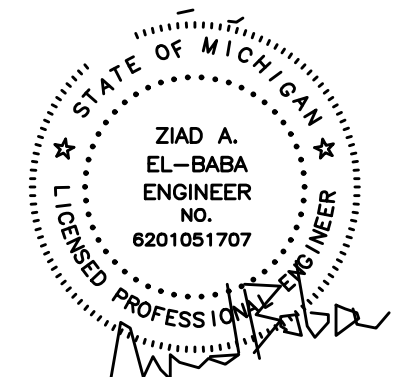
**FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

USE GROUP M  
CONSTRUCTION III B

NEW BUILDING AREA 3000 SQ.FT.  
BUILDING IS NOT SPRINKLERED

FOR EMERGENCY LIGHTS AND EXIT LIGHTS SEE ALSO DWG E-1  
"EM" EMERGENCY LIGHTING UNIT WITH SEALED BATTERY  
TEST SWITCH AND READY LIGHT 120VAC OPERATION  
LITHONIA CAT# ELU-2H OR APPROVED EQUAL  
DURATION NOT LESS THAN 90 MIN IN THE EVENT OF POWER LOSS  
"X" EXIT LIGHT STENCIL FACE 6" HIGH RED  
LETTERS SEALED BATTERY.  
LITHONIA CAT# ESIR-ELC OR APPROVED EQUAL  
DURATION NOT LESS THAN 90 MIN IN THE EVENT OF POWER LOSS

CODE COMPLIANCE  
ALL WORK MUST CONFORM TO  
2015 MICHIGAN BUILDING CODE  
2018 INTERNATIONAL FIRE CODE  
2015 MICHIGAN MECHANICAL CODE  
2018 MICHIGAN PLUMBING CODE  
2018 NATIONAL ELECTRIC CODE WITH PART 8 RULES  
ANSI 117.1-2015 ( ACCESSIBILITY )  
ASHRAE 90.1 - 1999



**ZIAD EL-BABA ENGINEERING**

674 GAUTHIER  
TECUMSEH ONTARIO  
N8N3P8 CANADA  
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CELL - 519-796-9882

DATE	REV. NO.	ISSUED FOR
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AUG.26.24		SITE PLAN

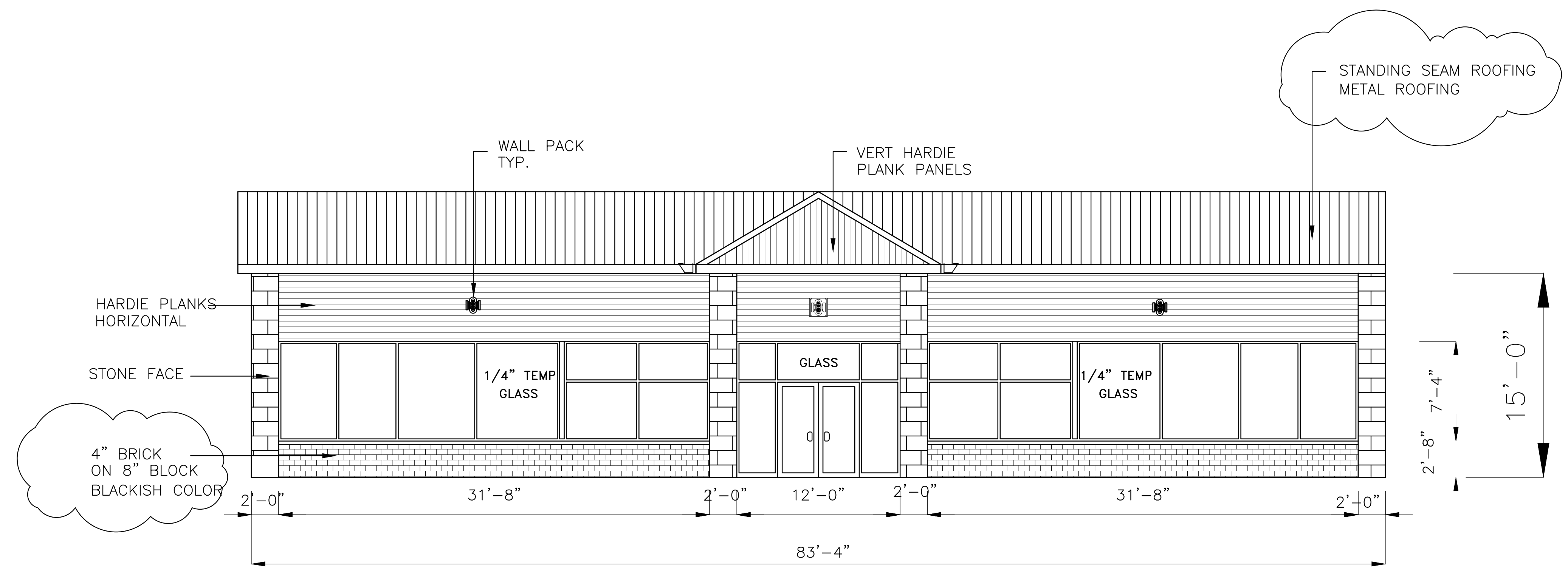
Project:  
NEW GAS STATION  
394 N MILFORD ROAD  
HIGHLAND TWP ,MI  
OWNER

Drawing Title:  
FLOOR PLAN

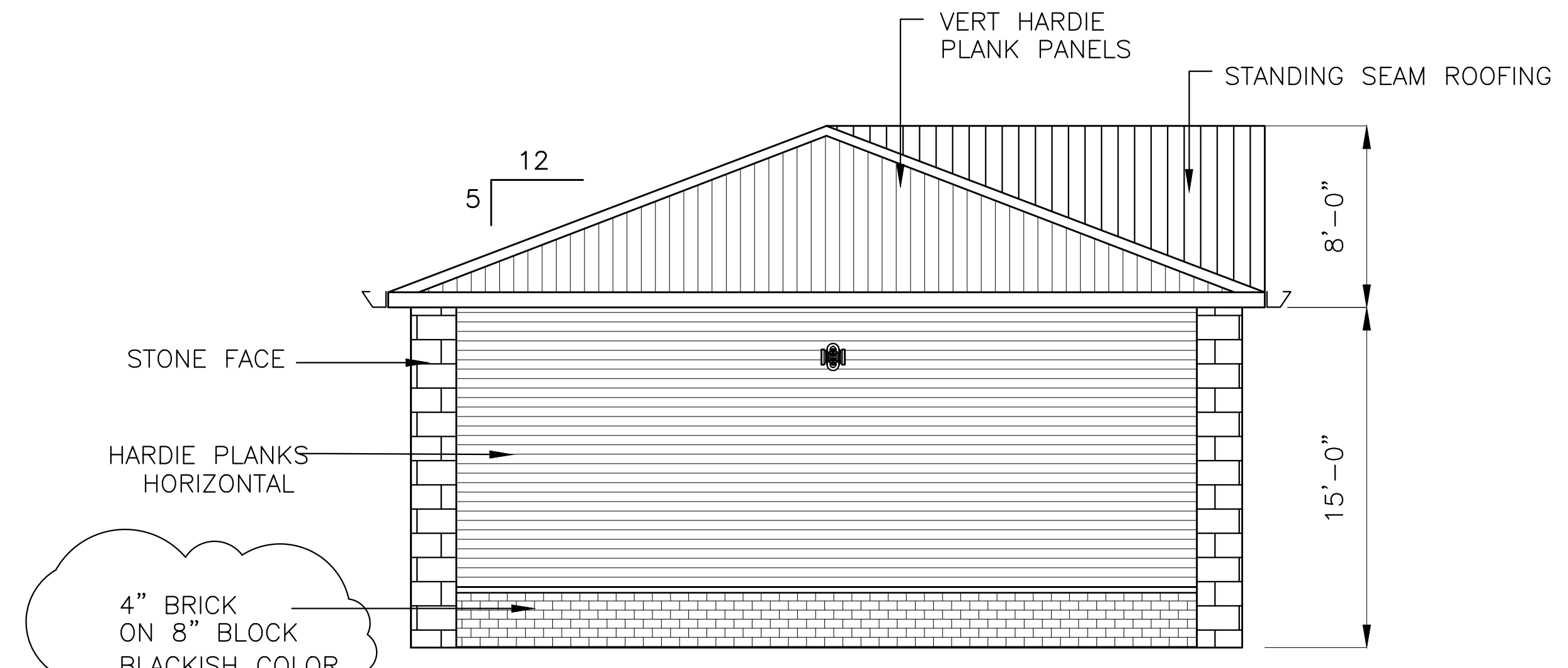
Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.  
A-1

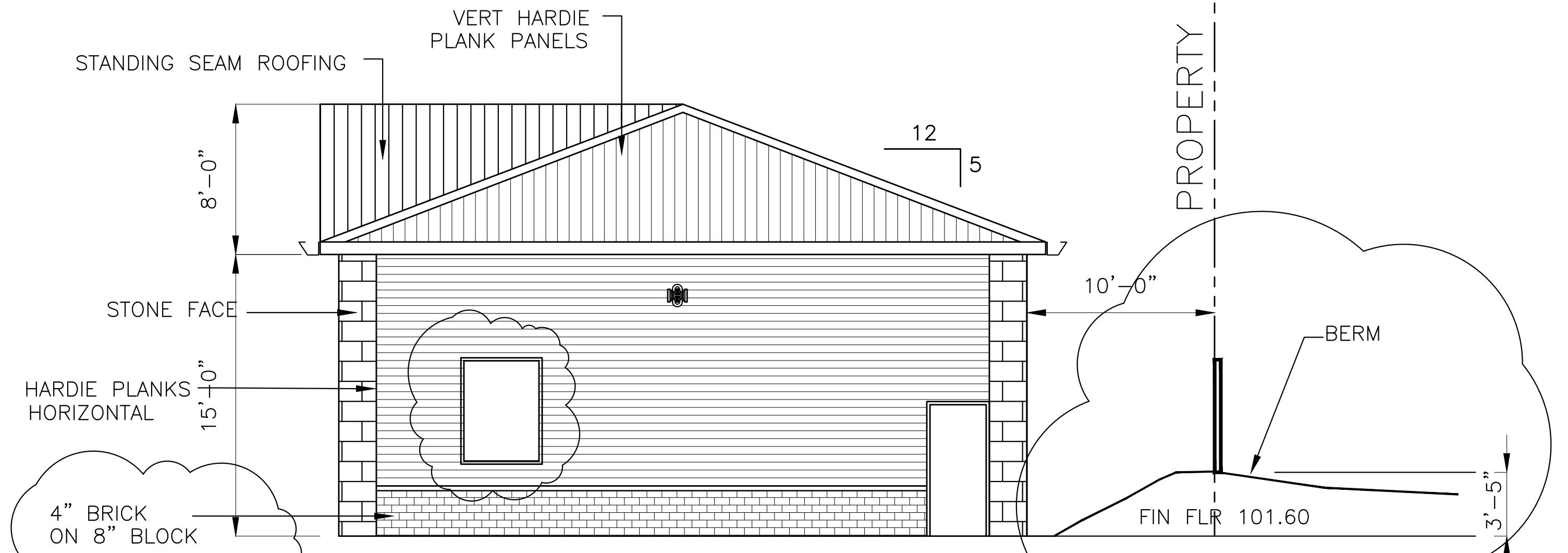




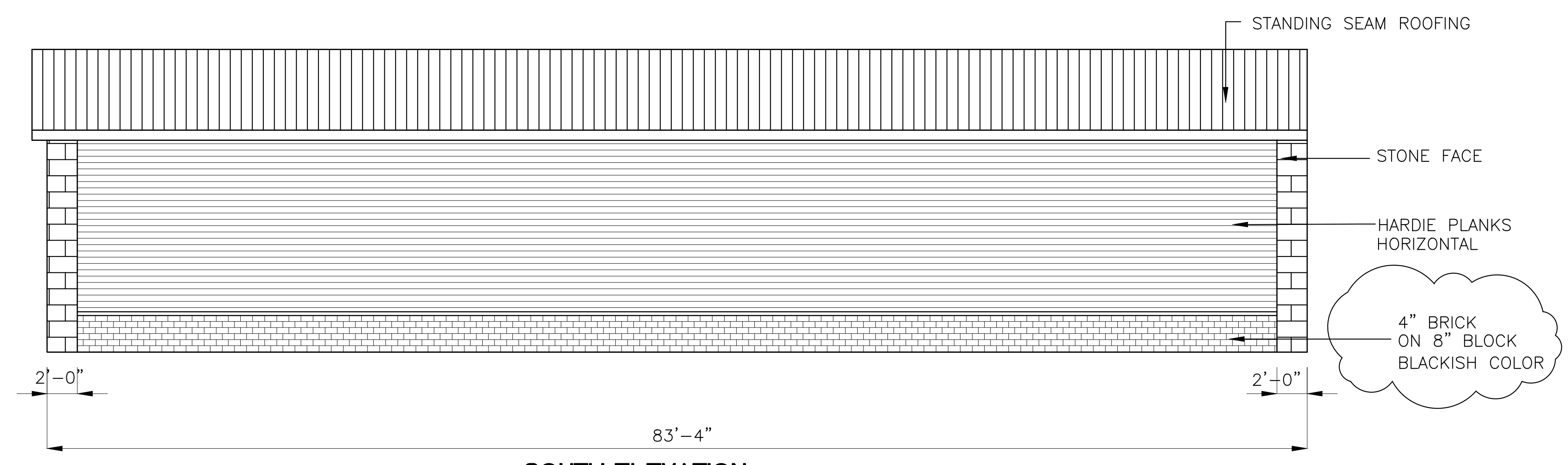
**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



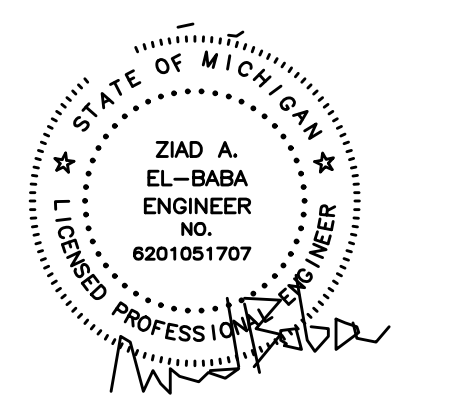
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**ZIAD EL-BABA ENGINEERING**  
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N8N3P8 CANADA  
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AUG.26.24		SITE PLAN

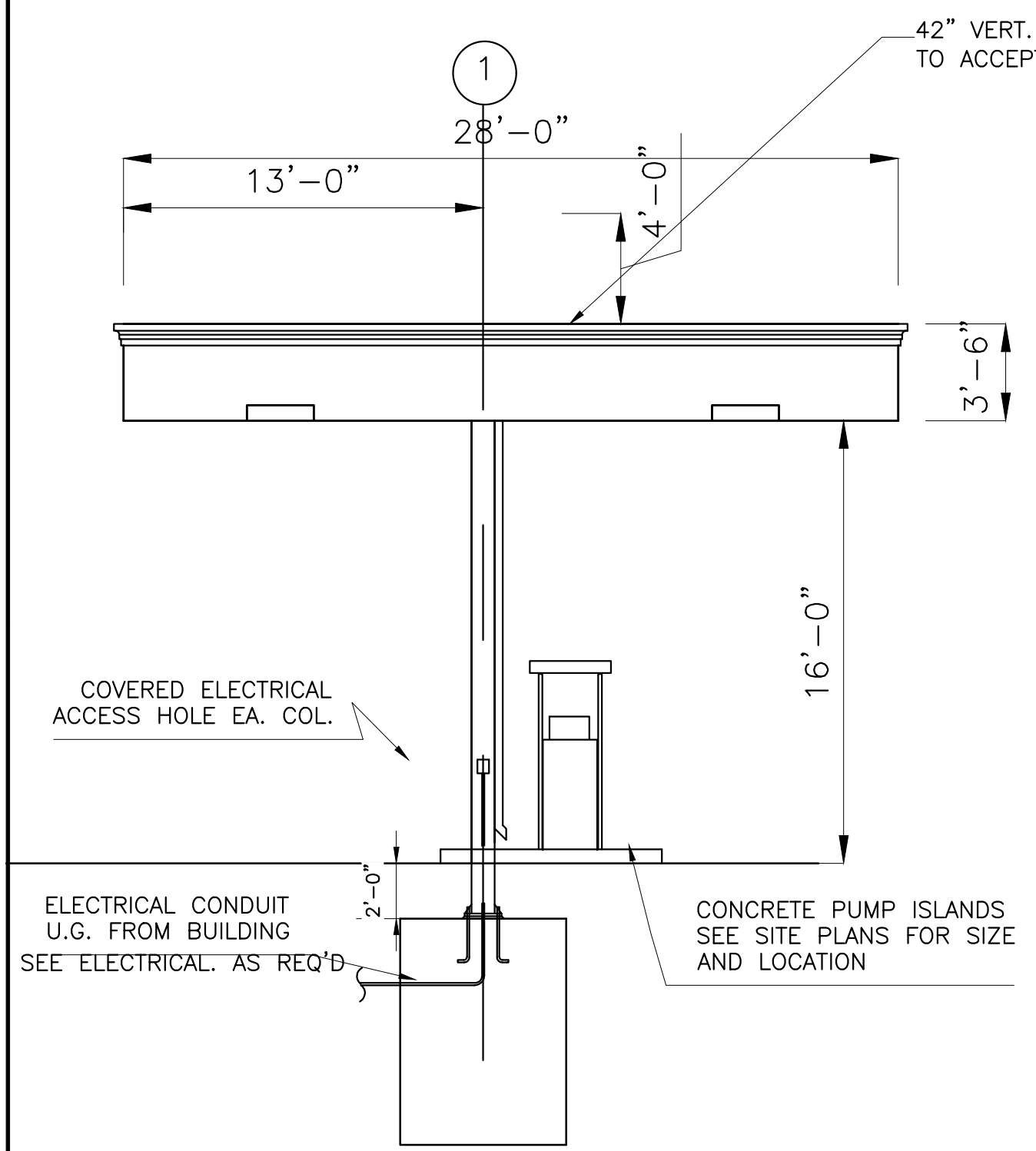
Project:  
NEW GAS STATION  
394 N MILFORD ROAD  
HIGHLAND TWP ,MI  
OWNER

Drawing Title:  
ELEVATIONS

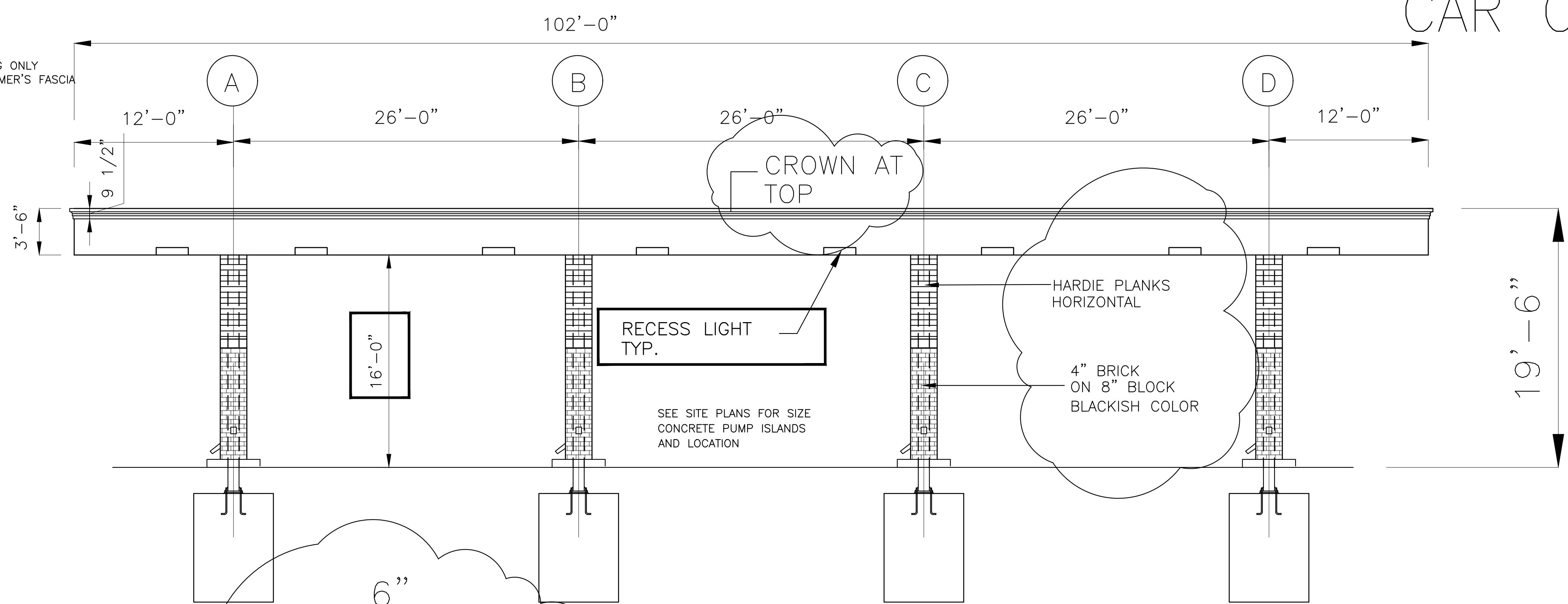
Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.  
A-2

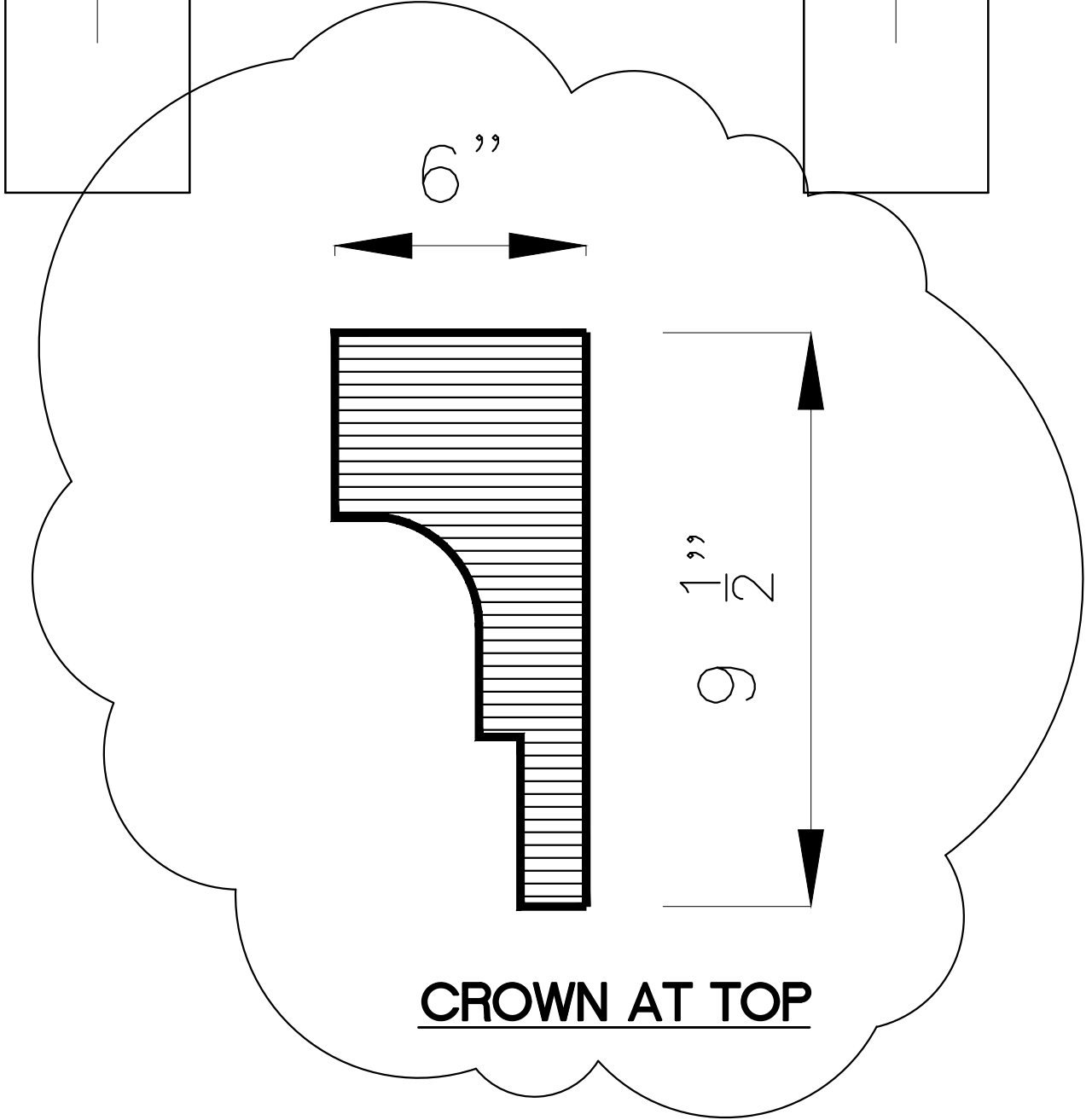
# CAR CANOPY



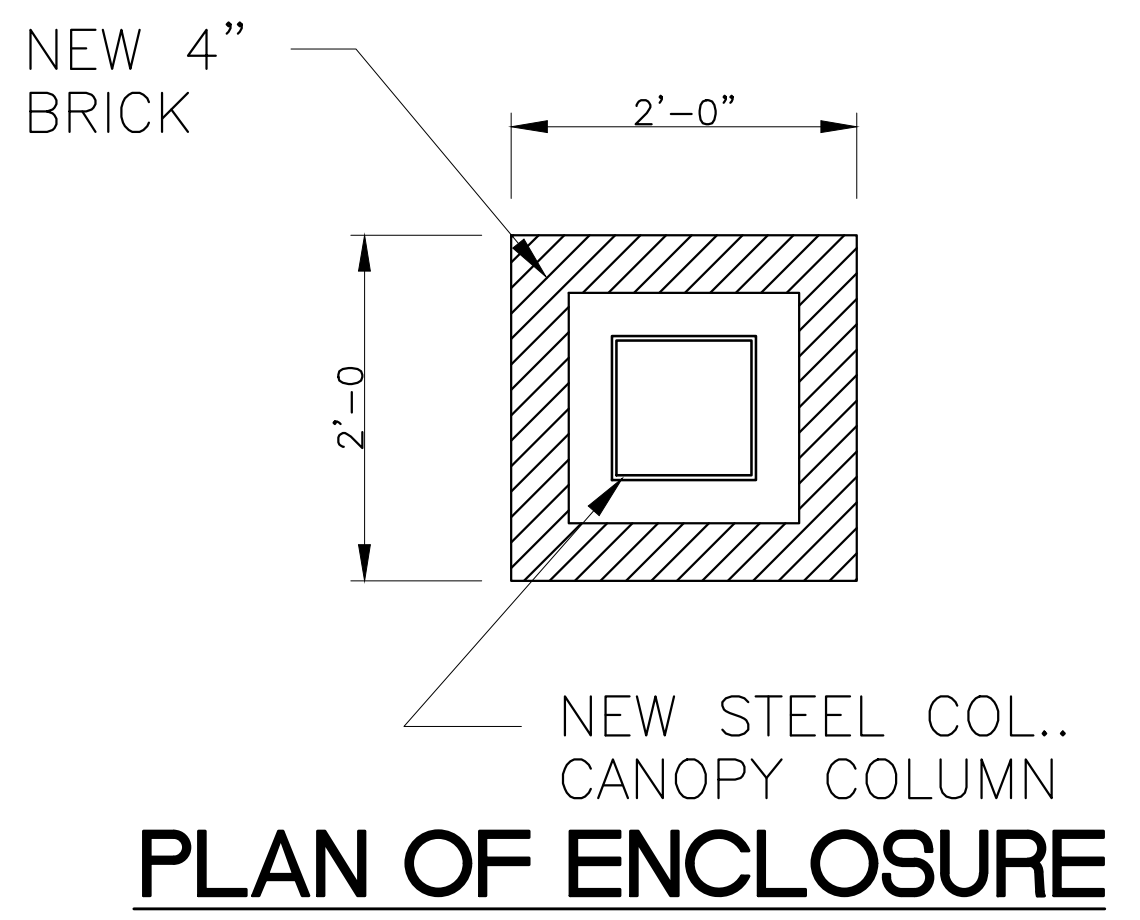
**NORTH AND SOUTH SIDE ELEVATION**  
N.T.S.



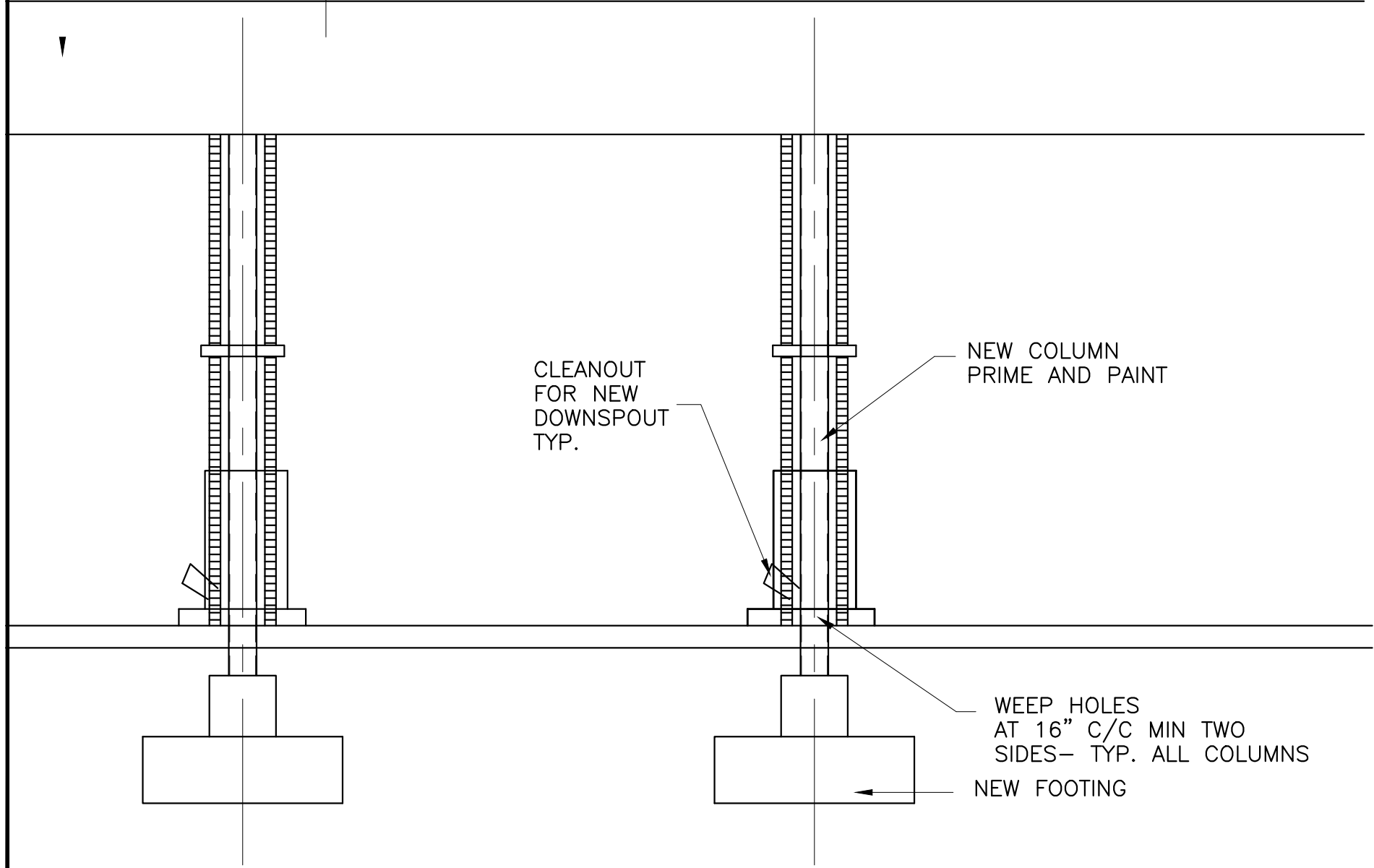
**CROSS ELEVATION - FRONT CANOPY**  
N.T.S.



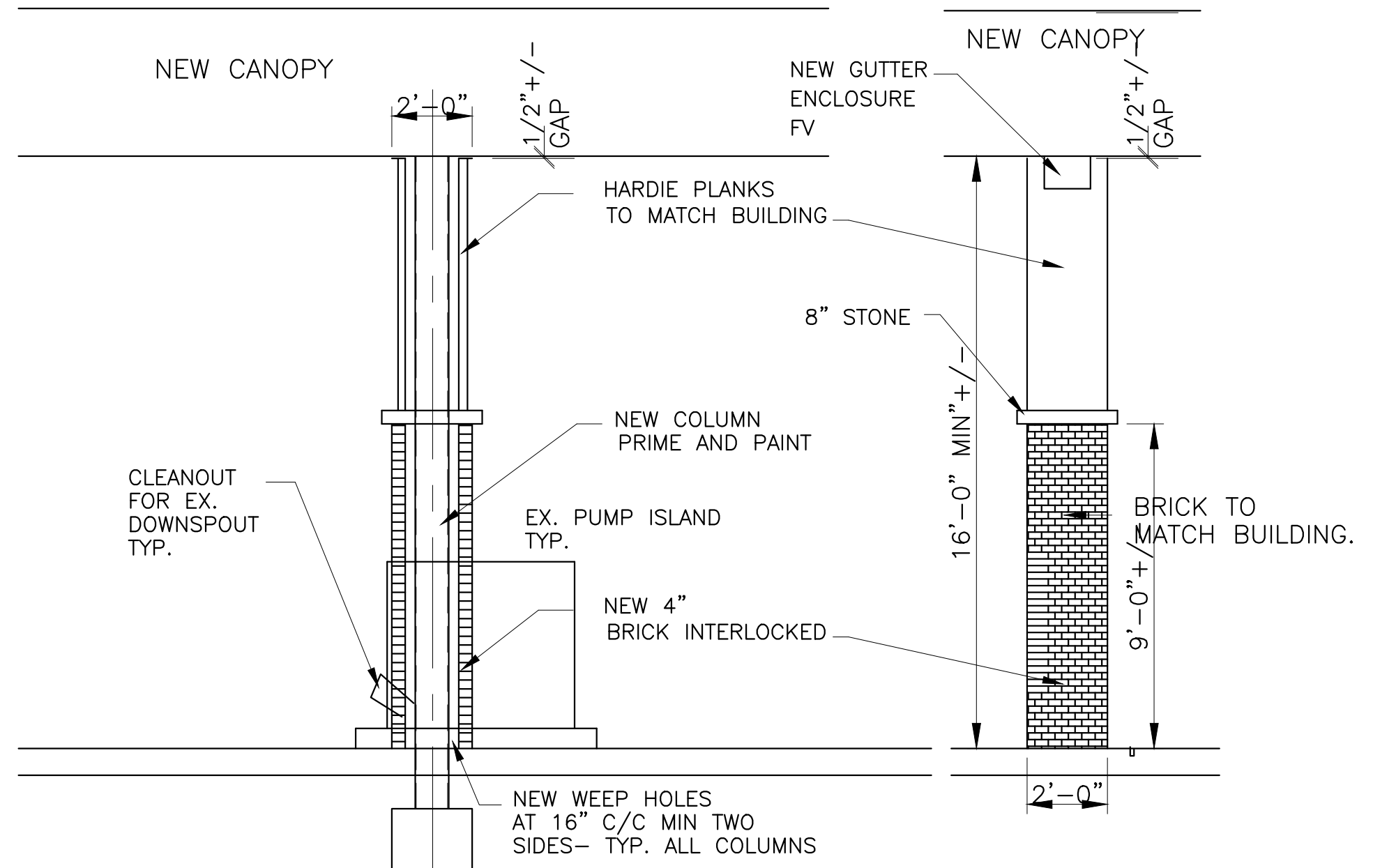
**CROWN AT TOP**



**PLAN OF ENCLOSURE**

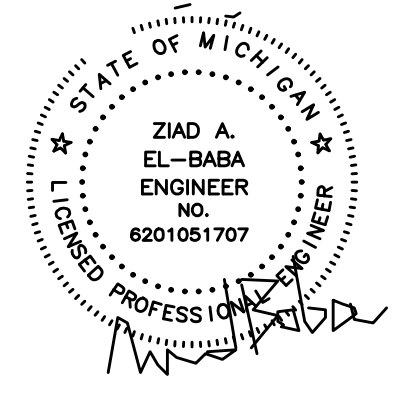


**TYP. CANOPY ELEVATION**  
SCALE: 1/4"=1'-0"



**TYP. SECTION THRU BRICK COL**

**BRICK ENCLOSURE ELEVATION**



**ZIAD EL-BABA ENGINEERING**

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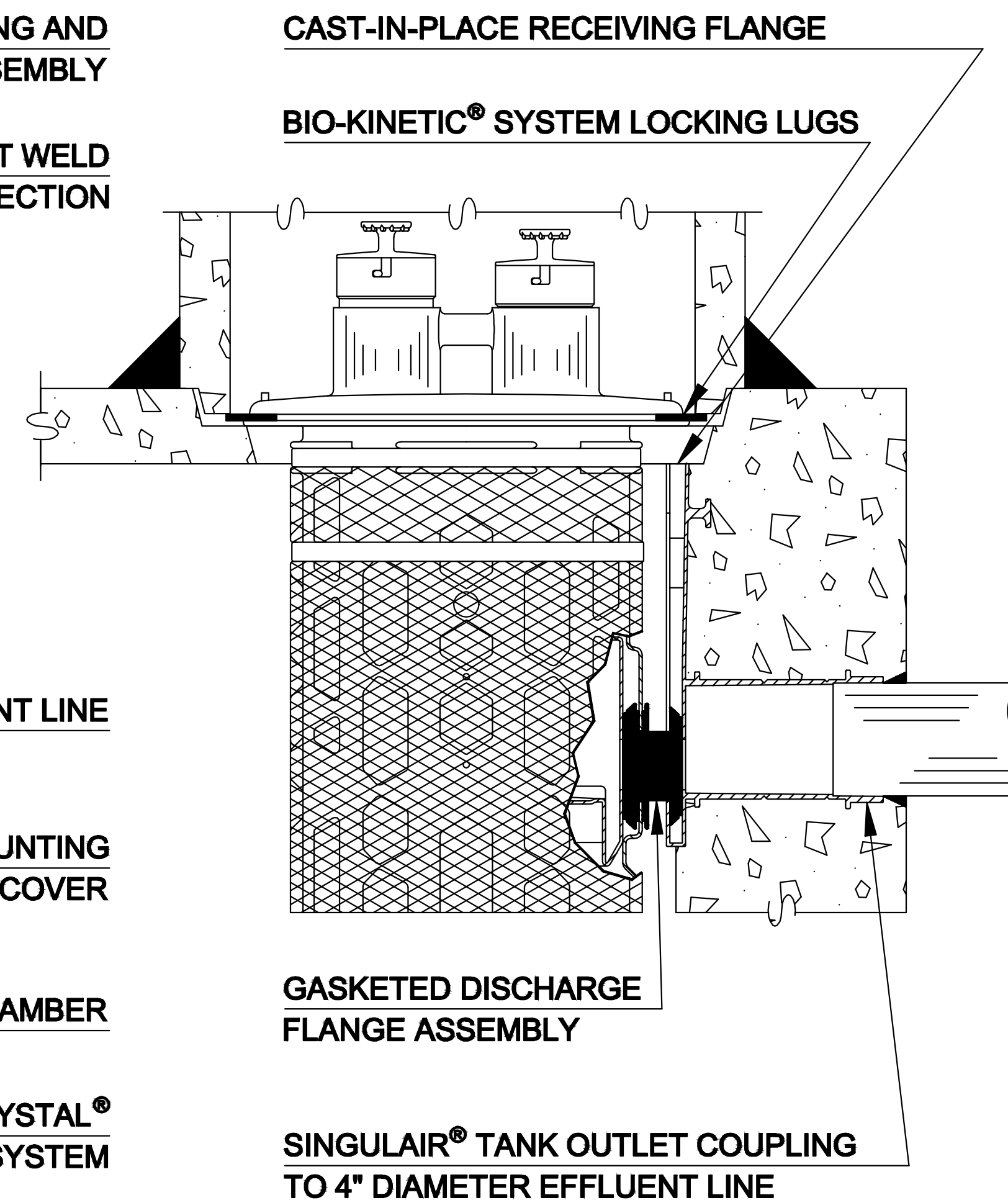
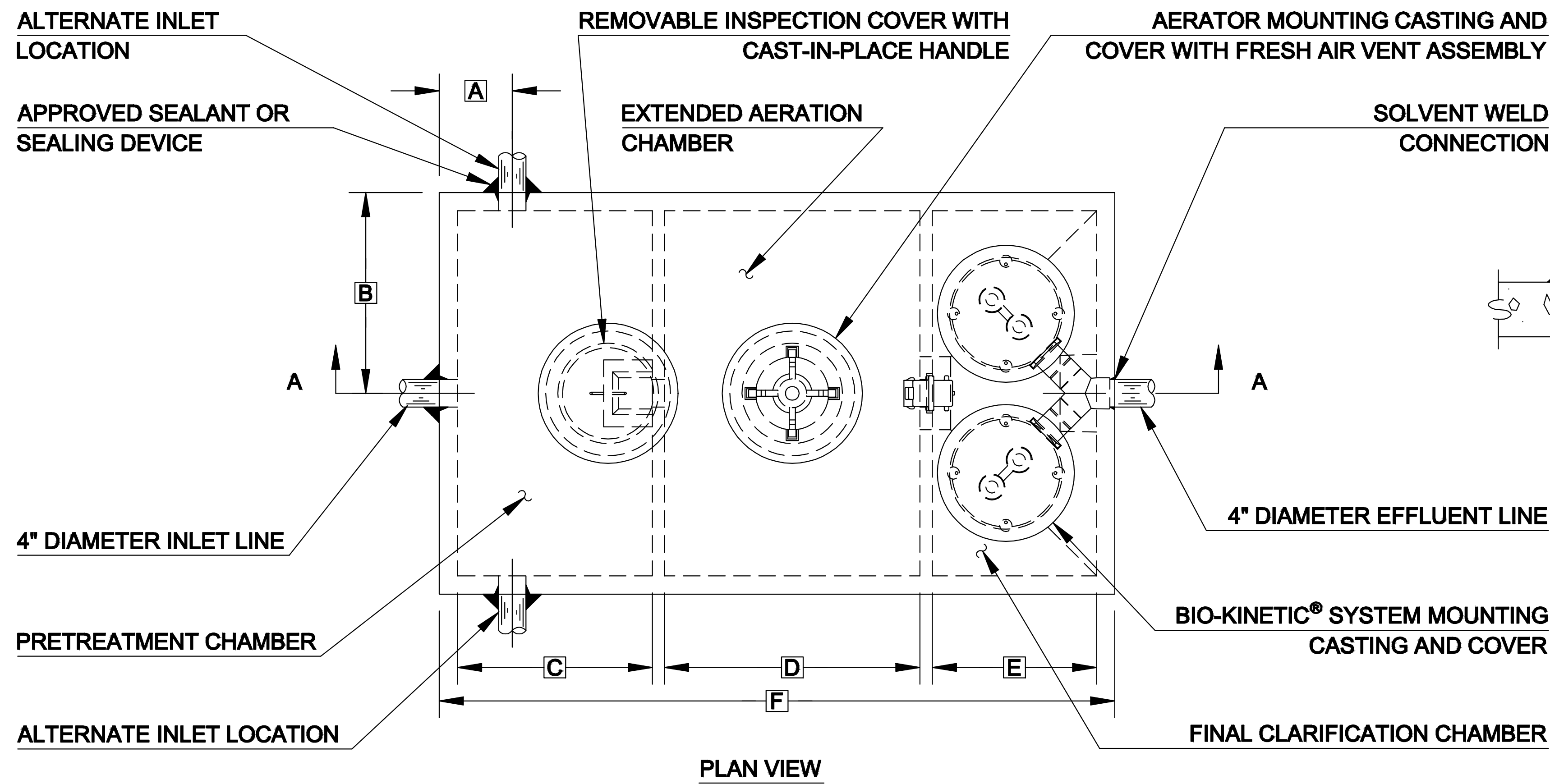
DATE	REV. NO.	ISSUED FOR
JUL.31.24		SITE PLAN
AUG.26.24		SITE PLAN

Project:  
NEW GAS STATION  
394 N MILFORD ROAD  
HIGHLAND TWP ,MI  
OWNER

Drawing Title:  
FUEL CANOPY ELEVATIONS

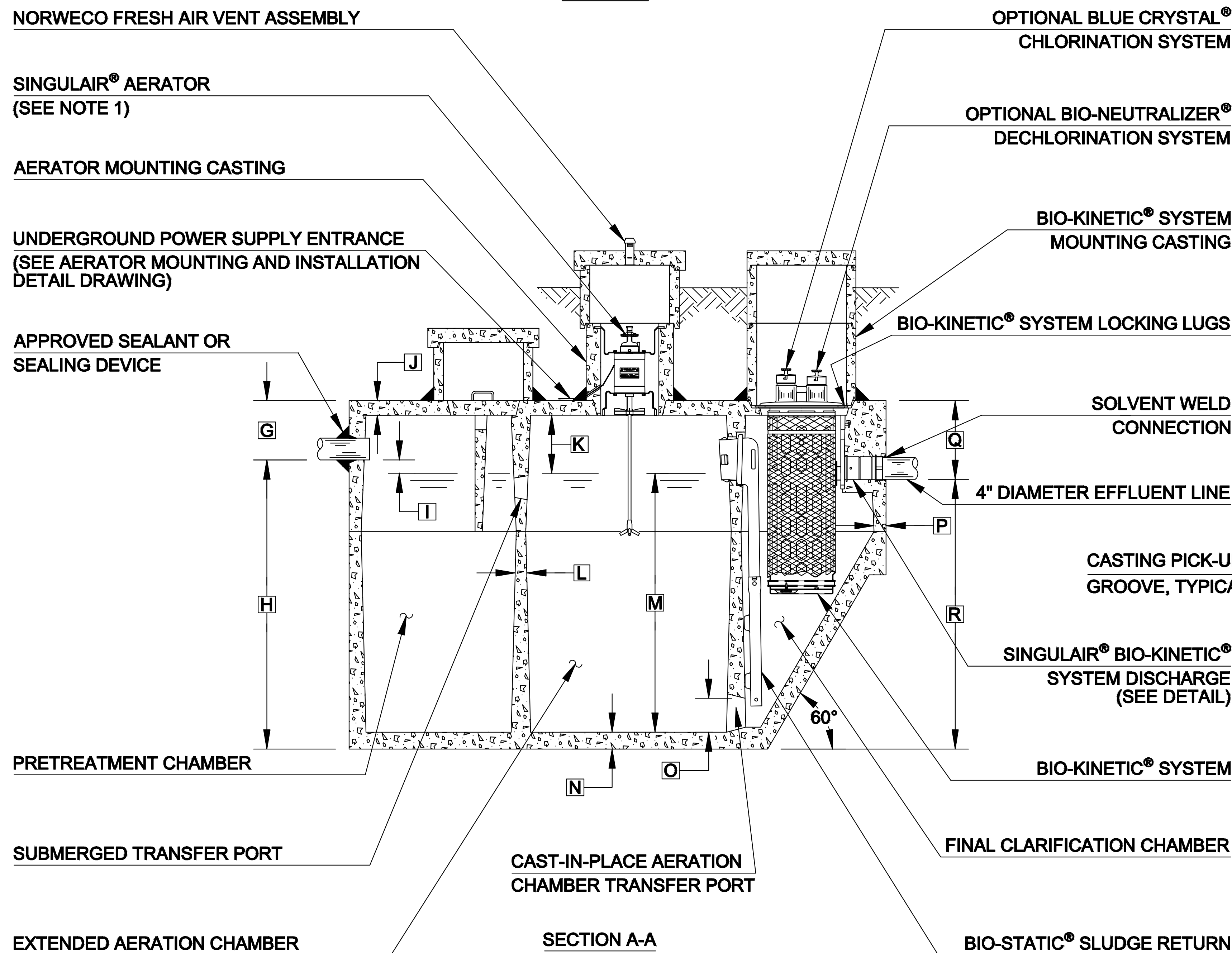
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A-3



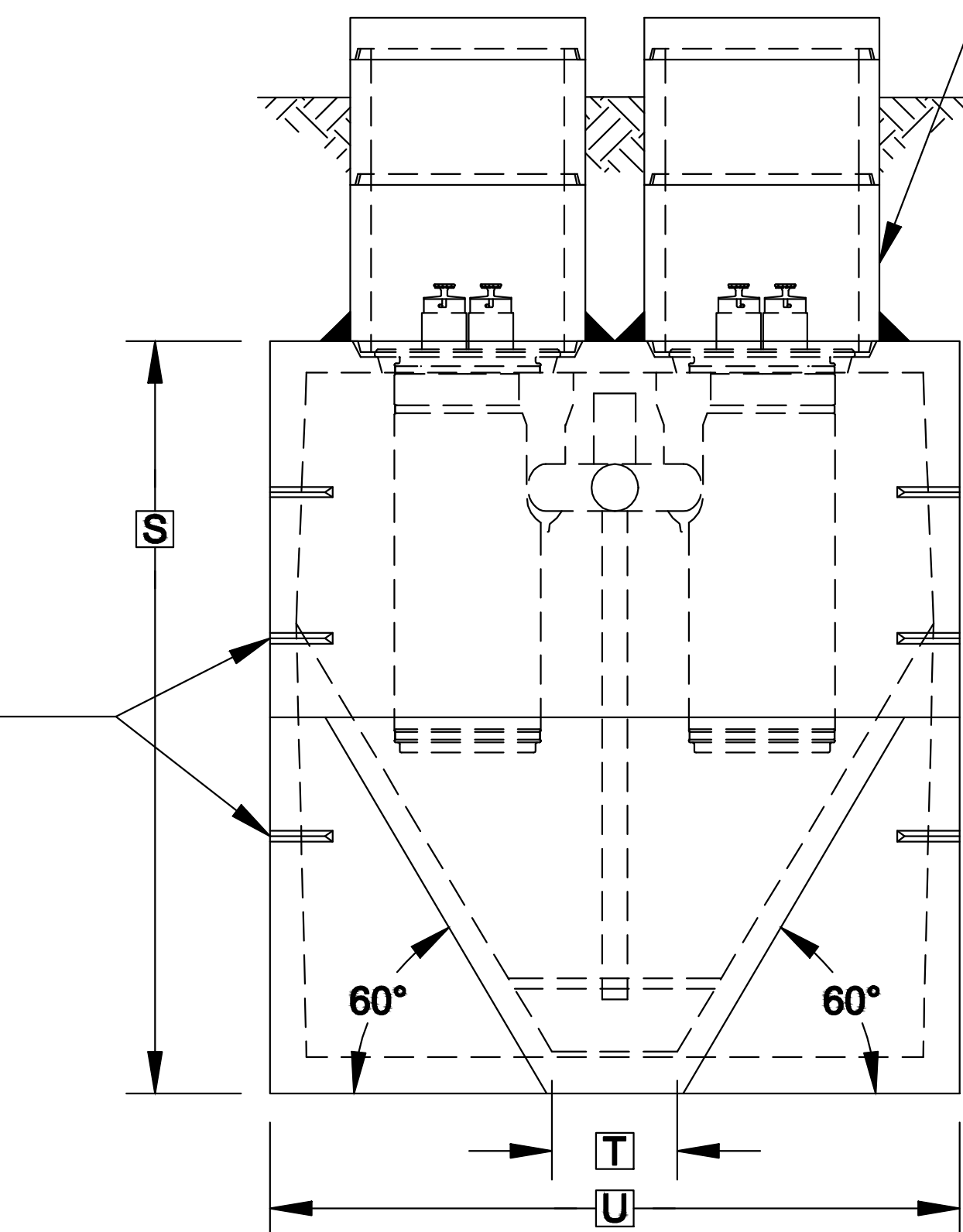
**GENERAL NOTES:**

- ① SINGULAIR® AERATOR, AS TESTED AND ACCEPTED BY NSF, OPERATING 60 MINUTES ON / 60 MINUTES OFF.
- ② FALL THROUGH SINGULAIR® PLANT FROM INLET INVERT TO OUTLET INVERT IS FOUR INCHES. INLET INVERT IS TWELVE INCHES BELOW TANK TOP.
- ③ ON DEEPER INSTALLATIONS, PRECAST RISERS MUST BE USED TO EXTEND AERATOR MOUNTING CASTING AND BIO-KINETIC® SYSTEM MOUNTING CASTING TO GRADE. INSPECTION COVER ON PRETREATMENT CHAMBER MUST BE DEVELOPED TO WITHIN TWELVE INCHES OF GRADE.
- ④ TANK REINFORCED PER ACI STD. 318.
- ⑤ REMOVABLE COVERS ON RISERS WEIGH IN EXCESS OF SEVENTY-FIVE POUNDS EACH TO PREVENT UNAUTHORIZED ACCESS.
- ⑥ CONTACT THE LOCAL, LICENSED SINGULAIR® DISTRIBUTOR FOR ELECTRICAL REQUIREMENTS.



**BIO-KINETIC® SYSTEM DISCHARGE DETAIL**

**BIO-KINETIC® SYSTEM MOUNTING CASTING AND COVER**



**OUTLET END VIEW**

NOTE: TOTAL SYSTEM CAPACITY: 1,600 GALLONS  
 RATED CAPACITY: 800 GALLONS PER DAY

**PROJECT ENGINEER'S APPROVAL:**  
 I (WE) HEREBY CERTIFY THAT THIS DRAWING HAS BEEN CHECKED AND IS APPROVED FOR USE IN CONFORMITY WITH THE CONTRACT DOCUMENTS.

DATE: \_\_\_\_\_  
 NAME: \_\_\_\_\_

**CONTRACTOR'S CERTIFICATION:**  
 I (WE) HEREBY CERTIFY THAT THIS DRAWING HAS BEEN CHECKED AND IS APPROVED FOR USE IN CONFORMITY WITH THE CONTRACT DOCUMENTS.

DATE: \_\_\_\_\_  
 NAME: \_\_\_\_\_

CRITICAL DIMENSIONS			
A	1'-0"	N	0'-3"
B	2'-9"	O	0'-6"
C	2'-8"	P	0'-2 1/2"
D	3'-7"	Q	1'-4"
E	2'-3"	R	5'-8"
F	9'-3"	S	7'-0"
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L	0'-2"	Y	
M	5'-6"	Z	

U.S. AND FOREIGN PATENTS PENDING	<b>norweco</b>	REVISION DATE	6-21-07	REVISION	B
		DRAWN BY			BDS
		APPROVED BY			JMM
		DATE	2-16-06		
		SCALE			NTS
© MMVII	THIS DRAWING IS THE PROPERTY OF NORWECO WASTEWATER EQUIPMENT COMPANY AND MAY NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION FROM NORWECO.		DRAWING NO.	PC-5-7066	



## Memorandum

To: Board of Trustees  
From: Elizabeth J Corwin, PE, AIPC; Planning Director  
Date: September 4, 2024  
Re: URSA 24-05/SPR 24-06/ZBA 24-16  
Applicant and Property Owner: Khaled Mheisen, KHAB, LLC  
1131 White Lake Road  
PIN 11-02-300-002

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The project before you is for Special Approval of Land Use to expand Wiggles and Giggles Child Care Center at 1131 White Lake Road by adding a portable class room building. This childcare center has operated in a historic school room building at this location since the mid 1980's.

This project was reviewed by the Planning Commission at a public hearing held August 1, 2024. The expansion was supported by another childcare operator at the public hearing and several letters of support from parent clients were submitted for the record. The Planning Commission offered a recommendation for approval subject to a number of conditions, most notably that the portable structure be modified to conform with the residential aesthetic of the area. A full record of their meeting is attached. Site plan review is pending, subject to resubmittal of the plans and renderings of the building, most probably scheduled for September 19, 2024.

The project was also subject to a variance request, since as a substandard sized lot in the ARR Zoning, burdened with two required front yard setbacks, left virtually no building envelope for the owner to work with. The variance was granted at the August 21, 2024 Zoning Board of Appeals meeting based on new renderings submitted in support of the application. In your review, please turn to those renderings as you consider the Special Use Approval request.

In the Planning Commission record, you will find the review letter from Carlisle-Wortman Associates which leads you through the analysis of whether the proposal meets the standards of approval for a Special Land Use Approval. This letter also addresses issues that relate to the details of site plan approval, which is

*Warm inside. Great outdoors.*



not yet granted by the Planning Commission.

Please review the records of both meetings and the consultant's report. The primary issue for your discussion will likely be whether the proposed renderings conform to the residential character of the area.

Your possible actions could be:

MOTION TO APPROVE: Move to approve Special Land Use URSA 24-05 for a child care expansion for Wiggles & Giggles, 1131 White Lake Road, parcel 11-02-300-002 by the addition of a building and site modifications identified on a plan by Nederveld, dated July 1, 2024 subject to conditions included in the motion of recommendation for approval by the Planning Commission on August 1, 2024, the recommendations of Carlisle-Wortman and further based on the Board's finding that the proposed plan conforms with the required standards of approval under Section 6.03H of the Zoning Ordinance.

*If the Board wishes to add or modify the recommended conditions of approval, those should be specifically detailed in the motion.*

MOTION TO POSTPONE: Move to postpone a decision on Special Land Use URSA 24-05 for a child care expansion for Wiggles & Giggles, 1131 White Lake Road, parcel 11-02-300-002 until \_\_\_\_\_ to allow \_\_\_\_\_ to provide \_\_\_\_\_ to address \_\_\_\_\_.

*If the Board wishes to postpone, it should be based for information to address a specific concern. If you can identify who should provide that information (whether that be staff or the applicant) that should be included as well.*

MOTION TO DENY: Move to deny Special Land Use URSA 24-05 for a child care expansion for Wiggles & Giggles, 1131 White Lake Road, parcel 11-02-300-002 by the addition of a building and site modifications identified on a plan by Nederveld, dated July 1, 2024 based on the Board's finding that the proposed plan as presented does not conform with the required standards of approval under Section 6.03H of the Zoning Ordinance, specifically

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*If the Board wishes to deny, despite the Planning Commission and Consultant recommendations, the reason should be clearly delineated and tied back to one or more of the standards of approval for Special Land Use.*



RECORD OF PLANNING COMMISSION  
PUBLIC HEARING

**Highland Township Planning Commission  
Record of the 1416th Meeting  
Highland Township Auditorium  
August 1, 2024**

***Roll Call:***

Grant Charlick, Chairperson  
Kevin Curtis (absent)  
Chris Heyn  
Mike O’Leary  
Roscoe Smith  
Scott Temple (absent)  
Russ Tierney  
Guy York

***Also Present:***

Elizabeth J. Corwin, Planning Director

Visitors: 10

Chairman Charlick called the meeting to order at 7:30 p.m.

Ms. Corwin noted that the applicant for agenda item 2 was delayed by traffic and recommended that the agenda be reordered to take agenda item 3 first. Mr. Charlick moved to modify the agenda accordingly. Mr. Tierney supported the motion which was approved by voice vote.

**Agenda Item #1: Call to the Public: Opportunity for anyone to bring forward issues of interest or concern for Planning Commission consideration. Each participant limited to 3 minutes.**

No public offered comments

***Public Hearing:***

**Agenda Item #3:**

Parcel # 11-02-300-002  
Zoning: ARR, Agriculture and Rural Residential  
Address: 1131 White Lake Rd (Wiggles & Giggles)  
File#: URSA 24-05  
Request: Use Requiring Special Approval for childcare center  
Applicant: Khalid Mheisen  
Owner: KHAB, LLC

Mr. Charlick invited the applicant to explain his proposal.

Mr. Khalid Mheisen of KHAB, LLC purchased Wiggles & Giggles in December. He retained Cassandra Westfield, the long-term director of the center as the onsite manager. He owns a second childcare center

and hopes to enhance this center to better serve the client families and the community. The proposal is to add a portable classroom building to care for children under 1-1/2 years of age.

Ms. Westfield explained that there is pent up demand for additional space at the center. Wiggles and Giggles is licensed for 30 children at this site but have 60 enrolled and a waiting list for over a year and a half.

Mr. Charlick opened the public hearing at 7:35 p.m.

Deanna Williams, owner of Wee Friends Child Care Center at 105 E Ruggles noted her total support of expansion of Wiggles and Giggles. She noted that there is a definite need in the community for more capacity in all the centers.

Mr. Charlick closed the public hearing at 7:38 p.m.

Ms. Corwin noted that there were review letters from Carlisle-Wortman Associates, Hubbell, Roth & Clark and from the Fire Marshal. There was no other correspondence from the public.

Mr. Heyn asked what the licensing limits would be at the site once the added building is complete. Mr. Mheisen noted the limit would be 60 children. He asked about the portable classroom unit, which looks like a "jobsite trailer". Brandon Chaney, Nederville Engineering explained that the pictures of the unit were from a remote location, and showed two parts of a unit that would be put together onsite.

Mr. York asked how old the trailer was and about its life expectancy. Mr. Mheisen said the unit was 17 years old, and that he hoped to replace it with a building within five years. Ms. Westfield noted that Cheryl Stockwell Academy has used similar portable units and were able to utilize them beyond the anticipated service life. They recently retired buildings that were 30 years old.

Mr. York asked if the building would be placed on a foundation or left on its axles with skirting. Mr. Mheisen believed it would be placed on a foundation, negating the need for ramps and such.

Mr. Charlick noted that the flat roof and vertical rippled siding is not compatible with the existing neighborhood or the existing historic structure onsite. He thought to be compatible, the building would need a pitched roof and horizontal siding. Mr. Mheisen noted that the intent is to blend with the existing structure onsite, using similar colors and materials, and had a proposal for a mural from an artist that completed the HDDA's mural in the downtown.

Mr. York was concerned about the parking and site circulation, especially given that one driveway would be closed. Mr. Chaney explained that the Fire Marshal requested that neither driveway be removed and noted that revised site plans will be submitted. Mr. York asked how the center deals with events since there may be 60 to 120 families and only a dozen parking spaces. Ms. Westfield explained that the center has maintained a good relationship with Bonadeo Farms, who has allowed use of his driveways for parking.

Mr. Tierney asked about if there were any renderings of what the unit would look like when in place on site. Mr. Chaney pointed him to drawings of the mural. Mr. York asked if the mural was to be applied to the vertical corrugated siding. Mr. York asked if the mural would be applied to the corrugated siding. Mr. Mheisen indicated that no decision has been made since they wanted to see from the Planning Commission what might be allowed.

Mr. Charlick noted that he would be less concerned about the character of the building if it were a short time solution and not a permanent fixture on the parcel. He asked if there would be a specific time limit.

Mr. Charlick suggested that a site built structure may be more affordable than one suspects when taking the expense of modifying the roof and siding. Mr. Charlick asked if there would be a way to allow for a two year limit. Ms. Corwin noted that this becomes an administrative challenge since the Township could not hold a performance guarantee for that period. Mr. Heyn noted that there were challenges to establishing the trailer at an appropriate grade and connecting to the septic system. He agreed with Mr. Charlick that it might be easier and more affordable to build new.

Mr. O'Leary added that he does not think the portable building is compatible with the neighborhood and noted that variances would be required to place the structure as proposed.

There was discussion about the mural. Ms. Westfield explained that they hoped to use inspiring words and inspire the community to their responsibility in creating a positive environment to raise children as well. They selected neutral colors to blend better into its surroundings and the existing structure.

Mr. Smith noted that the use appropriate and desirable, but that adding a mural to a construction trailer does not alter the fact that it is still just a temporary trailer and is not compatible with its surroundings. Ms. Corwin asked for clarification about why a residential manufactured home does not work, and whether the hvac units mounted on the ends of the units could be ground mounted and screened. Mr. Mheisen explained that they had investigated other types of temporary buildings, but that this type of unit is specifically constructed for childcare and educational needs and meets the building code requirements for education.

There was some debate among the Planning Commissioners about how to interpret the parking requirements in the zoning ordinance, and whether the requirement was a total of 3 per 8 children or 2 spaces plus one per 8 children. Mr. York wanted to see a concept plan for where a permanent structure would be in the future, and how the parking would work.

Ms. Mheisen explained the pickup/drop-off system. The peak drop off is around 8:00 am and pickups begin around 3:45. The building is serviced by public school busses. Mr. York asked about traffic conflicts between the busses and the general traffic. Ms. Westfield noted that in the past, the busses have used the White Lake Road driveway. Staff meets the children to walk to the building.

Mr. York asked for clarification of site lighting, especially given that there were no pole lights at the entrances. Mr. Chaney explained that they intend to use wall packs mounted on the portable building. Ms. Westfield noted that there has never been lighting at the driveway entrances and this has not caused a problem in the past.

Mr. York summarized concerns as follows: 1) The proposed building must look and feel like a residential building, consistent with the character of the neighboring properties. 2) Side yard setbacks will be subject to obtaining a variance from the Zoning Board of Appeals. The special use approval would not be finalized if the applicant is unable to obtain variance approvals. 3) The parking and traffic circulation patterns seem appropriate for 60 children with the 2-1/2 year old to infants occupying the new building and the 3-4 year olds remaining in the historic building provided the driveway on White Lake Road remains as recommended by the Fire Marshall. 4) The landscaping plan should address minimum standards, identifying the number of square feet of landscaping and percentage of site so covered. 5) Lighting wall packs are appropriate, but a streetlight at the intersections should be considered. 6) Trash containers shall be stored in the garage when not at the street for pickup.

Mr. Smith added that the goal of landscaping is to achieve a tree-lined "canopy" over the roads. Mr. Chaney noted that the stormwater management system places constraints on where trees could be planted. Mr. Smith responded that more than 2/3 of the site has no landscaping and thought this could be improved.

He also noted that there should be a formal recognition of the overflow parking agreement with Bonadeo Farms.

Mr. York offered the following motion: To recommend approval of the special land use permit, URSA 24-05 to expand the Wiggles and Giggles Child Care Center at 1311 White Lake Road, parcel 11-02-300-002 by addition of a building and site modifications identified on the site plan by Nederveld, dated July 1, 2024 subject to the following conditions: a) architectural character must match the residential character of its surroundings, (which details may be worked out during site plan review and approval) b) the necessary variances for setbacks must first be obtained from the Zoning Board of Appeals;; c) site plan review and approval may require formal modifications to the site plan as discussed this evening and as required by the Fire Marshal and other agencies, d) the number of parking spaces is adequate provided a written agreement is developed for overflow parking for events; e) landscaping notes must be added to the site plan to require ordinance standards are met and that canopy trees are provided and that no trash enclosures or permanent dumpsters are required provided the trash cans are stored within a building when not at the road for pickup. This motion is based on the Planning Commission's review and consideration and recommendations of Carlisle-Wortman Associates for conformance with the required standards of approval under Section 6.03H of the Zoning Ordinance. Mr. Charlick supported the motion. Vote: Heyn-yes; O'Leary-yes; Tierney-yes; York-yes; Charlick-yes; Smith-yes. Motion carried (6 yes votes, 0 no votes.)

**Agenda Item #5:**

Parcel # 11-02-300-002  
Zoning: ARR, Agriculture and Rural Residential  
Address: 1131 White Lake Rd (Wiggles & Giggles)  
File#: PR 24-06  
Request: Site Plan for expansion of childcare center  
Applicant: Khalid Mheisen  
Owner: KHAB, LLC

Mr. York moved to table the site plan review. Mr. Charlick supported the motion. Vote: Temple, yes; Tierney, yes; Smith, yes; Charlick, yes; Heyn, yes; O'Leary, yes. Motion carried (6 yes votes, 0 no votes).

As the applicant for Agenda Item #2 had arrived, the Planning Commission resumed with the original order of the agenda.



## Memorandum

To: Planning Commission Members  
From: Elizabeth J Corwin, PE, AIPC; Planning Director  
Date: July 29, 2024  
Re: URSA 24-05/SPR 24-06  
Applicant and Property Owner: Khaled Mheisen, KHAB, LLC  
1131 White Lake Road  
PIN 11-02-300-002

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The project before you is the expansion of the existing Wiggles and Giggles Child Care Center at 1131 White Lake Road. The business currently occupies a historic schoolhouse structure, which I am confident Commissioner Smith could share the history of. The Wiggles and Giggles Child Care Center was established there in the mid-1980's. Over the years, the previous owner had approached staff on numerous occasions to explore options for expansion, but the setbacks create significant constraints on the property. This is a substandard parcel for its zoning district (ARR) and a corner lot as well. The Ridalls expanded offsite at their home instead.

The new operator would like to provide additional space to fill the void left when the Ridalls retired. The original site plan approval and special use permit are limited to the existing building and its capacity. Any additional structures and capacity require a new Special Use Permit. The state license is currently for 30 children.

The proposal includes a mobile classroom unit, but the applicant is requesting a permanent placement. As noted by the Planning Consultant in her report, the aesthetics of the project factor significantly into the standards of review and should be considered.





**PUBLIC HEARING  
CHARTER TOWNSHIP OF HIGHLAND  
PLANNING COMMISSION  
August 1, 2024  
7:30 P.M.**

**NOTICE IS HEREBY GIVEN** that a public hearing will be held at the Highland Activity Center, 209 N. John St. on Thursday, August 1, 2024, at 7:30 p.m.

**Notice is further given** that all interested parties are invited to review the request and offer comment through the internet or mail. The application may be viewed at <http://highlandtwp.net> under the Planning Commission tab. Comment may be submitted to [planning@highlandtwp.org](mailto:planning@highlandtwp.org), mailed to the Township offices or dropped in our secure drop box at the Township Offices, 205 N. John St. If you have any questions, please call 248-887-3791, ext. 2.

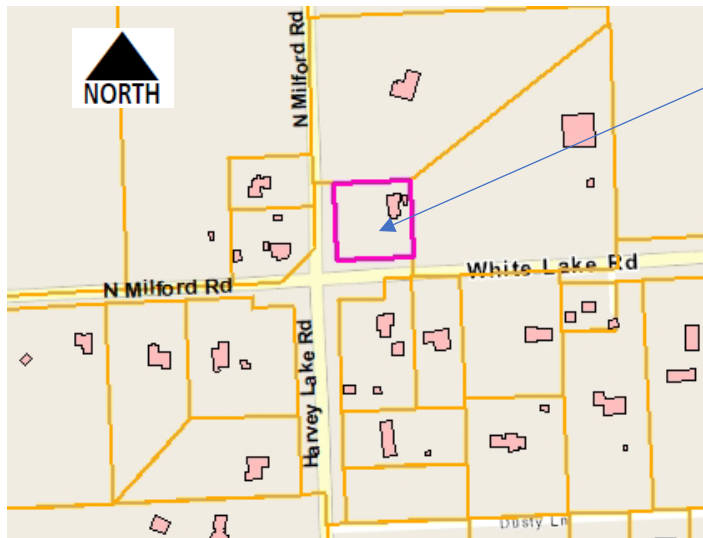
**TO CONSIDER:**

**Request for Use Requiring Special Approval** submitted by applicant Khalid Mheisen and property owner KHAB,LLC.to expand the site by the addition of a portable classroom unit.

**REQUEST:**

Section 4.06.C.5 Special Land Use as Child Care Center in LV Zoning District  
Article 6, Special Land Use Procedures and Standards.

**LOCATION:** 11-02-300-002, 1131 White Lake Road, aka Wiggles & Giggles



Parcel to be considered for special approval to expand a child care center

Grant Charlick, Acting Chairman  
Highland Township Planning Commission

**(Publish: before July 17, 2024)**





**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: July 27, 2024

## Special Land Use Review For Highland Township, Michigan

<b>Applicant:</b>	Khaled Mheisen
<b>Project Name:</b>	Wiggles & Giggles
<b>Plan Date:</b>	July 1, 2024
<b>Location:</b>	1131 White Lake Road Parcel #11-02-300-002 Corner of White Lake Road and N. Milford Road
<b>Zoning:</b>	Agricultural and Rural Residential (ARR)
<b>Action Requested:</b>	Special Land Use Preliminary Site Plan Approval

### PROJECT AND SITE DESCRIPTION

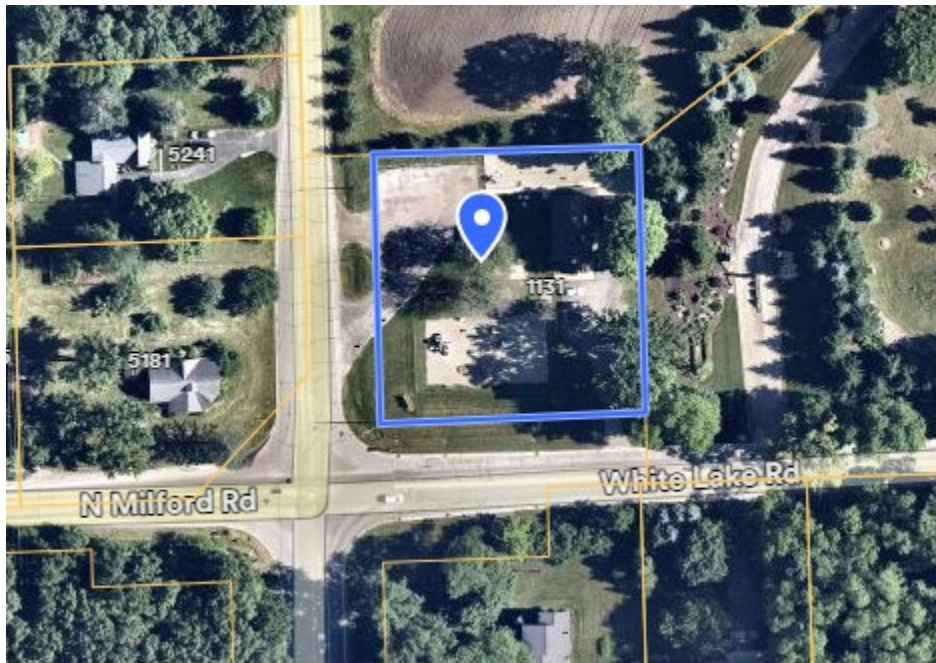
The applicant has submitted a preliminary site plan dated July 1, 2024, that proposes an expansion of the existing childcare center at 1131 White Lake Road (#11-02-300-002) with an additional building of 1,776 square feet. The expansion of the daycare center is to provide space for infants and toddlers. The applicant has not provided the licensed number of children who currently attend daycare at their center, or how many children will attend after the expansion. The existing building is proposed to remain and continue to be used. ADA parking is proposed as well as the replacement of fencing for the current outdoor play area.

The proposed building is planned to be near the center of the parcel across from the existing building and in front of the current parking area off Milford Road which is easily visible from the public right-of-way. The proposed Child Care Center is permitted through Special Land Use

Benjamin R. Carlisle, *President* John L. Enos, *Vice President* Douglas J. Lewan, *Principal*  
David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal* Craig Strong, *Principal*  
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Principal*  
Richard K. Carlisle, *Past President/Senior Principal*

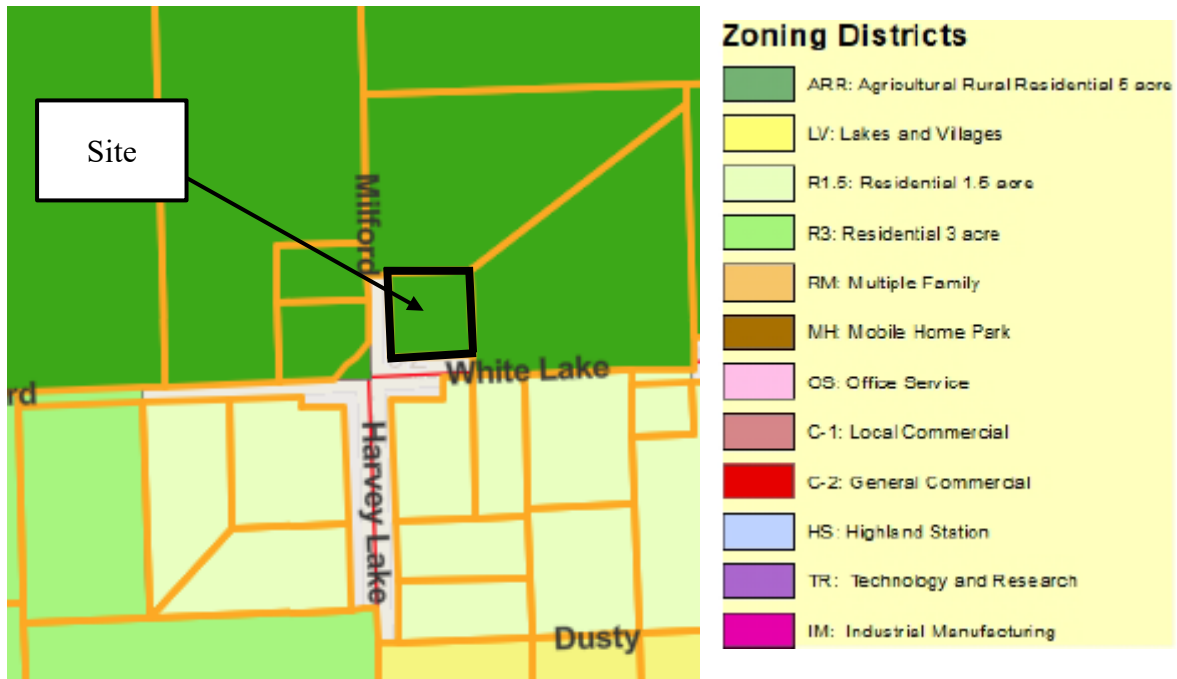
approval in the Agricultural and Rural Residential District. Figure 1 provides an aerial image of the current site outlined in blue. Figure 2 shows the zoning of the site and surrounding parcels.

**Figure 1. Aerial Image of Subject Site and Vicinity**



Source: NearMap

**Figure 2. Zoning Map**



The intent of the Agricultural & Rural Residential District is:

*“For those areas under active cultivation, pasturage or other agricultural uses. The ARR Zoning District is primarily composed of large open land areas and wooded areas. It is the Township's desire to preserve agricultural lands and to permit operations typical of agricultural properties or to retain the natural environment. Uses will be predominantly residential, even though farming still exists. Even where land is not considered a "farm," residents in the ARR District have made a lifestyle choice. Areas designated as State Lands, County or Township open space, or recreational opportunities are also located in the ARR District.”*

**Items to be Addressed: None.**

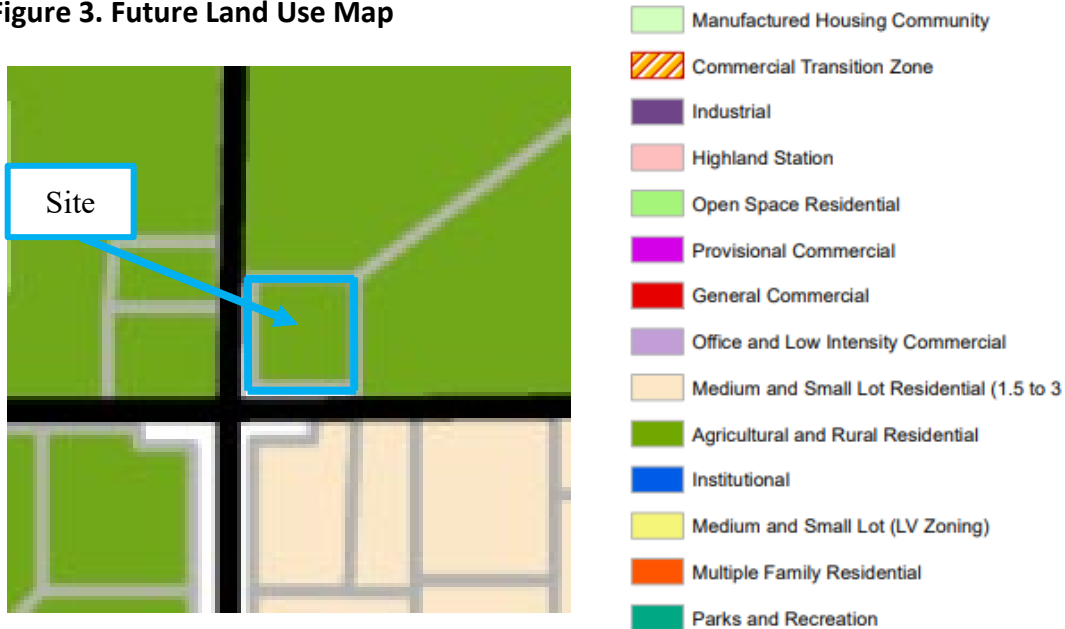
**NEIGHBORING ZONING, LAND USE AND MASTER PLAN**

Table 1 lists the existing land use, zoning, and master plan future land use designations of the subject site and neighboring properties. Figure 3 shows the land use designations for the subject site and surrounding properties from the Future Land Use Map last updated on September 9, 2021.

**Table 1. Existing Land Use, Zoning Districts, and Future Land Use Designations**

	Existing Land Use	Zoning	Future
<b>Subject Site</b>	Day Care Center	Agricultural & Rural Residential (ARR)	Agricultural & Rural Residential (ARR)
<b>North</b>	Bonadeo Farms	Agricultural & Rural Residential (ARR)	Agricultural & Rural Residential (ARR)
<b>South</b>	Single Family Home	Residential 1.5 Acre (R1.5)	Medium and Small Lot Residential (1.5 to 3 acre min. lot)
<b>East</b>	Bonadeo Farms	Agricultural & Rural Residential (ARR)	Agricultural & Rural Residential (ARR)
<b>West</b>	Single Family Home	Agricultural & Rural Residential (ARR)	Agricultural & Rural Residential (ARR)

**Figure 3. Future Land Use Map**



While a strong emphasis on preserving rural character is seen throughout the 2000-2020 Comprehensive Land Use Plan, it does not address day care centers in areas planned specifically for residential or agricultural use.

**Items to be Addressed:** None.

**AREA, WIDTH, HEIGHT, SETBACKS**

The following table summarizes the Coverage, Placement, and Height Regulations for the site plan associated with the use. The proposed structures do not meet all dimensional regulations of the zoning ordinance and the applicant has applied for the needed variances. The table below refers to the dimensions of the proposed building, per their variance application.

**Table 2. Coverage, Placement, and Height Regulations**

	Required	Provided	Complies
<b>Maximum Lot Coverage</b>	10 %	8.6 %	Complies
<b>Minimum Front Setback</b>	125 Feet	Milford Rd: 69 feet White Lake Rd: 84.3 feet	Does not comply
<b>Minimum Side Setback</b>	Least Side: 40 feet Total Side: 80 feet	North: 33.9 feet East: 13 feet	Does not comply
<b>Building Height</b>	2 Stories or 28 Feet	Not Provided	Does not comply

The proposed location of the additional building is highly visible from the street due to the lack of landscaping and flat terrain.

**Items to be Addressed:** *Zoning Board of Appeals decision on requested variances.*

### BUILDING LOCATION AND SITE ARRANGEMENT

The facility will front N. Milford Road and White Lake Road and will be accessible from N. Milford Road. The submitted plans do not include a vehicular circulation plan.

The proposed building will be located east of the existing building behind the parking lot. The existing play area bordering White Lake Road is proposed to remain and is currently not screened from the public right-of-way. The plans propose minimal screening of the play area.

**Items to be Addressed:** *Planning Commission to discuss site layout and design.*

### PARKING, LOADING

The required parking for daycare centers, per Section 11.02 of the Highland Township Zoning Ordinance, is two (2) spaces, plus one (1) additional space for each eight (8) children of licensed authorized capacity. The applicant has not provided the number of children that the space will be licensed for. The plans indicate that there could be up to sixty (60) children on site. The required parking for sixty (60) children would be  $(2 + 8 = 10)$  spaces. The applicant has provided ten (10) parking spaces including one (1) handicap accessible space.

**Items to be Addressed:** *Applicant shall confirm the number of children the facility is licensed for.*

### FENCING

The applicant is proposing to replace a section of fencing in the southeastern area of the lot surrounding the play area. Additional fencing is not proposed as screening to surrounding uses. The submitted plans show no connection of a fenced-in area, rather several segments of fencing.

We recommend the play area be completely fenced with monitored access or restricted via a gate.

**Items to be Addressed:** *Planning Commission input on screening requirements per Section 12.04.*

### SITE ACCESS AND CIRCULATION

The applicant has not provided a vehicle circulation plan. Per Section 10.09 the applicant shall provide an operations plan indicating traffic patterns for pickup and drop off of clients, including designation of suitable parking areas.

We defer to Engineering and the Fire Chief for further consideration.

**Items to be Addressed:** Applicant to provide operations plan.

**NATURAL FEATURES**

The parcel is developed with the eastern boundary line of the site having two (2) large shade trees. The site has few topographical variations with the site being level throughout making much of the property visible from the public right-of-way.

**Items to be Addressed:** None.

**LANDSCAPING**

The applicant has provided a landscape plan which requires approval and determinations by the Planning Commission, as shown in the Table 3.

**Table 3. Landscaping Requirements**

Landscaping Requirement	Required	Provided	Complies
Screening Between Land Uses	6 ft height visual screen (Section 12.04)	East: 7 existing trees	Complies
		North: 14 existing trees	
Parking Lot Landscaping	1 tree + 3 shrubs per 8 spaces Section 12.05 (A)	1 tree and 3 shrubs required for 10 spaces 1 tree 6 shrubs proposed	Planning Commission to determine appropriate location
Landscaping Adjacent to Public Rights-of-Way	Landscaped berm, wall, or sufficient plantings (3 ft height) Section 12.05 (B)	N. Milford Road: 2 rain gardens and 6 trees	Planning Commission to determine if screening is sufficient
		White Lake Road: 3 trees	
Greenbelts	12 ft width for other non-residential uses	White Lake Road: 12 feet	Complies
		N. Milford Road: 12 feet	
	1 tree/30 linear feet of frontage	1 existing deciduous tree + 6 deciduous trees (White Lake Road 190 linear feet) 6 deciduous trees and 2 rain gardens (N. Milford 166 linear feet)	
Site Landscaping		Total Landscaped: Not provided	More information needed

Landscaping Requirement	Required	Provided	Complies
	15% of site area (5,541 sq ft) (Section 12.07)	Rain Gardens: 1,600 sq ft	
		Proposed: Not provided	
		Existing: Not provided	
Screening of Trash Containers	All sides screened with opaque fence or wall and gate (Section 12.09)	Trash container location not indicated	More information needed

**Items to be Addressed:** 1) Planning Commission to determine location for parking lot screening. 2) Planning Commission to consider landscaping adjacent to rights-of-way. 3) Applicant provide total landscaping square footage.

**LIGHTING**

No lighting plan has been provided. We recommend appropriate lighting fixtures that reduce the amount of light flooding neighboring properties be incorporated.

**Items to be Addressed:** None.

**FLOOR PLAN AND ELEVATIONS**

No floor plans or elevations have been provided. The Planning Commission should consider the architectural character of the surrounding residential area. We recommend the proposed building have a pitched roof and siding similar to neighboring buildings to preserve the residential character of the area.

**Items to be Addressed:** Planning Commission to discuss preserving the residential character of the area.

**TRASH ENCLOSURE**

The applicant has not indicated where a trash enclosure will be located or appropriate screening.

**Items to be Addressed:** Applicant shall provide trash enclosure details and location.

**SPECIAL LAND USE STANDARDS**

Section 6.03(H) lists the standards for all special land uses. Prior to making a recommendation to the Township Board, the Planning Commission must make a determination on the special land use based on these standards.

**1. All special land uses shall be designed, located, planned and operated so that the public health, safety and welfare will be protected.**

**CWA COMMENTS:** This standard can be met. The Planning Commission should determine what additional measures, such as screening and emergency vehicle access, are to be taken. The size of the lot in relationship to the increased intensity of the use should be taken into consideration as well.

**2. The Special Land Use will be consistent with the stated intent of the zoning district.**

**CWA COMMENT:** The standard is met if the Planning Commission feels that expansion of the child care center is compatible with the surrounding single-family residential development. The intent of the residential districts in general is to "protect single-family residential development from the encroachment of incompatible land uses."

Day care centers are allowed as a special land use in the ARR zoning district, with the assumption that this use could be compatible with single-family residences. A limit on the size or intensity of day care centers is not included in the specific regulations for day care centers in Section 10.09.

**3. The proposed special land use shall be in general agreement with the Master Plan designation for the area where the use is proposed.**

**CWA COMMENTS:** The standard may be met if the Planning Commission finds that the proposed expansion will maintain the rural character of the Township and will not increase nuisance to surrounding areas.

The Master Plan places priority on preserving the rural nature of Highland Township. The existing building has rural architecture of a single-family house. The proposed building is a portable unit that has vinyl siding and a flat roof. We recommend that the architecture of the proposed building, through the use of similar siding and roof styles, match that of the existing building on site and those of the surrounding area.

**4. All special land uses shall provide facilities for safe and convenient vehicular and pedestrian traffic, including but not limited to: turning movements, traffic flow, proximity and relationship to intersections, adequacy of sight distances, location and access of off-street parking, and provisions for pedestrian traffic.**

**CWA COMMENTS:** This standard may be met but not enough information has been provided. We defer to Township staff, engineering, and Fire Department for comments. However, we note that the applicant has not provided traffic patterns for pickup and drop off of the clients, as required by Section 10.09(D) for day care centers. The pickup and drop off circulation are relevant to the evaluation of this standard as is the number of children the facility is licensed for.



**5. All special land uses shall be designed, constructed and operated in a manner that prevents detrimental impacts to surrounding properties such as noise, dust, fumes, smoke, air, water, odor, light and/or vibration, etc. The special land use shall be designed, constructed and operated in a manner that does not detract from area aesthetics.**

**CWA COMMENTS:** This standard can be met. The site is designed in a manner that prevents detrimental impacts to surrounding properties, with proper screening and vehicular access limited to N. Milford Road. In terms of area aesthetics, we reiterate our previous recommendation that the building materials and roof pitch of the proposed building should match those of the existing building on site.

**6. The proposed special land use shall not unreasonably burden the capacity of public services and/or facilities.**

**CWA COMMENTS:** We defer to Township staff and engineering.

**7. The proposed special land use shall comply with any specific standards set forth in Article 10, Supplemental Use Regulations, that are applicable to the use.**

**CWA COMMENTS:** The application as submitted does not comply with the standards in Section 10.09 - Day Care Centers, adult or child. Table 4 shows how the applicant has met those regulations.

**Table 4. Regulations in Section 10.09**

Regulation	CWA Comment
An adult or child day center must have frontage on a major thoroughfare.	The regulation is met. The site is on N Milford.
The proposed use shall not change the essential character of the surrounding residential area and shall not create a nuisance.	The regulation can be met. More information on pick and drop off is needed. Architectural elements should be adjusted to be cohesive with the surrounding area.
A child care center located in a residential zoning district may not exceed sixteen (16) hours of operation during a 24-hour period and may not operate between the hours of 10 p.m. and 6 a.m.	The hours of operation have not been provided.
The operator must provide an operations plan indicating: The number of clients to be cared for and number of employees. The operations plan must indicate traffic patterns for pickup and drop off of clients, including designation of suitable parking areas. The operation plan is subject to review and approval by the Planning Commission.	An operations plan has not been provided.

Regulation	CWA Comment
Screening between the outdoor play area adjacent residentially zoned and used property shall be provided in accordance with Section 12.04, Screening Between Land Uses.	Planning Commission to determine if the provided visual screening is appropriate.
Fencing of portions of the site where it is necessary to ensure the safety and security of the clients shall be provided unless it is determined by the Planning Commission that the applicant has satisfied this condition through other means. A fenced outdoor play area of at least five thousand (5,000) square feet must be provided.	The regulation is met. The landscape plan should provide the square footage of the fenced outdoor play area.
Signage must comply with the provisions of Article 14, Signs.	No new signage has been proposed.

**Items to be Addressed:** 1) Applicant provides the information needed to evaluate compliance with Section 10.09 2) Planning Commission determination on whether the proposal meets the Special Land Use standards.

**RECOMMENDATIONS**

We recommend the following items be addressed by the applicant before the Planning Commission takes action:

1. Provide the number of children the facility is licensed for.
2. Exterior lighting information be provided.
3. Provide trash enclosure details.
4. Provide the information needed to evaluate compliance with Section 10.09, including an operations plan.

At the time of site plan review, the Planning Commission will need to make the following determinations:

1. Planning Commission determination on screening requirements per Section 12.04.
2. Planning Commission to determine type conifer hedge, solid wall, or decorative fence.
3. Planning Commission to determine appropriate location for parking lot landscaping.

If the Planning Commission recommends approval, the Commission should make specific findings as to how the proposal meets the Special Land Use Standards. We recommend the Planning Commission consider including the following condition:

1. The proposed building has a pitched roof and siding similar to neighboring buildings to preserve the residential character of the area.

If the Planning Commission recommends denial, we recommend that the Planning Commission motion specify how the proposal does not meet the Special Land Use Standards or any other standards and requirements of the Township Zoning Ordinance.

Respectfully submitted,



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**CARLISLE/WORTMAN ASSOC., INC.**  
**Megan Masson-Minock, AICP**  
**Principal**



---

**CARLISLE/WORTMAN ASSOC., INC.**  
**Grayson Moore**  
**Community Planner**



July 26, 2024

Highland Township  
205 North John Street  
Highland, MI 48357

Attn: Ms. Beth Corwin, P.E.  
Planning & Development Director

Re: Site Plan Review  
Wiggles & Giggles Classroom and Parking Lot  
Sidwell No. 11-02-300-002

Dear Ms. Corwin:

As requested, this office has reviewed the plans for the above-mentioned project as prepared by Nederveld (dated July 1, 2024). The proposed improvements include a new classroom building and parking lot at an existing day care facility. We have the following comments:

#### Water Supply

1. The plans show that the proposed classroom building will be served by the existing well. This will require the review and approval of the Oakland County Department of Environmental Health.

#### Wastewater Disposal

1. The plans indicate that a proposed classroom building will connect to the existing septic system. This will require the review and approval of the Oakland County Department of Environmental Health.

#### Storm Water Management

1. All proposed storm sewer improvements will need to be designed in accordance with Highland Township Engineering Design Standards.
2. The plans show that stormwater drainage will be directed to two rain gardens prior to discharge to the Milford Road right-of-way. The rain garden calculations may need to be updated if the parking lot is paved.

#### Paving and Grading Improvements

1. The proposed paving and grading improvements will need to be designed in accordance with Highland Township Engineering Design Standards.
2. A permit from the Road Commission for Oakland County (RCOC) will be required for the proposed work within the N. Milford Road ROW.
3. Cross-section details for the proposed paving and parking lot improvements will need to be included on the plans.
4. Site circulation will need to be reviewed and approved by the Township Planner and Fire Department.

Soil Erosion Control

1. The Soil Erosion and sediment control plans will require the review and permitting of the Oakland County Water Resources Commission.

Summary

The items noted above will need to be addressed in future site plan submittals. We have no objections to the proposed improvements. If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.



Michael P. Darga, P.E.

MPD/mpd

pc: Highland Township; R. Hamill  
HRC; R. Alix, File



# Charter Township of Highland - Fire Department

**1600 W. Highland Rd.  
Highland, MI 48357  
(248)887-9050**

Re:  
1131 White Lake Rd.  
Highland, MI 48357

July 9<sup>th</sup>, 2024

To whom it may concern:

**Project Overview: proposed site plan for a new building at 1131 White Lake Rd.**

I have reviewed a site plan regarding a proposed building at the above location.

1. The proposed site for a new building meets fire department access requirements. However, the site plan shows that the gravel driveway providing access to the existing building off White Lake Road will be removed.
2. A driveway shall be required to allow the fire department access to that existing structure.
3. Building plans shall be submitted and evaluated for use and further requirements.
4. A plan set shall be provided to The Department of Licensing & Regulatory Affairs Bureau of Fire Service for review.

*Review and approval by the Authority Having Jurisdiction shall not relieve the applicant of the responsibility of compliance with these codes.*

If you have any questions or need further clarification about this plan review report, please do not hesitate to contact me.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Shawn Bell", with a horizontal line underneath.

Shawn Bell  
Fire Marshal  
Highland Township Fire Department

**Wiggles & Giggles**

**Child Care Center**

1311 White Lake Rd.  
Phone: (248) 887-5542



To whom it may concern:

We hope this message finds you well. The purpose of this project is to serve the need and demand of not only our parents but the community by large. Within our own center there are parents in need of child care and infant care. We hope to use the space for infants and toddlers, which will allow us to serve the needs of children under the age of 2. We purposely chose to use a classroom needing renovations to allow us to situate the building in a manner that meets our needs best. We also plan to have the exterior of the building displaying an educational mural. We look forward to working through this process with you.

Best Regards,  
Khaled  
Owner Wiggles and Giggles





- Site Plan Review
- Rezoning
- Use Requiring Special Approval
- Land Division
- Land Division & Combination
- Road Profile
- Other

**PLAN REVIEW APPLICATION**

Highland Township Planning Department, 205 N. John St, Highland, Michigan 48357 (248) 887-3791 Ext. 2

Date Filed: 7/1/24 Fee: \$750<sup>00</sup> Escrow: \$2500 Case Number: 24-06

**NOTICE TO APPLICANT AND OWNER**

BY SIGNING THIS APPLICATION, THE APPLICANT AND OWNER ACKNOWLEDGE ONE OR THE OTHER OR BOTH ARE RESPONSIBLE FOR ALL APPLICATION AND CONSULTANT FEES THAT ARISE OUT OF THE REVIEW OF THIS REQUEST THE OWNER ALSO AUTHORIZES THE TOWNSHIP TO PLACE A SIGN ON THE PROPERTY, IF NECESSARY, TO INFORM THE PUBLIC OF THE PENDING MATTER BEING REQUESTED.

**REQUIRED COPIES OF PLANS**

*receipt 1.060283*

INITIAL REVIEW: 2 HARD COPIES OF PLANS AND .PDF COPY OF PLANS  
CONSULTANTS REVIEW OF APPROVED PLANS SUBJECT TO CONDITIONS: 5 COPIES AND .PDF COPY

**1. APPLICANT INFORMATION**

NAME: Khaled Mheisen  
ADDRESS: 906 N Beck Rd  
Canton MI 48187  
PHONE: 734-635-3507  
EMAIL: Kbmheisen@gmail.com

**OWNER INFORMATION**

NAME: Imagination Station Two, LLC  
ADDRESS: 1131 White Lake Rd  
Highland, MI 48326  
PHONE: 734-635-3507  
EMAIL: Wigglesgigglesmi@gmail.com

**2. PROPERTY INFORMATION**

ADDRESS OR ADJACENT STREETS: 1131 White Lake Road  
LOT WIDTH: 192 LOT DEPTH: 192 LOT AREA: 36,948 Sq.Ft.  
PARCEL IDENTIFICATION NUMBER(S): H-11-02-300-002

**3. PROJECT INFORMATION**

PROJECT NAME: Wiggles & Giggles  
PRESENT ZONING: ARR  
PRESENT USE: Child Daycare

PROPOSED ZONING: ARR  
PROPOSED USE: Child Daycare

*Jabin B. Young  
Notary Public, State of MI  
County of Wayne  
My Commission Expires Mar. 13, 2025  
Acting in the County of Wayne*

**APPLICANT**

SIGNATURE: [Signature]  
PRINT NAME: Khaled Mheisen

On the 27<sup>th</sup> day of June, 2024 before me, a Notary Public, personally appeared the above named person whose signature appears above, and who executed the foregoing instrument, and he/she acknowledged to me that he/she executed the same.

State Of Michigan  
County Of Oakland Wayne  
Notary Public: [Signature]

**OWNER**

SIGNATURE: [Signature]  
PRINT NAME: Khaled Mheisen

On the 27<sup>th</sup> day of June, 2024 before me, a Notary Public, personally appeared the above named person whose signature appears above, and who executed the foregoing instrument, and he/she acknowledged to me that he/she executed the same.

State Of Michigan  
County Of Oakland Wayne  
Notary Public: [Signature]

• If there are Co-Applicants and/or Co-Owners associated with this property(ies) to be acted upon, please submit a Notarized Co-Applicant's and/or Co-owner's "Interest in Property Certificate" with this application. The person signing this cover sheet will be considered the official designee for the group and all correspondence will be addressed to this person.

• A notarized letter giving the Applicant authorization to represent the Owner is also permitted in lieu of a signature on this application. The person signing this cover sheet, however, will be considered the official designee for the Owner and all correspondence will be addressed to this person.



OAKLAND COUNTY TREASURERS CERTIFICATE  
This is to certify that there are no delinquent property taxes as of this date owed to our office on this property. No representation is made as to the status of any taxes, tax liens or titles owed to any other entities.

\$26.00 Misc Recording  
\$4.00 Remonumentation  
\$5.00 Automation  
\$2,580.00 Transfer Tax

12/15/2023

PAID RECORDED - Oakland County, MI e-recorded  
Lisa Brown, Clerk/Register of Deeds

5.00  
ROBERT WITTENBERG, County Treasurer  
Sec. 135, Act 206, 1893 as amended MIT

STATE OF MICHIGAN



REAL ESTATE TRANSFER TAX

Oakland  
12/15/2023  
000106185

\$330.00 :00  
\$2,250.00 :6T  
1394478

WARRANTY DEED

The Grantor(s), Edward Ridalls and Karen Yvonne Ridalls, husband and wife whose address is 4025 Presidential Way, Highland, MI 48356, convey(s) and warrant(s) to KHAB, LLC, a Michigan Limited Liability Company, Grantee(s), whose address is 1131 White Lake Road, Highland, MI 48356, real property in the City of Highland, County of Oakland, State of Michigan, described as follows:

South 242.22 Feet of the West 242.22 feet of the Southwest 1/4 of Section 2, Town 3 North, Range 7 East, Except the South 50 feet of the West 50 feet taken for road.

Commonly known as: 1131 White Lake Road, Highland, MI 48356

Tax parcel no. Parcel ID No(s): H-11-02-300-02 007

For the Full Consideration of Three Hundred Thousand And No/100 Dollar(s) (\$300,000.00), together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining thereto, and together with the right to make all available divisions under Section 108 of the Land Division Act., Act No. 288 of the Public Acts of 1967.

And subject to building and use restrictions and easements of record, if any, zoning laws and ordinances affecting the premises, and rights of the public and of any governmental entity in any part thereof taken, used or deeded for street, road, right of way, or highway purposes, and subject to taxes and future installments of special assessments payable hereafter.

Dated this 4th day of December, 2023.

Edward Ridalls  
Edward Ridalls  
Karen Yvonne Ridalls  
Karen Yvonne Ridalls

STATE OF MICHIGAN }  
  } ss  
COUNTY OF OAKLAND }

On this 4th day of December, 2023, before me personally appeared Edward Ridalls and Karen Yvonne Ridalls, to me known to be the person(s) described in and who executed the foregoing instrument and acknowledged the same.

Notary Public: Christopher Halabe

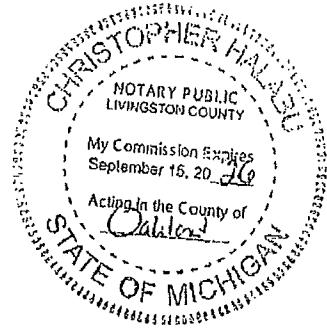
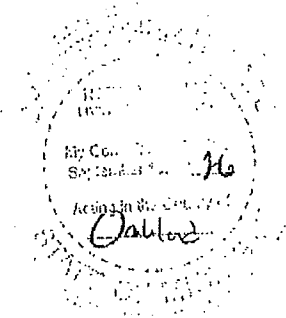
Printed Name:

County, Michigan

My Commission Expires:

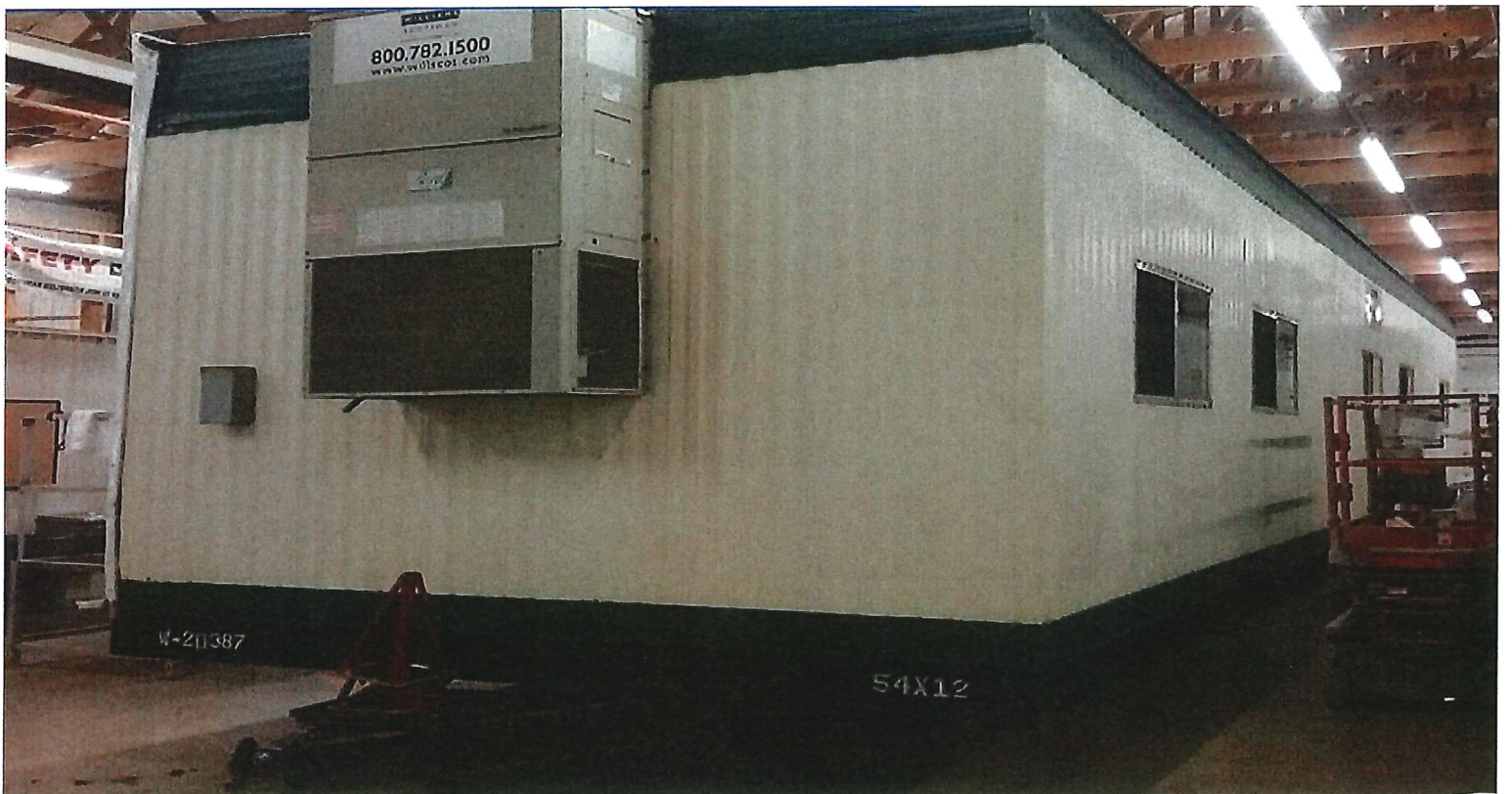
Acting in the County of Oakland

Prepared by/ Return to  
Peter Halabu, Esq.  
26000 W. 12 Mile Rd.  
Southfield, MI 48034  
File BT-11200











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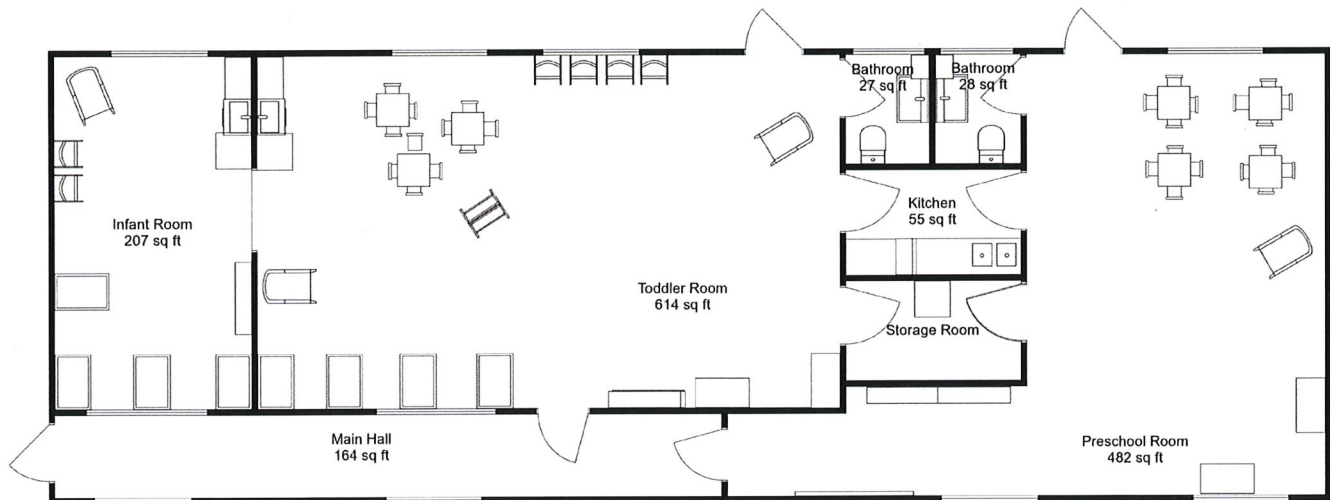






# New Preschool Rooms

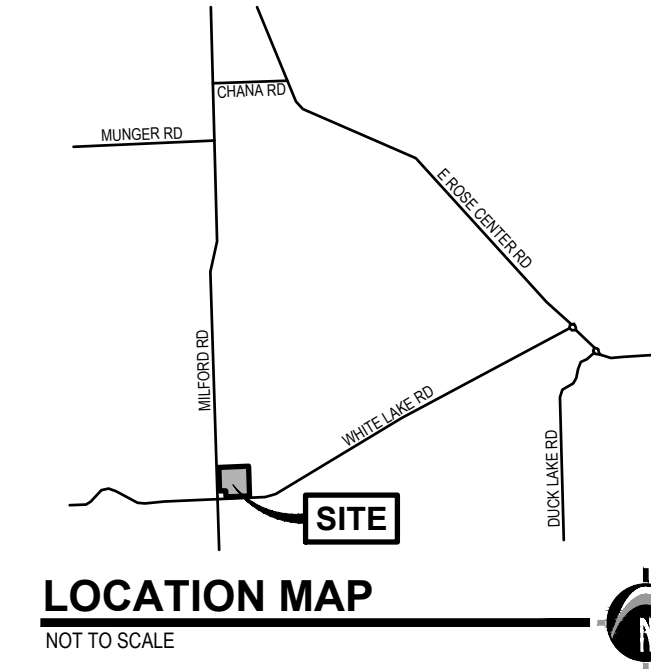
## 1. Floor





# WIGGLES & GIGGLES

## HIGHLAND TOWNSHIP, OAKLAND COUNTY, MICHIGAN



**NEDERVELD**  
 www.nederveld.com  
 800.222.1868  
**ANN ARBOR**  
 3037 Miller Rd  
 Ann Arbor, MI 48103  
 Phone: 734.929.6963  
 CHICAGO  
 COLUMBUS  
 GRAND RAPIDS  
 HOLLAND  
 INDIANAPOLIS

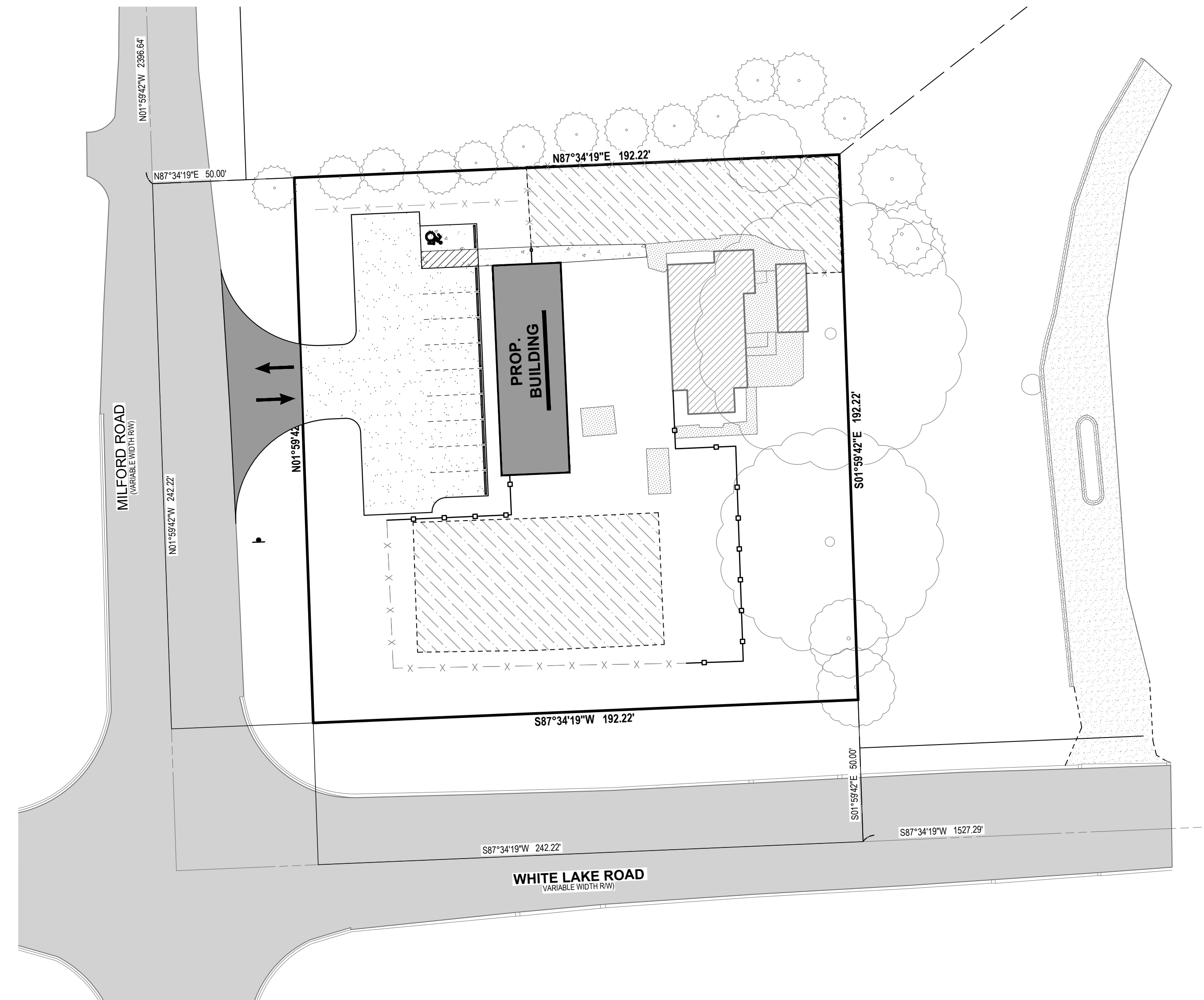
**PREPARED FOR:**  
 Wiggles & Giggles  
 Khaled Mneisen

1131 White Lake Rd.  
 Highland, MI 48356

**REVISIONS:**

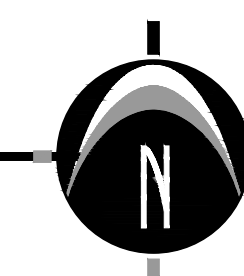
Title: SITE PLAN SUBMITTAL  
 Drawn: CB/OO Checked: BC Date: 7.1.2024

### SITE PLAN



**SITE LAYOUT**

1" = 30'



**SHEET INDEX**

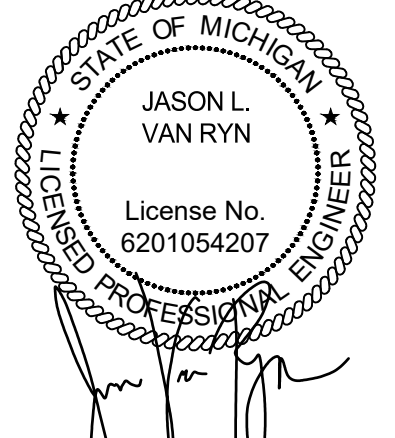
Cover Sheet	C-100
Existing Site Conditions Plan	C-201
Natural Resources Inventory Plan	C-202
Demolition Plan	C-203
Site Layout Plan	C-205
S.E.S.C. & Grading Plan	C-300
Landscape Plan	L-100

**WIGGLES & GIGGLES**

Cover Sheet

1131 WHITE LAKE RD  
 PART OF THE SOUTHWEST 1/4 OF SECTION 2, T3N, R7E,  
 HIGHLAND TOWNSHIP, OAKLAND COUNTY, MICHIGAN

**STAMP:**



**PROJECT NO:**  
 24500220

**SHEET NO:**  
**C-100**



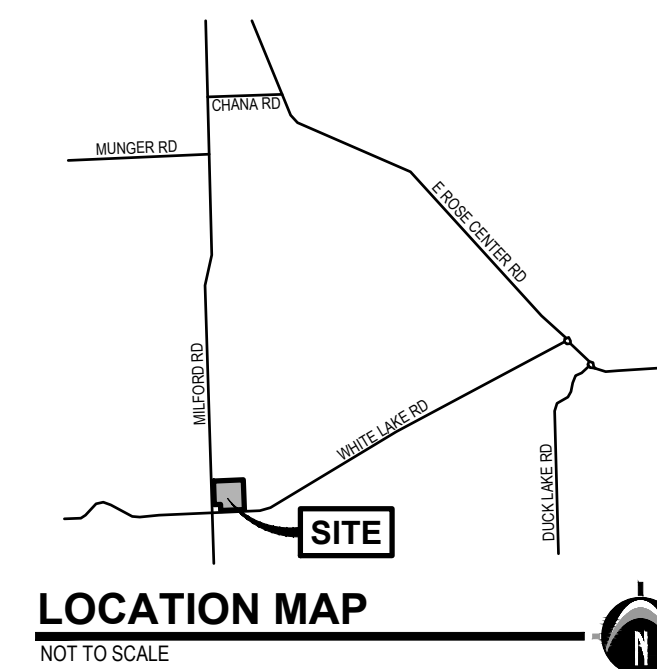
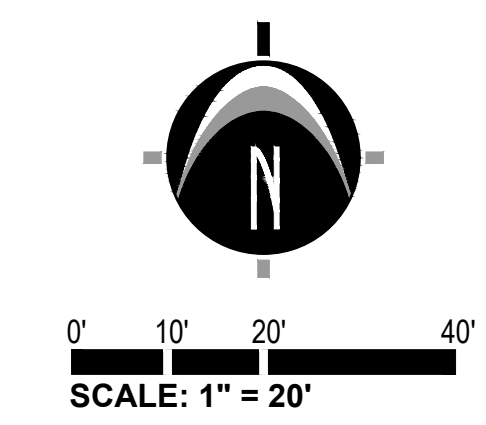
UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.  
 NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

**PREPARED FOR:**  
 Wiggles & Giggles  
 Khaled Mhaisen

1131 White Lake Rd.  
 Highland, MI 48356

**REVISIONS:**

Title: SITE PLAN SUBMITTAL  
 Drawn: CB/OO Checked: BC Date: 7.1.2024



**LEGEND**

	Section Corner		Mailbox
	Iron - Set 1/2" X 18" iron rebar with NED Cap		Post
	Iron - Found as noted		Utility Pole
	Air Conditioning		Sign
	Catch Basin - Round		Stop Sign
	Catch Basin - Square		Underground Gas Marker
	Control Point/ Benchmark		Water Well
	Cable Riser		Fence
	Culvert		Gas Line
	Deciduous Tree		Overhead Utility
	Electric Meter		Sanitary
	Evergreen Tree		Zoning Setback Line
	Faucet		Asphalt
	Flag		Existing Building
	Gas Meter		Concrete
	Guy Anchor		Gravel
	Light Pole		

**BENCHMARKS**

**BENCHMARK #1416** ELEV. = 1035.77 (NAVD88)  
 Benchtie in East side of power pole, located 16'-4" East of edge of pavement for Milford Road and 190'-4" North of White Lake Road.

**BENCHMARK #1268** ELEV. = 1029.35 (NAVD88)  
 Rim of catch basin, located at the Northeast corner of the intersection of White Lake Road and Milford Road 7'-4" North of back of curb.

**LEGAL DESCRIPTION**

Real property in the City of Highland, County of Oakland, State of Michigan, described as follows:

South 242.22 Feet of the West 242.22 feet of the Southwest 1/4 of Section 2, Town 3 North, Range 7 East, Except the South 50 feet of the West 50 feet taken for road.

(Warranty Deed, dated, December 15, 2023, 135783, Liber 59066, Page 442, Oakland County Register of Deeds.)

**SURVEYOR'S NOTES**

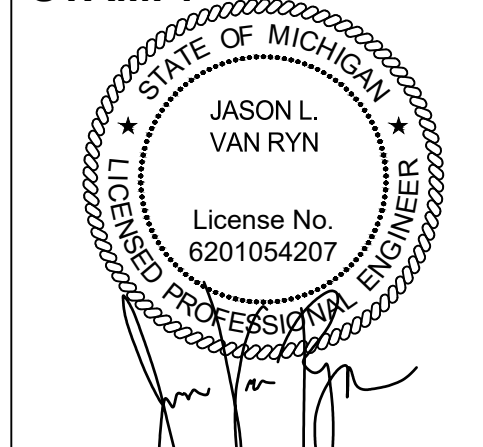
- 1) Flood Zone Classification: An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260650, Map Number 2612500311F, with an Effective Date of September 29, 2006, shows this parcel to be located in Zone X (subject to map scale uncertainty).
- 2) Lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary. These locations should not be interpreted to be exact locations nor should it be assumed that they are the only utilities in this area.
- 3) NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.
- 4) BASIS OF BEARING: NAD83 Michigan State Planes, South Zone, International Foot
- 5) Quit Claim Deed to Board of County Road Commissioners of the County of Oakland, State of Michigan, a Public Body Corporate as recorded in Liber 5589, Page 662, Oakland County Register of Deeds.

**WIGGLES & GIGGLES**

**Existing Site Conditions Plan**

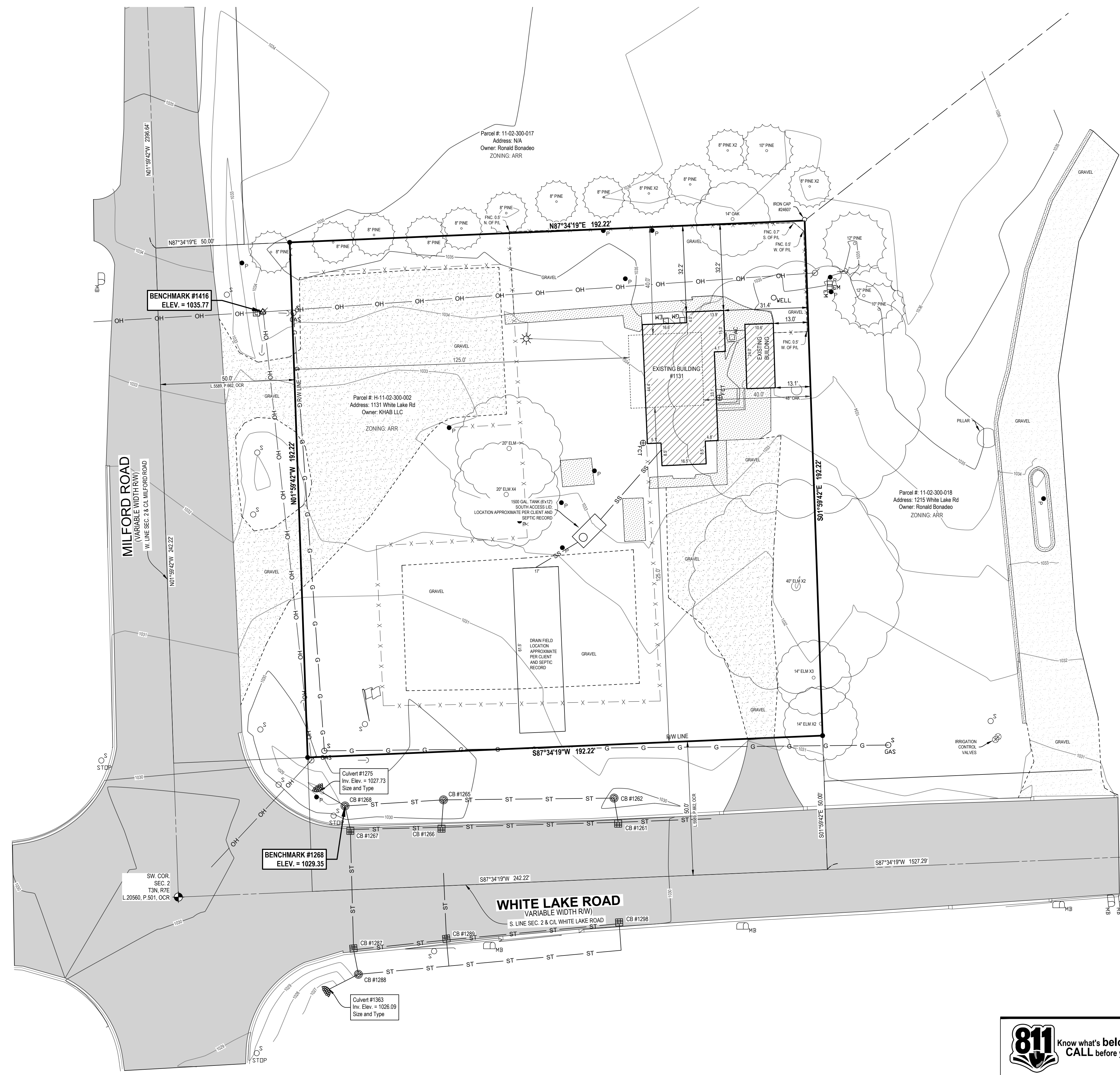
1131 WHITE LAKE RD  
 PART OF THE SOUTHWEST 1/4 OF SECTION 2, T3N, R7E,  
 HIGHLAND TOWNSHIP, OAKLAND COUNTY, MICHIGAN

**STAMP:**



**PROJECT NO:**  
 24500220

**SHEET NO:**  
**C-201**

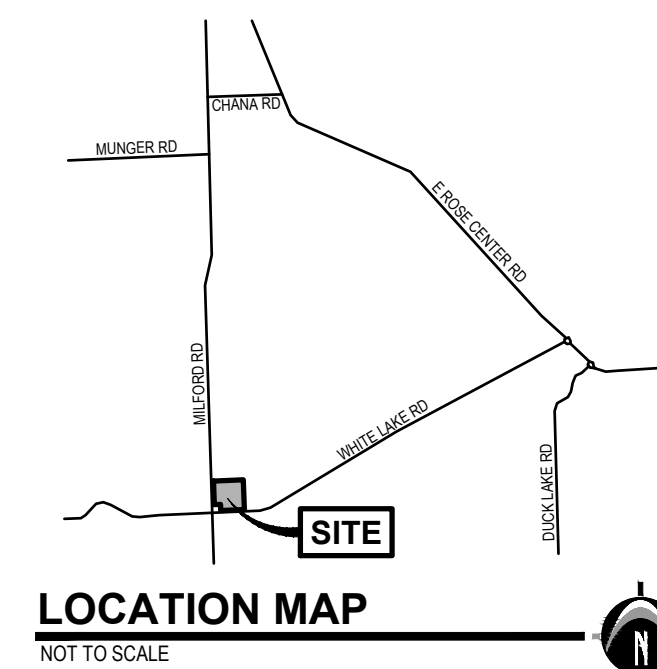
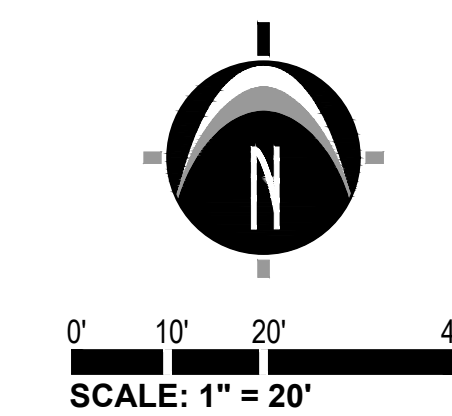


**811** Know what's below.  
 CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETTED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:  
 EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS 'SPRAY' WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.





**NEDERVELD**  
 www.nederveld.com  
 800.222.1868  
**ANN ARBOR**  
 3037 Miller Rd  
 Ann Arbor, MI 48103  
 Phone: 734.929.6963  
 CHICAGO  
 COLUMBUS  
 GRAND RAPIDS  
 HOLLAND  
 INDIANAPOLIS

**PREPARED FOR:**  
 Wiggles & Giggles  
 Khaled Mneisen  
 1131 White Lake Rd.  
 Highland, MI 48356

**REVISIONS:**  
 Title: SITE PLAN SUBMITTAL  
 Drawn: CB/OO Checked: BC Date: 7.1.2024

**NOTES**

- 1) Soils Classification:  
 13B - Oshtemo-Boyer loamy sands, 0 to 6 percent slopes  
 44B - Riddles sandy loam, 1 to 6 percent slopes
- 2) All trees except those marked for removal (See sheet C-203 for details) shall remain on site.  
 Trees to be removed:  
 Elm (*Ulmus sp.*) 20" Single trunk, good condition  
 Elm (*Ulmus sp.*) 20" Multi trunk, good condition

**WIGGLES & GIGGLES**  
 Natural Resources Inventory  
 1131 WHITE LAKE RD  
 PART OF THE SOUTHWEST 1/4 OF SECTION 2, T3N, R7E,  
 HIGHLAND TOWNSHIP, OAKLAND COUNTY, MICHIGAN

**STAMP:**

**PROJECT NO:**  
 24500220

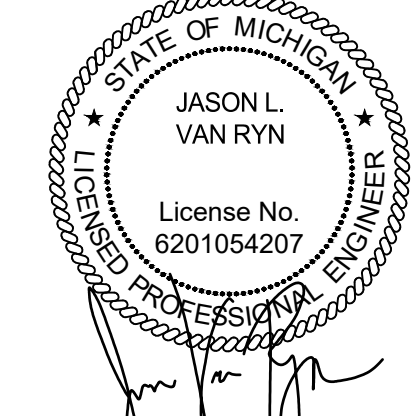
**SHEET NO:**  
**C-202**



**PREPARED FOR:**  
 Wiggles & Giggles  
 Khaled Mneisen  
 1131 White Lake Rd.  
 Highland, MI 48356

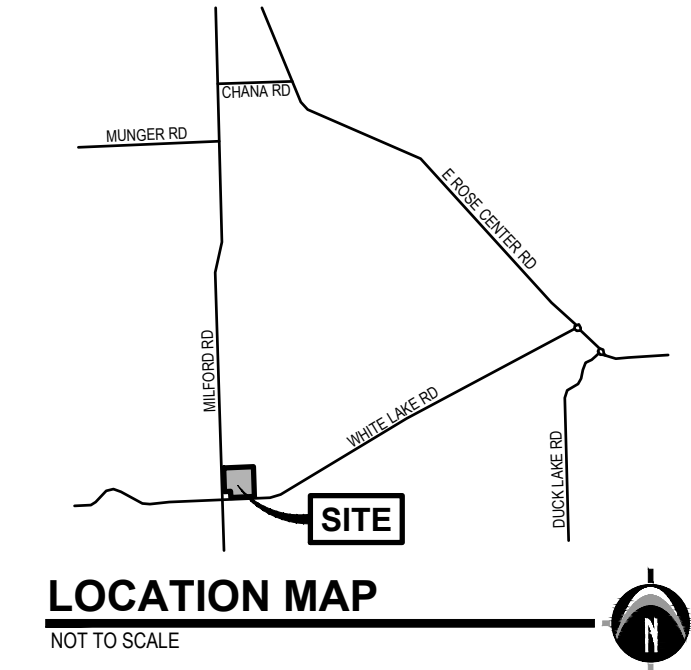
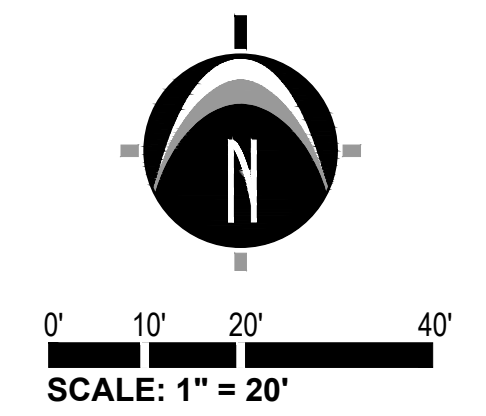
**REVISIONS:**  
 Title: SITE PLAN SUBMITTAL  
 Drawn: CB/OO Checked: BC Date: 7.1.2024

**WIGGLES & GIGGLES**  
 Demolition Plan  
 1131 WHITE LAKE RD  
 PART OF THE SOUTHWEST 1/4 OF SECTION 2, T3N, R7E,  
 HIGHLAND TOWNSHIP, OAKLAND COUNTY, MICHIGAN


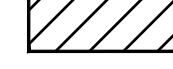
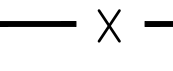








**STAMP:**  


**PROJECT NO:**  
 24500220

**SHEET NO:**  
**C-203**



**DEMOLITION LEGEND**

-  EXISTING ASPHALT & CONCRETE REMOVAL
-  EXISTING GRAVEL REMOVAL
-  EXISTING FENCE REMOVAL
-  EXISTING TREE REMOVAL
-  REMOVE EXISTING PAVEMENT
-  REMOVE EXISTING GRAVEL
-  REMOVE EXISTING TREE
-  REMOVE EXISTING LIGHT POLE
-  REMOVE EXISTING FENCE
-  REMOVE EXISTING POST
-  REMOVE EXISTING SIGN

**REMOVAL / DEMOLITION NOTES**

- 1) THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AT LEAST THREE WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION OPERATIONS. THERE ARE EXISTING UNDERGROUND UTILITIES WHICH CROSS THE PROPOSED REPLACEMENT WORK AREAS. ALTHOUGH THEIR EXACT LOCATION CANNOT BE DETERMINED, IT IS KNOWN THESE UTILITIES ARE LOCATED WHERE DIGGINGS IS REQUIRED. THE CONTRACTOR SHALL CONDUCT THE REQUIRED EXCAVATION IN THESE AREAS WITH EXTREME CAUTION.
- 2) ALL EXISTING UTILITY INFORMATION SHOWN IS TAKEN FROM EXISTING RECORDS, AND FIELD VERIFIED WHERE ACCESSIBLE ONLY. INFORMATION OBTAINED FROM EXISTING RECORDS MAY NOT BE COMPLETE OR ACCURATE. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION AND CONDITION.
- 3) BEFORE ANY WORK IS STARTED ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE BY THE TOWNSHIP AND BY THE OWNER, REPRESENTATIVES OF THE TOWNSHIP, THE OWNER AND THE CONTRACTOR SHALL MAKE AN INSPECTION OF THE EXISTING SEWERS WITHIN THE WORK LIMITS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING UTILITIES AND THEIR APPURTENANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS AND EXISTING VIDEO TAPES. RECORDS OF THE INSPECTIONS SHALL BE KEPT IN WRITING BY THE CONTRACTOR.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION WORK.
- 5) ALL EXISTING UTILITIES, SEWERS AND WATER LINES ARE TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES, MUNICIPALITIES AND AGENCIES BEFORE COMMENCING ANY WORK.
- 6) THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING POLES, OVERHEAD WIRES, UNDERGROUND UTILITIES, GUY WIRES, GAS LINES, ETC. ALL ADJUSTMENT OR RECONSTRUCTION WORK, EXCEPT FOR THOSE STRUCTURES OTHERWISE NOTED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR. EXISTING APPURTENANCES SUCH AS UTILITY POLES AND VALVES BOX SHALL NOT BE DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION.
- 7) THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.
- 8) ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY THE OWNER OR THEIR REPRESENTATIVES.
- 9) THE CONTRACTOR SHALL LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO ANYONE ELSE, INCLUDING THE TOWNSHIP OR OWNER.
- 10) ASPHALT AREAS SHOWN TO BE SAWCUT AND REMOVED FULL DEPTH ARE ACTUAL FACE OF PROPOSED CURBS. IT WILL BE NECESSARY TO MAKE OFF-SET SAWCUTS TO PROVIDE CLEARANCE FOR PROPOSED CURBS. THE CONTRACTOR SHALL DETERMINE THE AMOUNT OF OFF-SET NECESSARY TO CONSTRUCT THE PROPOSED CURBS. ADDITIONAL CUTS MAY BE DESIRED TO FACILITATE THE REMOVAL OF THE EXISTING PAVEMENT, BUT THERE WILL BE NO EXTRA PAYMENT FOR ADDITIONAL CUTS. PAVEMENT SHALL BE REMOVED WITHOUT DAMAGING OR UNDERMINING THE REMAINING PAVEMENT. IF ADJACENT PAVEMENT IS DAMAGED, THE CONTRACTOR SHALL MAKE ADDITIONAL FULL DEPTH SAWCUTS AND REMOVE THE DAMAGE AREAS AS NECESSARY.
- 11) ALL PAVEMENT REMOVAL AREAS SHALL BE FULL PAVEMENT CROSS-SECTION REMOVAL DOWN TO NATIVE SOIL LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPORT DATED MONTH/DAY/YEAR.
- 12) ALL TREES WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.



**811 Know what's below. CALL before you dig.**

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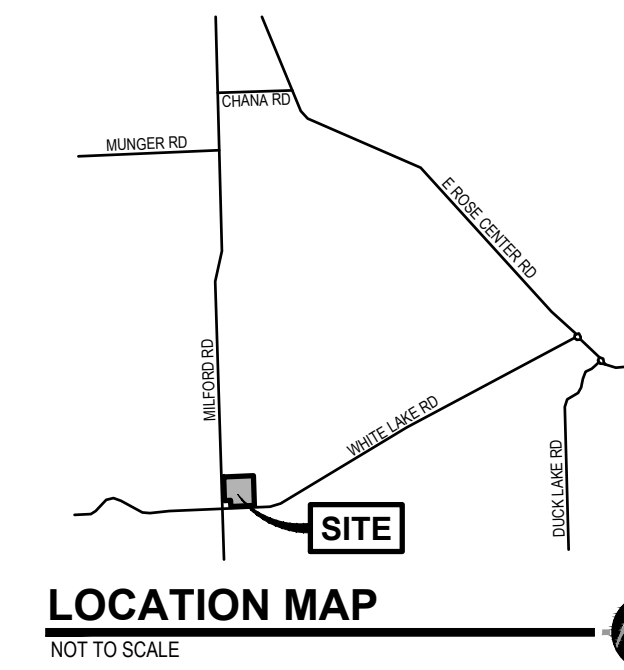
NOTE:  
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**PREPARED FOR:**  
 Wiggles & Giggles  
 Khaled Mhaisen

1131 White Lake Rd.  
 Highland, MI 48356

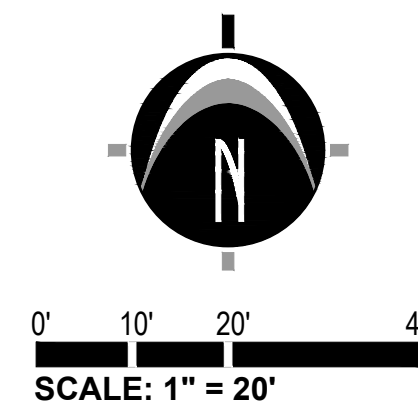
**REVISIONS:**

Title: SITE PLAN SUBMITTAL  
 Drawn: CB/OO Checked: BC Date: 7.1.2024



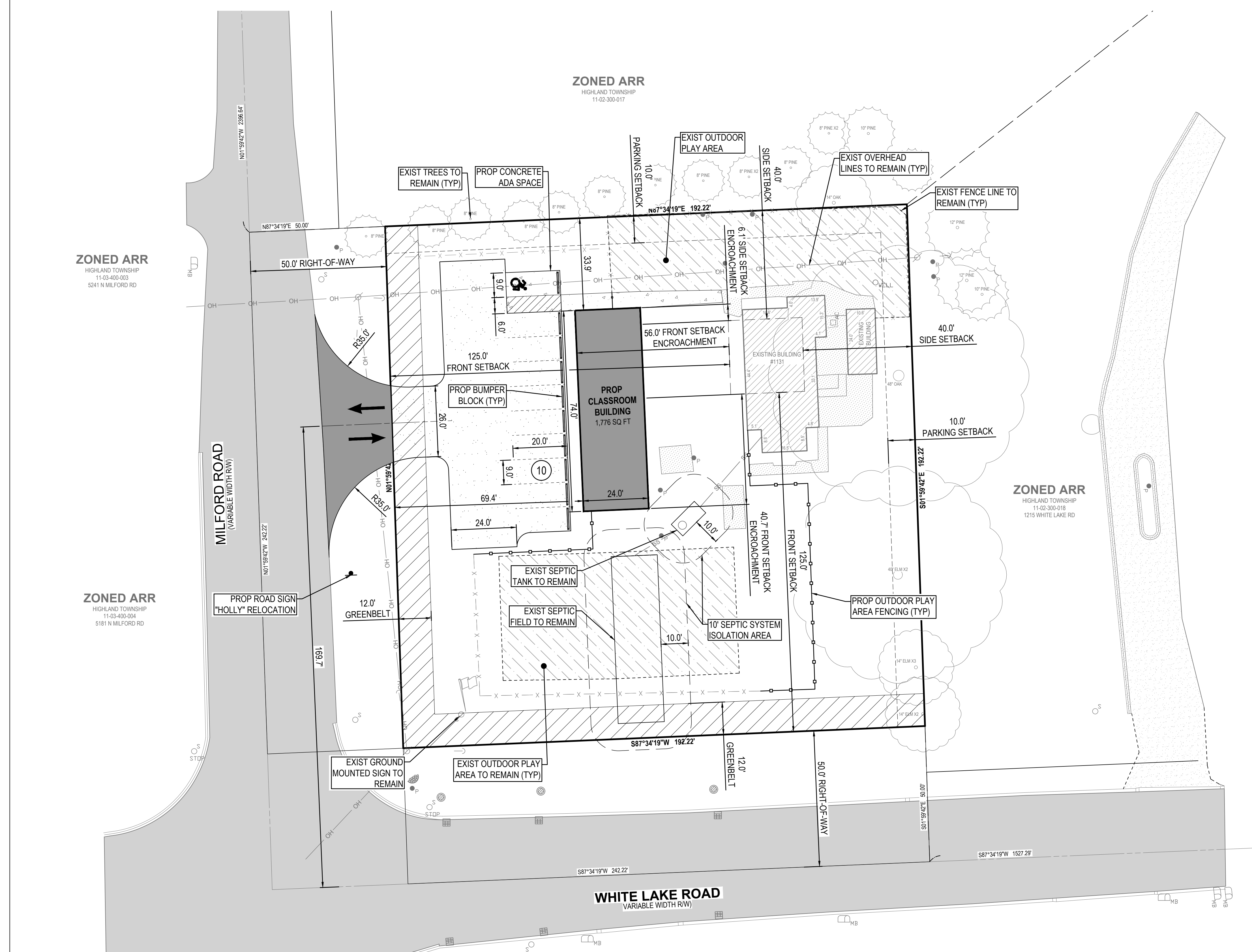
**LEGEND**

	EXISTING BITUMINOUS
	EXISTING CONCRETE
	EXISTING GRAVEL
	PROPOSED BITUMINOUS (STANDARD DUTY)
	PROPOSED CONCRETE (STANDARD DUTY)
	PROPOSED GRAVEL



**GENERAL NOTES**

- ZONING OF PROPERTY: ARR - AGRICULTURAL & RURAL RESIDENTIAL  
 ARR ZONING REQUIREMENTS  
 A) MINIMUM LOT AREA = 5 ACRES (217,800 SQ. FT.)  
 B) MINIMUM LOT WIDTH = 330 FT.  
 C) MAXIMUM BUILDING HEIGHT = 28 FT OR 2 STORIES  
 D) MAXIMUM LOT COVERAGE = 10%  
 SETBACKS  
 A) FRONT YARD = 125 FT. (FRONTING MAJOR THOROUGHFARE)  
 B) SIDE YARD = 40 FT.
- SUMMARY OF LAND USE:  
 A) TOTAL ACREAGE = 0.85 ACRES (36,946 SQ. FT.) (EXCLUDING R.O.W.)  
 B) TOTAL BUILDABLE AREA = 0.02 ACRES (740.6 SQ. FT.)  
 C) AREA OF PROPOSED BUILDING = 1,776 SQ. FT.  
 D) AREA OF EXISTING BUILDING = 1,414 SQ. FT.  
 E) LOT COVERAGE = 8.6%  
 F) ZONING OF PARCELS TO SOUTH AND WEST = R-1.5 & ARR  
 ZONING OF PARCELS TO NORTH AND EAST = ARR  
 G) PROPOSED SETBACK ENCROACHMENTS:  
 FRONT SETBACK (MILFORD RD) = 56.0 FT.  
 FRONT SETBACK (WHITE LAKE RD) = 40.0 FT.  
 SIDE SETBACK (NORTH) = 6.1 FT.
- \*A VARIANCE APPLICATION FOR THE PROPOSED ENCROACHMENTS HAS BEEN SUBMITTED TO THE ZBA ON 7/2/2024
- PARKING REQUIREMENTS:  
 A) MINIMUM REQUIRED SPACE PER TOWNSHIP = 9'x20' (24' AISLE)  
 B) TYPICAL PARKING SPACE PROVIDED = 9'x20' (24' AISLE)  
 C) TYPICAL VAN ACCESSIBLE PARKING SPACE = 11'x18' WITH 5' AISLE  
 D) TYPICAL CAR ACCESSIBLE PARKING SPACE = 8'x18' WITH 5' AISLE  
 E) NUMBER OF SPACES REQUIRED = 10 (BASED ON HIGHLAND REQUIREMENTS - 2 SPACES PLUS 1 ADDITIONAL SPACE FOR EACH CHILDREN < 60 CHILDREN / 8 = 8 SPACES + 2 SPACES = 10 SPACES)  
 F) NUMBER OF SPACES PROVIDED = 10
- THIS PROJECT IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN, BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAPS
- BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
- CONTRACTOR TO FIELD VERIFY ALL INVERTS.
- ALL LIGHTING SHALL BE SHIELDED FROM ALL ADJACENT PROPERTIES. PROPOSED LIGHTING SHALL CONSIST OF WALL MOUNTED LIGHTS AND LIGHT POLES, BOTH FITTED WITH DOWN CAST TYPE FIXTURES TO BE SPECIFIED BY LIGHTING CONSULTANT.
- THE PERMANENT PARCEL NUMBER FOR THE SITE IS H-11-02-300-002.  
 THE ADDRESS OF THE PROPERTY IS 1131 WHITE LAKE RD.
- NO FENCES OR WALLS OTHER THAN WHAT IS SHOWN ON THE SITE PLAN ARE PROPOSED AT THIS TIME.

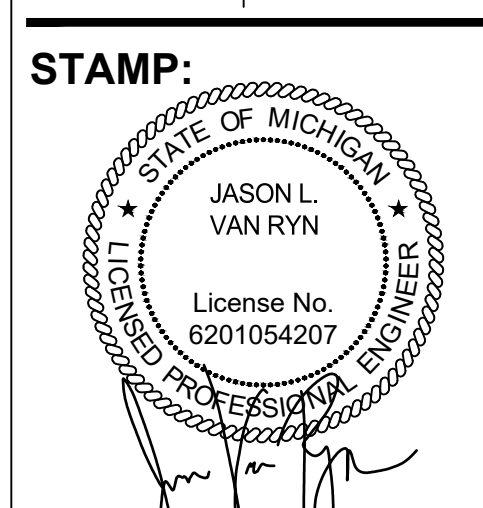


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**WIGGLES & GIGGLES**  
 Site Layout Plan  
 1131 WHITE LAKE RD  
 PART OF THE SOUTHWEST 1/4 OF SECTION 2, T3N, R7E,  
 HIGHLAND TOWNSHIP, OKLAND COUNTY, MICHIGAN



**PROJECT NO:**  
 24500220

**SHEET NO:**  
**C-205**



**NEDERVELD**  
 www.nederveld.com  
 800.222.1868  
**ANN ARBOR**  
 3037 Miller Rd.  
 Ann Arbor, MI 48103  
 Phone: 734.929.6963  
 CHICAGO  
 COLUMBUS  
 GRAND RAPIDS  
 HOLLAND  
 INDIANAPOLIS

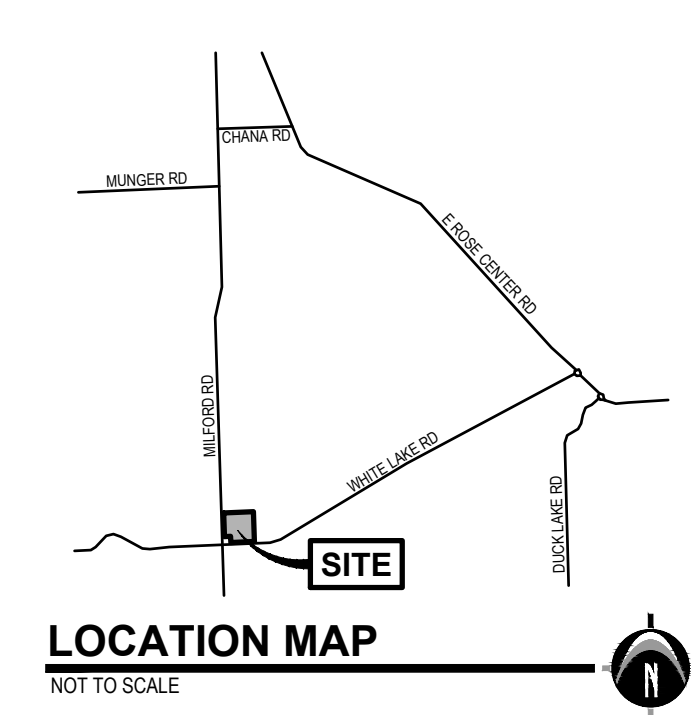
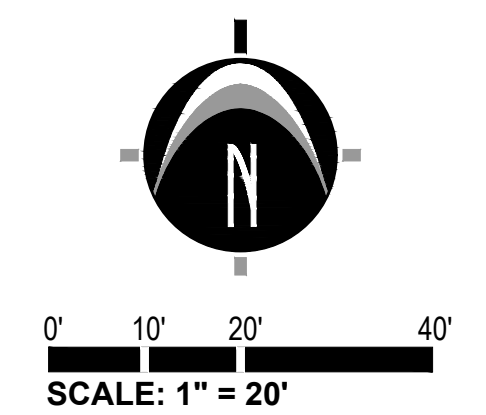
**PREPARED FOR:**  
 Wiggles & Giggles  
 Khaled Mhaisen  
 1131 White Lake Rd.  
 Highland, MI 48356

**REVISIONS:**  
 Title: SITE PLAN SUBMITTAL  
 Drawn: CB/OO Checked: BC Date: 7.1.2024

**WIGGLES & GIGGLES**  
 S.E.S.C. & Grading Plan  
 1131 WHITE LAKE RD  
 PART OF THE SOUTHWEST 1/4 OF SECTION 2, T3N, R7E,  
 HIGHLAND TOWNSHIP, OAKLAND COUNTY, MICHIGAN

**STAMP:**  
 STATE OF MICHIGAN  
 JASON L. VAN RYN  
 License No. 6201054207  
 REGISTERED PROFESSIONAL ENGINEER

**PROJECT NO:**  
 24500220  
**SHEET NO:**  
**C-300**



EXISTING	LEGEND	PROPOSED
Section Corner	Section Corner	EX. GRADE CONTOUR
Iron - Set 1/2" X 1/8" iron riser with NED Cap	Iron - Found as noted	PROP. GRADE CONTOUR
Air Conditioning	Catch Basin - Round	PROP. GRADE ELEV. (CONCRETE)
Catch Basin - Square	Control Point/ Benchmark	PROP. GRADE ELEV. (GRAVEL)
Control Point/ Benchmark	Cable Riser	PROP. GRADE ELEV. (FINISH FLOOR)
Culvert	Culvert	EX. CONCRETE
Deciduous Tree	Deciduous Tree	PROPOSED CONCRETE (STANDARD DUTY)
Electric Meter	Electric Meter	PROPOSED GRAVEL
Evergreen Tree	Evergreen Tree	PROPOSED ASPHALT (STANDARD DUTY)
Faucet	Faucet	PROP. STORM SEWER
Flag	Flag	PROP. SANITARY SEWER
Gas Meter	Gas Meter	PROP. WATERMAIN
Guy Anchor	Guy Anchor	SILT FENCE
Light Pole	Light Pole	
Mailbox	Mailbox	
Post	Post	
Utility Pole	Utility Pole	
Sign	Sign	
Stop Sign	Stop Sign	
Underground Gas Marker	Underground Gas Marker	
Water Well	Water Well	
Fence	Fence	
Gas Line	Gas Line	
Overhead Utility	Overhead Utility	
Sanitary	Sanitary	
Zoning Setback Line	Zoning Setback Line	
Existing Building	Existing Building	
Existing Concrete	Existing Concrete	
Gravel	Gravel	

**RAINGARDEN CALCULATIONS**

**RAIN GARDEN CALCULATIONS**

Design Basis: Oakland County Stormwater Standards, November 2021

**I. Runoff Volume Requirement**

1) Developed area contributing runoff (A) = 0.17 acres

Surface	Area (sf)	C factor	A x C
Building	1,776	0.95	0.227
Gravel	4,709	0.75	0.476
Concrete	532	0.95	0.088
Water Surface	0	1.00	0.000
Semi-impervious	405	0.30	0.016
	7,422		0.79

Weighted Runoff Coefficient (C) =  $(\sum A \times C) / \sum A$  = 0.79

2) Runoff Volume Infiltration Requirement ( $V_{CPVC}$ ) = 633 ft<sup>3</sup>

$V_{wq} = 4,719 \times A \times C$

**II. CPVC Volume Provided**

Proposed BMP	Area (ft <sup>2</sup> )	Runoff Storage Volume (ft <sup>3</sup> )		Ave. Design Infiltration Rate (in/hr)	Subsurface Infiltration Volume (ft <sup>3</sup> )	Total Volume Reduction (ft <sup>3</sup> )
		Surface	Soil			
Porous Pavement w/Infiltration Bed						
Infiltration Basin						
Subsurface Infiltration Bed						
Infiltration Trench						
Rain Garden	487	406	0	1.5	0	406
Rain Garden	353	294	0	1.5	0	294
Dry Well						
Bioswale						
Vegetated Filter Strip						
Green Roof						
<b>Total Volume Reduction Credit by Proposed Structural BMPs (ft<sup>3</sup>) =</b>						<b>700</b>
<b>Runoff Volume Infiltration Requirement (<math>V_{CPVC}</math>) =</b>						<b>633</b>
<b>Total Designed/Provided Infiltration Volume =</b>						<b>111%</b>

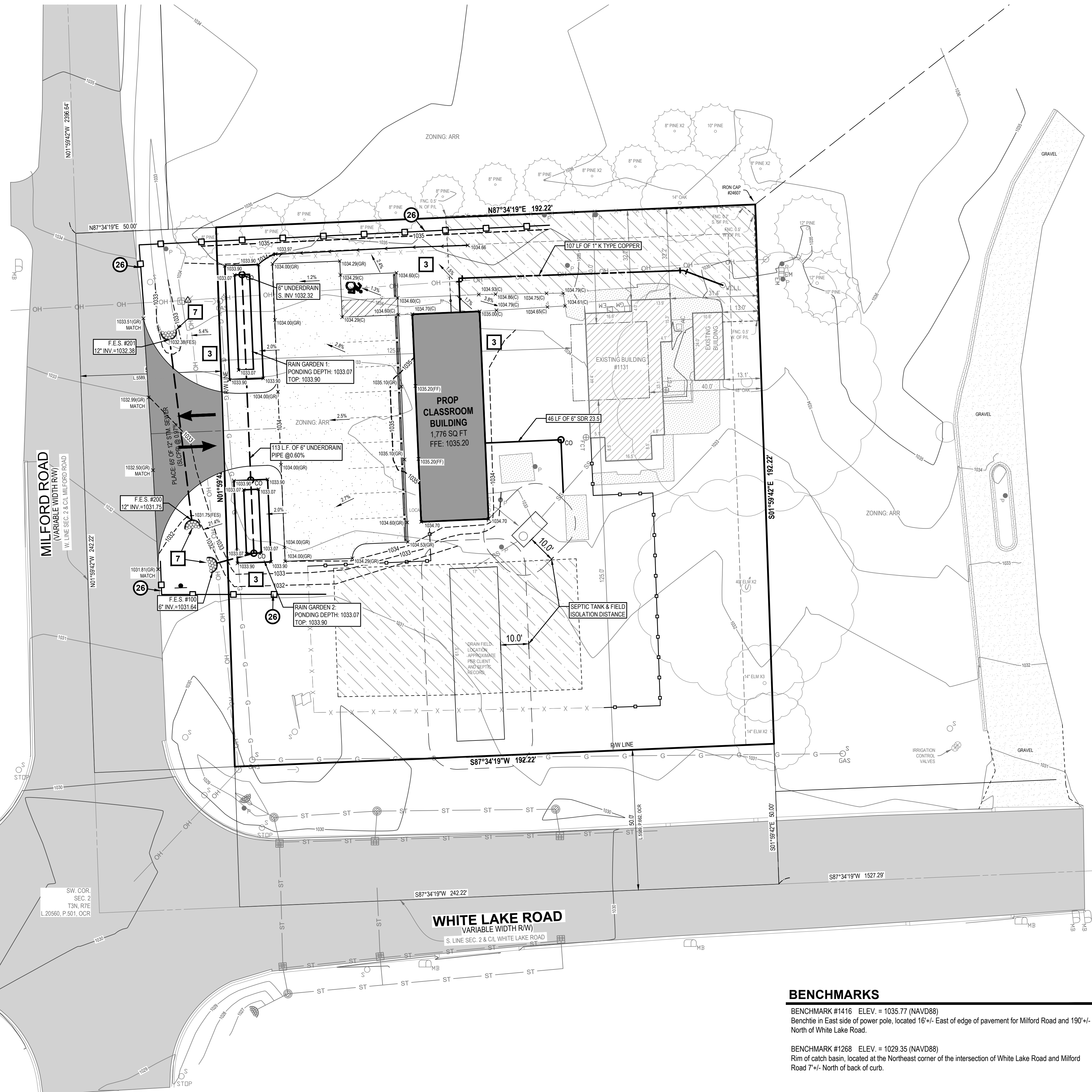
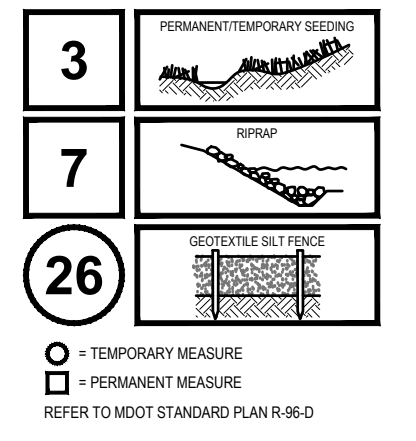
**BENCHMARKS**

BENCHMARK #1416 ELEV. = 1035.77 (NAVD88)  
 Benchline in East side of power pole, located 16'-4" East of edge of pavement for Milford Road and 190'-4" North of White Lake Road.

BENCHMARK #1268 ELEV. = 1029.35 (NAVD88)  
 Rim of catch basin, located at the Northeast corner of the intersection of White Lake Road and Milford Road 7'-4" North of back of curb.

**SOIL EROSION AND SEDIMENTATION CONTROL NOTES**

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" (MARCH 2021) FOR ADDITIONAL INFORMATION.
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SEWC AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SEWC MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.



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To whom it may concern,

In our country, many families must quickly face the decision to go back to work or stay home after their baby arrives. Despite loving my career, the daycare decision still wasn't an easy one for our family. My husband and I researched many daycares and never found one that fit until we visited Wiggles and Giggles. It was an atmosphere unlike any other I've seen. It was filled with laughter and love. This wasn't just a job for the staff. You could tell it was their passion.

We settled into a normal daycare routine and watched our daughters thrive in a caring learning environment with wonderful teachers. Their tireless efforts in creating a warm, inclusive, and engaging environment does not go unnoticed. From the creative crafts that adorn our refrigerator to the happy songs that are hummed around our house, their influence is evident in our daily lives. Wiggles and Giggles not only ensures our children are safe and well taken care of, but also makes sure they are learning in a fun and engaging way.

Wiggles and Giggles was a large reason why my husband and I decided to foster. We knew they would be there to help raise this little one just as they were for our daughters. A few weeks ago we began fostering a 7 week old baby. He is such a joy and blessing to our family! Approving the addition to expand the daycare will help us immensely. It will allow my family to have all three of our children at one location. It will put my mama heart at ease knowing our foster baby is being cared for with the same love and attention that I would give. I am forever grateful to this incredible daycare. To the daycare that has shown unconditional love. To the daycare that has helped shape my girls into the wonderful

young ladies they are today. This is why I believe you should approve the expansion of Wiggles and Giggles. Doing this will not only help my family, but it will give countless little ones the same opportunity to learn in a safe and caring atmosphere.

Sincerely,

Courtney LaMirand

To whom it may concern,

I currently have two children enrolled full time at Wiggles & Giggles/Imagination Station Two, they are 2.5 and 4 yrs old and have been at this daycare since 2021. I now also have a two week old infant who will need full time childcare when I return to work full time as a local emergency physician. To prevent multiple drop offs and/or searching for a new infant daycare, most of which have very long waitlists, I will need to enroll my newborn into our current daycare when he turns 12 weeks old, as I have done with my previous children. Thank you for your time and consideration. Please feel free to reach out with any concerns or questions.

Sincerely,

Erika Roberts, M.D.  
Emergency Medicine  
erikarobertsmd@gmail.com  
734-301-7944

To whom it may concern,

I have had my children enrolled full time with Wiggles and Giggles for the past few years. I am a foster parent and they always tried their best to accommodate me. The only reason I had to leave Wiggles was because the owners at the home center where I had 2 babies enrolled, retired. I currently have 3 children that require daycare and I would love to be back with Wiggles if there is a center for infants/young toddlers. Thank you!

Very Respectfully,

Amanda Boatright

To whom this recommendation will be viewed and taken into consideration,

Our local Wiggles & Giggles of Highland, MI is in the process of having an infants addition added onto their care and services on the current property that they are located at now. Speaking for myself (and possibly other parents) the construction of an infant addition would be more than excellent for multiple reasons: personally, professionally, and most profitable for the Highland community.

Since the COVID pandemic, profit decreased everywhere from businesses to households. Wiggles & Giggles potentially adding infant care to the list of ages for part time or full time care as a licensed facility can be most profitable by creating more employment opportunities and households nearby will have the availability to work as they want while having a peace of mind that their baby is in great hands. Another profitable benefit of having the new addition added is that it could potentially draw in more people to want to settle their permanent home in the Highland area, making or planning families.

Professionally, Wiggles & Giggles checks all the boxes for kindness, smiley teachers (for smiley babies), applying & teaching all the milestones that need to be made by creativity and hands-on learning, having proper procedures in place for extra preventive safety measures per Michigan State guidelines, on top of keeping up with hygiene and cleanliness. With that small list of professionalism, parents are exceptionally willing to enroll their baby/toddler/child at Wiggles.

Personally, I am a Mom to a three year old that has been with Wiggles & Giggles since May 1st, 2023. A little over a year later I have been back to work full time and one of the hardest moves I had to make as a Mom was enrolling my son into a stranger's hands, Aiden being my first child especially. Looking back on my decision on moving forward with Wiggles & Giggles, I would make that same decision now. Aiden shows what he has learned at Wiggles in so many mind-blowing and crazy, cute ways. We have both been easily able to adapt well. My thanks and appreciation is to Wiggles & Giggles Staff and Wiggles & Giggles being there locally. From Holly, MI and growing up in the White Lake and Highland Township's community the local comfort-care and availability is all truly a blessing. Speaking of blessings, Aiden's baby sister is coming soon! With our economy, I will have no choice but to find infant care for her so I can continue to provide for our family. If Wiggles & Giggles has an infant addition added onsite it would be amazing and most convenient having that consistent comfort and available care!

Our local Wiggles & Giggles of Highland, MI is in the process of having an infants addition added onto their care and services on the current property that they are located at now. Speaking for myself (and possibly other parents) the construction of an infant addition would be more than excellent for multiple reasons: personally, professionally, and most profitable for the Highland community.

Thank you for acknowledging this letter. The communities all around look forward to growth.

*Julia Sage, June 2024*

To Whom it May Concern,

My 3-year-old daughter currently attends Wiggles & Giggles. As a working parent, I very much appreciate the hours and flexibility offered there. Our youngest daughter Willow, age 18 months, has to attend a daycare in Waterford. This is due to the surrounding daycares in Highland either not accepting infants and young toddlers, being at full capacity, or offering hours that do not work with my schedule of 7:30-4:30. It would be a lot less stressful to have her daycare located in Highland, which is why I'm hoping that Wiggles & Giggles is approved for the mobile unit so that they can begin accepting children under 18 months.

I have spoken to many of my friends that have similar struggles of finding childcare for their young children. The need is great for additional childcare resources in our area, especially for infants.

We are looking forward to the opportunity to move Willow's childcare to Wiggles & Giggles and to continue her pre-school there. Please consider allowing Wiggles & Giggles to open their mobile unit as soon as possible.

Should you have any questions, please do not hesitate to reach out.

Thank you for your time and consideration,

Chelsea Ferguson

3448 Lido Dr. Highland, MI 48356

(248) 860-5709

RECORD OF ZONING BOARD OF APPEALS MEETING



**Motion:**

Mrs. Michaels made a motion in Case #24-15, parcel # 11-15-276-019, commonly known as 881 Dunleavy Dr, to approve a 25-foot variance from the calculated 37-foot front yard setback to 12-feet provided and a 26-foot 4-inch variance from the calculated 61-foot 4-inch ordinary high-water mark setback to 35-feet provided for the construction of a 160 square foot covered front porch and a 602 square foot uncovered rear deck.

Mr. Hoffman supported the motion.

**Roll Call Vote:** Mr. Hoffman-yes, Mr. Borg-yes, Mr. Eichinger-yes, Mrs. Michaels-yes, Mr. Zeolla-yes, Mr. Charlick-yes, Mr. Gerathy-yes, (7 yes votes). The motion carried and the variance was approved.

**Motion:**

Mrs. Michaels made a motion in Case #24-15, parcel # 11-15-276-019, commonly known as 881 Dunleavy Dr, to approve a Final Decision. Mr. Eichinger supported the motion, and it was approved with a unanimous voice vote.

3. CASE NUMBER: 24-16  
ENFORCEMENT:  
ZONING: ARR – Agricultural and Rural Residential District  
PARCEL #: 11-02-300-002  
PROPERTY ADDRESS: 1131 White Lake Rd  
APPLICANT: Khaled Mheisen  
OWNER: Imagination Station Two, LLC  
VARIANCE REQUESTED: A 56-foot variance from the required 125-foot west front yard setback to 69-feet provided; and  
A 40.7-foot variance from the required 125-foot south front yard setback to 84.3-feet provided; and  
A 6.1-foot variance from the required 40-foot north side yard setback to 33.9-feet provided.  
(Sec. 4.15.)  
This request is for the construction of a 1776 square foot daycare building.  
And  
A 27-foot variance from the required 40-foot east side yard setback to 13-feet provided; and  
A 3-foot variance from the required north side yard setback to 37-feet provided.  
(Sec. 4.15)  
This request is for the construction of a 254 square foot accessory structure.

Chairman Gerathy introduced the case and asked if the applicant was present. The applicant and his representatives stepped up to the podium. Mr. Gerathy asked if the Zoning Administrator had anything to add. Mrs. Littlebear noted that the advertisement and thus the agenda for this case included a variance request for an existing accessory structure. She explained that it has been included because at the time of the advertisement deadline she had still not found evidence of the structure having been issued a permit or a variance. She further explained that she was finally able to locate the original approved site plan for the daycare facility from 1985 that shows that not only was the schoolhouse already existing but the accessory structure was already existing at that time as well. That means that both existing structures are considered legally non-conforming and thus do not require variances or permits at this time.

**Discussion from the Applicant:**

Brandon Chaney, representative for the applicant, and Khaled Mheisen, applicant, were present and went over the case as presented. They noted that the state requires certain safety standards for portable school buildings and they searched among multiple states before they found one that met those standards and was in good shape.

**Discussion from the Public:**

Mr. Borg read into the record a letter of support from Courtney LaMirand, a letter of support from Erika Roberts, a letter of support from Amanda Boatright, a letter of support from Chelsea Ferguson, and a letter of support from Julia Sage.

**Discussion from the Board:**

Mr. Borg asked how many employees and how many children are on site at one time. The applicant stated that there are either 5 or 6 employees and no more than 30 children on site at a time. Mr. Borg stated that it seemed that there is not enough proposed parking provided and was concerned about how emergency vehicles would access the site if necessary.

Mr. Chaney stated that the Fire Marshal has asked that they keep the existing entrance on White Lake Rd for emergency access to the site from both roads.

Mr. Borg asked the Zoning Administrator if she was aware of any traffic concerns or issues created by the daycare at this busy intersection. Mrs. Littlebear stated that she has not been made aware of any traffic issues created by the daycare. She stated that she believes that this is because the daycare has staggered drop off and pick up times unlike a school.

Mr. Borg asked how many more students the new building would add to the site. Mr. Chaney stated that they would increase the number of children to 60 at a time.

Mr. Charlick relayed to the Board, the August 1, 2024, Planning Commission meeting discussion with regards to this project. He explained that the Commission members agreed that expansion of the use was a good idea but that the Special Use had been recommended for approval with conditions. The primary condition is that the proposed structure be made to look more like a residential building so as to fit in with the character of the rural residential neighborhood but also that other issues like vehicle circulation, site lighting, and landscaping be addressed as well.

Mr. Charlick stated that the Planning Commission did not have a look at the original approved site plan from 1985 and noted that the second building that was approved at that time was actually going to be closer to the roads than the currently proposed structure. He asked the Zoning Administrator for any insight. Mrs. Littlebear stated that there was indeed a second structure approved in 1985 but that the property owner never followed through with the construction and approved site plans expire after two years if the approved construction has not had significant progress completed and approved.

The applicant stated that after the Planning Commission meeting, he directed his architect to come up with a new concept for the proposed structure that would reflect what the Planning Commission wanted, and he's directed his engineers to address the other issues for site plan approval. That new information will be presented at the next Planning Commission meeting.

Mr. Borg, Mrs. Michaels, Mr. Eichinger, Mr. Gerathy, and Mr. Hoffman all stated that they believed that the expansion of the use is appropriate and that they are not necessarily opposed to granting variances for a new building but none of them were comfortable granting variances without seeing renderings of the revised proposed structure that will be presented to the Planning Commission at the beginning of September.

Mr. Zeolla and Mr. Borg suggested that the case be tabled until the new renderings were ready for review.

Mrs. Michaels stated that she feels that the proposed structure is very unattractive and that she would vote no to this request because it does not fit the character of the neighborhood. She stated that she feels that there are two options before the ZBA. She felt that they could either table the case so as to wait for new renderings or approve the setbacks with conditions that the proposed structure be made to look like it would fit the aesthetic

of the neighborhood. Mrs. Michaels asked when the next Planning Commission meeting was. Mrs. Littlebear stated that the next Planning Commission meeting was Thursday, September 5, 2024, then they would go before the Board of Trustees on Monday, September 9, 2024, and then next ZBA meeting after that was not until Wednesday, September 18, 2024.

The applicant stated that the renderings should be ready by next week, so Mrs. Michaels suggested that the case be tabled to the August 21, 2024 ZBA meeting.

The other Board members stated that they felt comfortable with that suggestion.

**Motion:**

Mrs. Michaels made a motion in Case #24-16, parcel # 11-02-300-002, commonly known as 1131 White Lake Rd, to table the case to the August 21, 2024 meeting. Mr. Hoffman supported the motion, and it carried with a unanimous voice vote.

**CALL TO THE PUBLIC:**

No public comment was offered.

**MINUTES:**

Mr. Borg made a motion to approve the minutes of July 17, 2024, as presented. Mr. Hoffman supported the motion, and it carried with a unanimous voice vote.

**DISCUSSION:**

Mr. Hoffman congratulated Mr. Charlick on winning a Board of Trustee seat during the primary election last night. Mr. Charlick and Mr. Gerathy congratulated Mr. Hoffman on winning a County Commissioner seat during the primary election last night.

**ADJOURN:**

At 8:39 p.m., Mrs. Michaels made a motion to adjourn the meeting. Mr. Borg supported the motion, and it carried with a unanimous voice vote.

Respectfully submitted,

Michael Zeolla  
MZ/kpl

CHARTER TOWNSHIP OF HIGHLAND  
ZONING BOARD OF APPEALS  
APPROVED MINUTES  
August 21, 2024

The meeting was held at Highland Township Auditorium, 205 N. John St, Highland, MI, 48357.

The meeting was called to order at 7:30 p.m.

**ROLL CALL:**

David Gerathy, Chairman  
Michael Borg, Vice Chairman  
Anthony Raimondo, Secretary  
Grant Charlick  
Peter Eichinger  
Robert Hoffman  
John Jickling  
(Alternate) Mary Michaels  
(Alternate) Michael Zeolla

Kariline P. Littlebear, Zoning Administrator

Visitors: 4

Chairman Gerathy welcomed the public and reviewed the procedures for addressing the Board. Four affirmative votes are required to approve a variance. If a variance is approved, the applicant has one year to act upon the variance. The alternate members, Mary Michaels and Michael Zeolla, will participate in this meeting because the only case tonight was table from the previous meeting in which they both participated in the absence of two of the regular members.

**OLD BUSINESS:**

**Motion:**

Mrs. Michaels made a motion to remove Case #24-16 from the table. Mr. Hoffman supported the motion, and it carried with a unanimous voice vote.

- CASE NUMBER: 24-16  
ENFORCEMENT: **Tabled from 08/07/24**  
ZONING: ARR – Agricultural and Rural Residential District  
PARCEL #: 11-02-300-002  
PROPERTY ADDRESS: 1131 White Lake Rd  
APPLICANT: Khaled Mheisen  
OWNER: Imagination Station Two, LLC  
VARIANCE REQUESTED: A 56-foot variance from the required 125-foot west front yard setback to 69-feet provided; and  
A 40.7-foot variance from the required 125-foot south front yard setback to 84.3-feet provided; and  
A 6.1-foot variance from the required 40-foot north side yard setback to 33.9-feet provided.  
(Sec. 4.15.)  
This request is for the construction of a 1776 square foot daycare building.

Chairman Gerathy introduced the case and asked if the applicant was present. The applicant and his representatives stepped up to the podium. Mr. Gerathy asked if the Zoning Administrator had anything to add. Mrs. Littlebear stated that she had nothing new to add.

**Discussion from the Applicant:**

Brandon Chaney with Nederveld Engineering representing the applicant, Cassandra Westfield, manager of Wiggles & Giggles, and Khaled Mheisen, applicant and owner of Wiggles & Giggles, were present and went over the revised elevations for the proposed daycare building.

**Discussion from the Public:**

Jeff Kaiser, Pettibone Lake Rd, Highland, MI, spoke in favor of this request. He noted that there is a shortage of daycare facilities in the State of Michigan and that daycare facilities have a lot of oversight from state agencies. He stated that his mother had run a daycare for many years, and he took over when she retired and ran it himself for many years. He stated that he had cared for children whose grandparents had been children at the daycare when his mother started it. He stated that Wiggles & Giggles was a part of the community for several decades now and to put unreasonable restrictions on them would be a detriment to the daycare but also to the community as a whole.

**Discussion from the Board:**

Mr. Hoffman asked for clarification regarding the modular trailer and if it would be on a slab foundation. Mr. Chaney explained that it will be on a slab foundation, and it would still be the same proposed structure from the original submission but with proposed siding and a pitched roof with an overhang to be added in order to make the structure match the existing building and fit with the neighborhood as had been requested by the Zoning Board of Appeals and the Planning Commission.

Mr. Charlick asked about the revised site plan and parking lot. Mr. Chaney explained that they redesign the parking lot to keep the existing curb cuts and added two parking spaces with a dedicated space for the daycare's shuttlebus. Mr. Charlick stated that he liked this site plan proposal much better.

Mr. Zeolla stated that this proposal is a great improvement over the last plan.

Mrs. Michaels asked the applicant if all of the work will be finished before occupancy of the new structure and the applicant stated that her assumption was correct, and they would have all of the work on the site and structure completed before the new structure is occupied.

Mr. Borg stated that question 3 on the worksheet was answered no by the applicant but he believes that this request is of a personal nature as it is related to the financial desire to expand the business. He noted that the ZBA are not supposed to take financial concerns into account when coming to a decision. Mr. Borg then stated that if an addition was constructed onto the existing building instead of constructing a new building, then the variance requests may be minimized. Mr. Mheisen stated that it would be best to build a new structure instead of building an addition to the existing building because it would better provide for separate play spaces for the different ages groups and create better foot traffic flow for parents.

Mrs. Michaels agreed with the applicant noting that as a mother she is more comfortable with the idea of the newborns being separated from the bigger kids because it would be safer for all of the children.

Mr. Zeolla asked if the floor plan of the revised structure has changed from the original proposal. Mr. Chaney stated that the floor plan will stay the same as the original proposal.

Mr. Eichinger and Mrs. Michaels asked for clarification regarding the age range of children currently enrolled. Ms. Westfield explained that the current building is 2 ½ years of age through school age for the after-school program. She further explained that if they are approved for the new building then the new building would be for newborns up to 2 ½ years old and the existing building would then be for 3 years through school age.

Mr. Charlick noted that the original site plan approval included a second building on the site and asked if there had been a variance granted in 1985 at the time of the original special use approval for the creation of

the daycare site. Mrs. Littlebear said no and explained that the zoning ordinance had been so different then that a variance had not been needed at that time.

Mr. Charlick further noted that under the 1985 site plan approval, the second structure was approved to be even closer to N. Milford Rd than this current proposal.

Mr. Jickling stated that he believes that the practical difficulty is self-created, that the lot is being overbuilt, and that the applicant could find other parcels to expand the business on noting that there are many empty buildings. He stated that the renderings show the doors on the building to be at grade level. Mr. Chaney stated that the rendering does not reflect the single step that will most likely be constructed. Mr. Jickling stated that he felt that the renderings are misleading. Mr. Chaney stated that the total size of the building envelope on this site is only 700 square feet and noted that any sized expansion on this site would necessitate the approval of a variance because the lot is so undersized for its zoning district. Mr. Mheisen stated that it is important to expand on this site instead of moving because the parents in this community need to be able to have one location for their different aged children to be cared for.

Mr. Raimondo asked if the Planning Commission had discussed at the requirement for sidewalks on new projects. Mr. Charlick stated that it doesn't seem to be something that the Planning Commission is concerned with because it is a rural residential area that doesn't have sidewalks nor is likely to have sidewalks in the future. They were focused more on pedestrian traffic on the site itself connecting each parking lot and both buildings. Ms. Westfield stated that currently the parking lot from White Lake Rd is staff parking and there is a sidewalk from that lot to the existing building.

Mrs. Michaels noted that there will still be approvals needed from other agencies that have the authority over the differing aspects of a childcare facility and road access.

Mr. Borg asked if it would be possible to ask for a rezoning of the property to reduce the necessity for a variance. Mrs. Littlebear explained that because the property is not only zoned residential but is also surrounded by residential zoning and as such the property could not be rezoned to a commercial or industrial zoning. This type of rezoning is often called "spot zoning" and is not allowed.

Mr. Borg offered the following Facts and Findings for this case.

**Facts and Findings:**

The main structure could be renovated, and an addition built instead of a separate building thus minimizing the variances requested.

The Fire Marshal has requested that the existing White Lake Rd entrance remain to serve as an emergency access.

A special use approval was granted for a childcare facility in 1985 and has been running successfully as childcare facilities are a need for the community.

The subject parcel has a 5-acre minimum zoning but is approximately 0.85 acres thus making this parcel undersized for its zoning district.

The parcel is a corner lot that fronts two major thoroughfares thus having even larger setback requirements than an average front yard for this district.

The proposed structure is in keeping with the characteristics of the surrounding residential neighborhood as recommended by the Planning Commission.

This request will not have any negative impacts on the health, safety, or welfare of this community.

**Motion:**

Mr. Hoffman made a motion in Case #24-16, parcel # 11-02-300-002, commonly known as 1131 White Lake Rd, to approve a 56-foot variance from the required 125-foot west front yard setback to 69-feet provided, a 40.7-foot variance from the required 125-foot south front yard setback to 84.3-feet provided and a 6.1-foot variance from the required 40-foot north side yard setback to 33.9-feet provided for the construction of a 1776 square foot daycare building. Mr. Zeolla supported the motion.

**Roll Call Vote:** Mr. Hoffman-yes, Mr. Borg-no, Mr. Eichinger-yes, Mrs. Michaels-yes, Mr. Zeolla-yes, Mr. Charlick-yes, Mr. Gerathy-yes, (6 yes votes, 1 no vote). The motion carried and the variance was approved.





# MEMORANDUM

To: Zoning Board of Appeals  
From: Kariline P. Littlebear, Zoning Administrator  
Date: August 21, 2024, tabled from 08/07/24  
Re: ZBA24-16  
1131 White Lake Rd  
11-02-300-002  
Applicant: Khaled Mheisen  
Owner: Imagination Station Two LLC

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The subject parcel is zoned ARR – Agricultural and Rural Residential District (5 acres minimum parcels). The total parcel size is approximately 0.85 acres (or approx. 37,000 square feet). This parcel is a corner lot on two major thoroughfares and does not abut another corner lot.

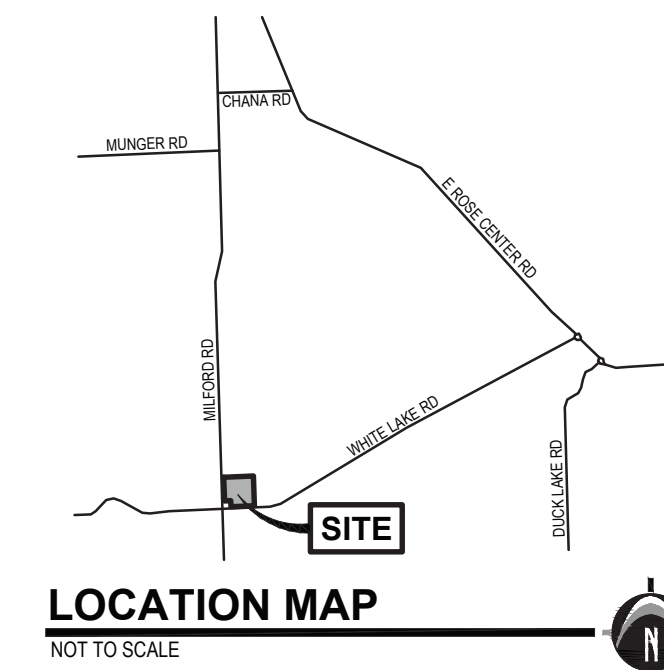
The required setbacks for this parcel are as follows:  
Front yard (N Milford Rd): 125 ft  
Front yard (White Lake Rd): 125 ft  
Side yards (north & east lot lines): 40 ft

This request is for a 56-foot variance from the required 125-foot west front yard setback to 69-feet provided and a 40.7-foot variance from the required 125-foot south front yard setback to 84.3-feet provided and a 6.1-foot variance from the required 40-foot north side yard setback to 33.9-feet provided for the construction of a 1776 square foot classroom building.

This request is for a variance from Section 4.15 of the Zoning Ordinance.

This request was tabled from the August 7, 2024 Zoning Board of Appeals (ZBA) meeting. The applicant has provided an updated site plan and renderings of the proposed structure per the request of the ZBA and the Planning Commission. Staff has supplied assessing records, a zoning map, an aerial approximation of the property, and Section 4.15. of the Zoning Ordinance.

Both the original and the updated epackets are being presented.



**PREPARED FOR:**  
 Wiggles & Giggles  
 Khaled Mhaisen

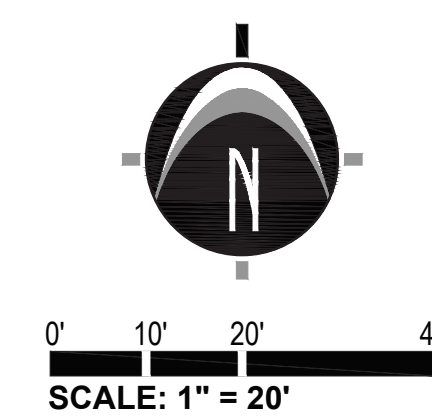
1131 White Lake Rd.  
 Highland, MI 48356

**REVISIONS:**

Title: SITE PLAN SUBMITTAL  
 Drawn: CB00 Checked: BC Date: 7.1.2024  
 Title: REVISED LAYOUT PLAN  
 Drawn: CB00 Checked: BC Date: 8.16.2024

**LEGEND**

	EXISTING BITUMINOUS
	EXISTING CONCRETE
	EXISTING GRAVEL
	PROPOSED BITUMINOUS (STANDARD DUTY)
	PROPOSED CONCRETE (STANDARD DUTY)
	PROPOSED GRAVEL



**GENERAL NOTES**

- ZONING OF PROPERTY: ARR - AGRICULTURAL & RURAL RESIDENTIAL  
 ARR ZONING REQUIREMENTS  
 A) MINIMUM LOT AREA = 5 ACRES (217,800 SQ. FT.)  
 B) MINIMUM LOT WIDTH = 330 FT.  
 C) MAXIMUM BUILDING HEIGHT = 28 FT OR 2 STORIES  
 D) MAXIMUM LOT COVERAGE = 10%  
 SETBACKS  
 A) FRONT YARD = 125 FT. (FRONTING MAJOR THOROUGHFARE)  
 B) SIDE YARD = 40 FT.
- SUMMARY OF LAND USE:  
 A) TOTAL ACREAGE = 0.85 ACRES (36,946 SQ. FT.) (EXCLUDING R.O.W.)  
 B) TOTAL BUILDABLE AREA = 0.02 ACRES (740.6 SQ. FT.)  
 C) AREA OF PROPOSED BUILDING = 1,776 SQ. FT.  
 D) AREA OF EXISTING BUILDING = 1,414 SQ. FT.  
 E) LOT COVERAGE = 8.6%  
 F) ZONING OF PARCELS TO SOUTH AND WEST = R-1.5 & ARR  
 ZONING OF PARCELS TO NORTH AND EAST = ARR  
 G) PROPOSED SETBACK ENCROACHMENTS:  
 FRONT SETBACK (MILFORD RD) = 56.0 FT.  
 FRONT SETBACK (WHITE LAKE RD) = 40.7 FT.  
 SIDE SETBACK (NORTH) = 6.1 FT.  
 \*A VARIANCE APPLICATION FOR THE PROPOSED ENCROACHMENTS HAS BEEN SUBMITTED TO THE ZBA ON 7/2/2024
- PARKING REQUIREMENTS:  
 A) MINIMUM REQUIRED SPACE PER TOWNSHIP = 9'x20' (24' AISLE)  
 B) TYPICAL PARKING SPACE PROVIDED = 9'x20' (24' AISLE)  
 C) TYPICAL VAN ACCESSIBLE PARKING SPACE = 11'x18' WITH 5' AISLE  
 D) TYPICAL CAR ACCESSIBLE PARKING SPACE = 8'x18' WITH 5' AISLE  
 E) NUMBER OF SPACES REQUIRED = 10 (BASED ON HIGHLAND REQUIREMENTS - 2 SPACES PLUS 1 ADDITIONAL SPACE FOR EACH CHILDREN = 60 CHILDREN / 6 = 8 SPACES + 2 SPACES = 10 SPACES)  
 F) NUMBER OF SPACES PROVIDED = 12
- THIS PROJECT IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN, BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAPS
- BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
- CONTRACTOR TO FIELD VERIFY ALL INVERTS.
- ALL LIGHTING SHALL BE SHIELDED FROM ALL ADJACENT PROPERTIES. PROPOSED LIGHTING SHALL CONSIST OF WALL MOUNTED LIGHTS AND LIGHT POLES, BOTH FITTED WITH DOWN CAST TYPE FIXTURES TO BE SPECIFIED BY LIGHTING CONSULTANT.
- THE PERMANENT PARCEL NUMBER FOR THE SITE IS 11-02-300-002. THE ADDRESS OF THE PROPERTY IS 1131 WHITE LAKE RD.
- NO FENCES OR WALLS OTHER THAN WHAT IS SHOWN ON THE SITE PLAN ARE PROPOSED AT THIS TIME.

**ZONED ARR**  
 HIGHLAND TOWNSHIP  
 11-03-400-303  
 5241 N MILFORD RD

**ZONED ARR**  
 HIGHLAND TOWNSHIP  
 11-03-400-004  
 5181 N MILFORD RD

**ZONED ARR**  
 HIGHLAND TOWNSHIP  
 11-02-300-018  
 1215 WHITE LAKE RD

**ZONED R1.5**  
 HIGHLAND TOWNSHIP  
 11-11-101-008  
 1124 WHITE LAKE RD

**ZONED R1.5**  
 HIGHLAND TOWNSHIP  
 11-11-101-008  
 1150 WHITE LAKE RD

**811** Know what's below.  
 CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:  
 EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

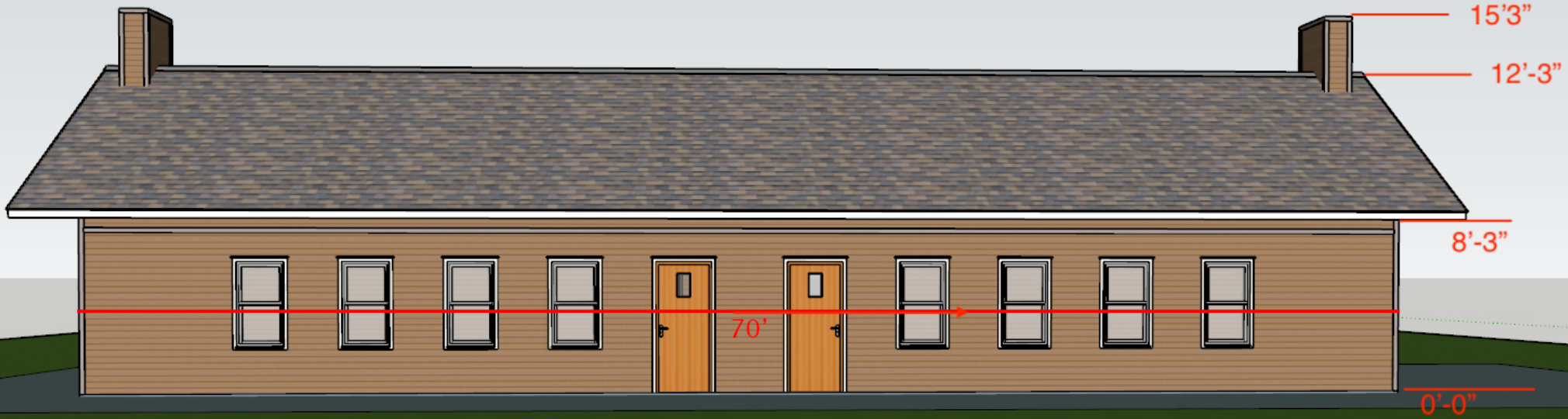
**WIGGLES & GIGGLES**  
 Site Layout Plan  
 1131 WHITE LAKE RD  
 PART OF THE SOUTHWEST 1/4 OF SECTION 2, T3N, R7E,  
 HIGHLAND TOWNSHIP, OKLAND COUNTY, MICHIGAN

**STAMP:**

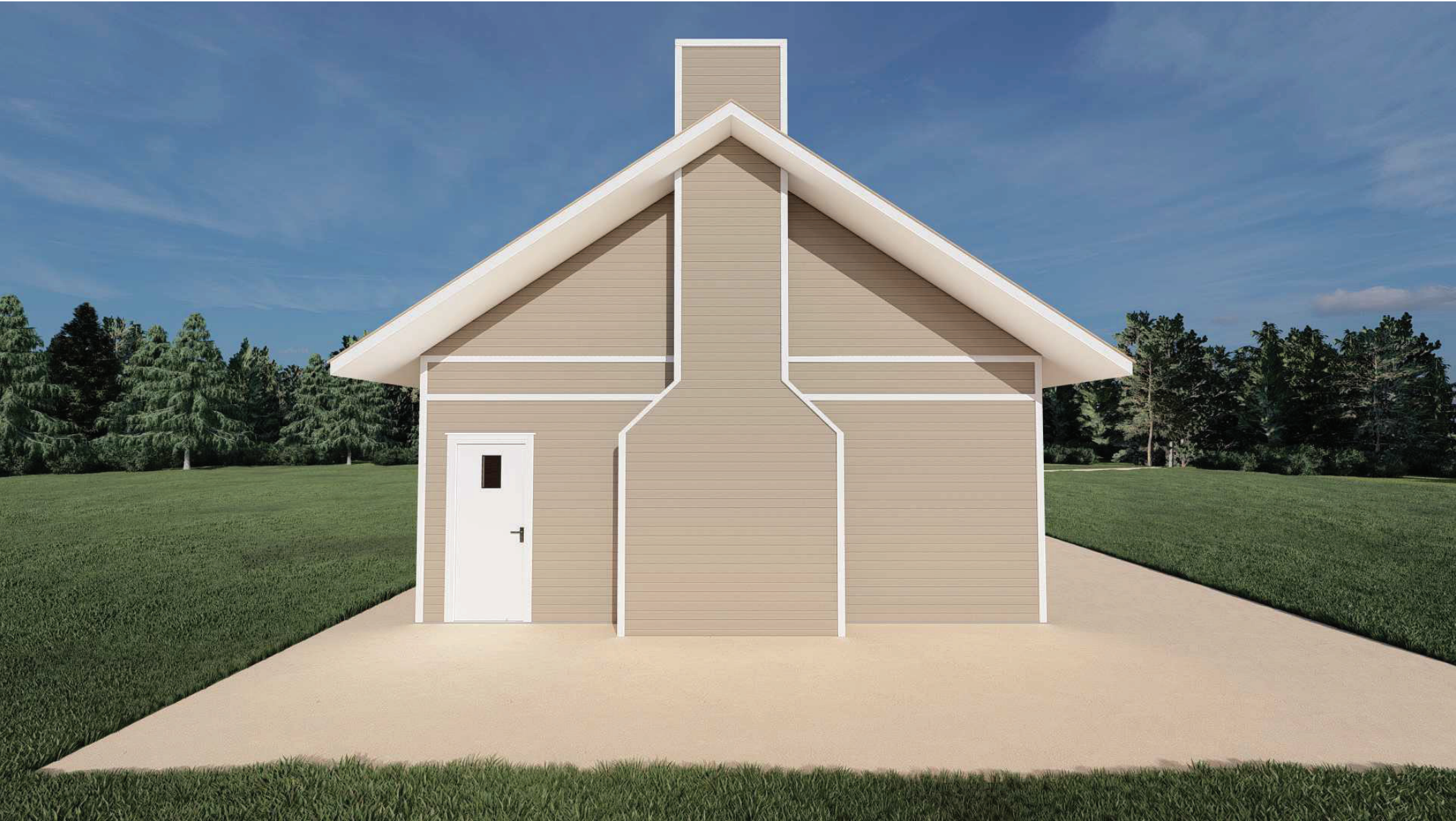
**PROJECT NO:**  
 24500224

**SHEET NO:**  
**C-205**





EAST ELEVATION



SOUTH PERSPECTIVE





WEST PERSPECTIVE





SE PERSPECTIVE





NW PERSPECTIVE





NORTH PERSPECTIVE





EAST PERSPECTIVE





NE PERSPECTIVE



## **Charter Township of Highland - Fire Department**

**1600 W. Highland Rd.**

**Highland, MI 48357**

**(248)887-9050**

TO: Highland Township Board  
FROM: Nick George, Fire Chief  
SUBJECT: Purchase of Stryker Equipment  
DATE: September 4, 2024

With the purchase of our new ambulance on the way, arriving next year, I wanted to request the purchase of the EMS equipment needed to go with the ambulance. As with everything in the fire service the prices are expected to increase as early as October 1<sup>st</sup>. If we order everything now, we can lock into prices before the increase.

All the equipment for this purchase is from Stryker. They are the vetted dealer that provides our stretchers, stair chairs, cardiac monitors, and Lucas devise. Total cost for all these products with protection maintenance plans is \$196,241.46. We can break this up into 2 payments allowing me to use the remaining of this years Capital budget and pay the second payment with next years. A copy of the quote will be in the packet.

Thank you and let me know any questions you may have!



## New Truck Powered System

Quote Number: 10971007

Remit to: Stryker Sales, LLC  
21343 NETWORK PLACE  
CHICAGO IL 60673-1213  
USA

Version: 1

Prepared For: HIGHLAND TWP FIRE DEPT

Rep: Jamie Smith

Attn:

Email: jamie.smith@stryker.com

Phone Number:

Mobile: (269) 303-1257

Quote Date: 08/14/2024

Expiration Date: 9/27/2024

Contract Start: 08/14/2024

Contract End: 08/13/2025

### Delivery Address

### Sold To - Shipping

### Bill To Account

Name:	HIGHLAND TWP FIRE DEPT	Name:	HIGHLAND TWP FIRE DEPT	Name:	HIGHLAND TWP
Account #:	20020449	Account #:	20020449	Account #:	20241666
Address:	1600 W HIGHLAND RD HIGHLAND Michigan 48357-4302	Address:	1600 W HIGHLAND RD HIGHLAND Michigan 48357-4302	Address:	205 N JOHN ST HIGHLAND Michigan 48357-4531

### Equipment Products:

#	Product	Description	U/M	Qty	Sell Price	Total
1.0	650705550001	6507 POWER PRO 2, HIGH CONFIG	PCE	1	\$33,888.40	\$33,888.40
2.0	639005550001	MTS POWER LOAD	PCE	1	\$31,263.05	\$31,263.05
3.0	650700450301	ASSEMBLY, BATTERY CHARGER	PCE	1	\$1,170.75	\$1,170.75
4.0	650700450102	ASSEMBLY, POWER CORD, NORTH AM	PCE	1	\$27.00	\$27.00
5.0	650707000002	KIT, ALVARIUM BATTERY, SERVICE	PCE	1	\$818.25	\$818.25
6.0	625705550002	6257 XPEDITION HIGH CONFIG	PCE	1	\$15,520.05	\$15,520.05
9.0	99576-000063	LUCAS 3, v3.1 Chest Compression System, Includes Hard Shell Case, Slim Back Plate, (2) Patient Straps, (1) Stabilization Strap, (2) Suction Cups, (1) Rechargeable Battery and Instructions for use With Each Device	PCE	1	\$18,213.65	\$18,213.65
10.0	11576-000060	LUCAS Desk-Top Battery Charger	PCE	1	\$1,166.25	\$1,166.25
11.0	11576-000071	LUCAS External Power Supply	PCE	1	\$369.00	\$369.00
12.0	11576-000080	LUCAS 3 Battery - Dark Grey - Rechargeable LiPo	PCE	1	\$693.75	\$693.75
13.0	11576-000047	LUCAS Disposable Suction Cup (12 pack)	PK	1	\$496.50	\$496.50
14.0	70335-000042	LP35,EN-US,MAS-SP/CO,MED-CO2,SUN-NIBP,12L,WIFI/CELL/LN/CPRIN,STD,BT	PCE	1	\$48,830.00	\$48,830.00
15.0	11335-000001	BATTERY, LI-ION, WITH IFU, LP35	PCE	1	\$750.00	\$750.00
16.0	11140-000102	CHARGER, BATTERY, LP35	PCE	1	\$2,250.00	\$2,250.00
17.0	41335-000001	SHIP KIT, POWER SUPPLY, LP35	PCE	1	\$1,875.00	\$1,875.00





## New Truck Powered System

Quote Number: 10971007

Remit to: Stryker Sales, LLC  
21343 NETWORK PLACE  
CHICAGO IL 60673-1213  
USA

Version: 1

Prepared For: HIGHLAND TWP FIRE DEPT  
Attn:

Rep: Jamie Smith  
Email: jamie.smith@stryker.com

Phone Number:  
Mobile: (269) 303-1257

Quote Date: 08/14/2024

Expiration Date: 9/27/2024

Contract Start: 08/14/2024

Contract End: 08/13/2025

#	Product	Description	U/M	Qty	Sell Price	Total
18.0	11996-000519	LNCS-II rainbow DCI 8? SpCO, Adult Reusable Sensor	PCE	1	\$644.25	\$644.25
19.0	11996-000520	LNCS-II rainbow DCIP 8? SpCO, Pediatric Reusable Sensor	PCE	1	\$708.75	\$708.75
20.0	11260-000073	KIT, SHOULDER STRAP, LP35	PCE	1	\$56.25	\$56.25
21.0	11335-000008	KIT, STORAGE BAGS, LP35	PCE	1	\$450.00	\$450.00
22.0	11111-000041	ASSY, CABLE, ECG, 15 LEAD, 3 WIRE PRECOR	PCE	1	\$90.00	\$90.00
23.0	11996-000536	PATIENT SIMULATOR, ECG,15-LEAD	PCE	1	\$477.00	\$477.00
Equipment Total:						\$159,757.90

### Trade In Credit:

Product	Description	Qty	Credit Ea.	Total Credit
TR-SMCOT-PL	TRADE-IN-STRYKER MANUAL COT TOWARDS PURCHASE OF POWERLOAD	1	-\$500.00	-\$500.00
TR-LP15H-LP35	TRADE IN LP15 V4 HIGH FOR LP35	1	-\$9,500.00	-\$9,500.00

### ProCare Products:

#	Product	Description	Qty	Sell Price	Total
8.1	POWERPRO-PROCARE	Power Pro 2 for 6507 POWER PRO 2, HIGH CONFIG 08/15/2024 - 08/14/2029 Parts, Labor, Travel Preventative Maintenance Batteries Service Smart Equip. Management	1	\$9,145.00	\$9,145.00
8.2	POWERLOAD-PROCARE	Power Load for MTS POWER LOAD 08/15/2024 - 08/14/2030 Parts, Labor, Travel Preventative Maintenance Batteries Service	1	\$13,638.00	\$13,638.00
8.3	XPEDITION-PROCARE	Xpedition Stair Chair for 6257 XPEDITION HIGH CONFIG 08/15/2024 - 08/14/2029 Parts, Labor, Travel Preventative Maintenance Batteries Service	1	\$5,750.00	\$5,750.00



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#	Product	Description	Qty	Sell Price	Total
25.1	LUCAS-FLD-PROCARE	LUCAS 3, 3.1 for LUCAS 3, v3.1 Chest Compression System, Includes Hard Shell Case, Slim Back Plate, (2) Patient Straps, (1) Stabilization Strap, (2) Suction Cups, (1) Rechargeable Battery and Instructions for use With Each Device  08/15/2024 - 08/14/2028  Parts, Labor, Travel Preventative Maintenance Batteries Service	1	\$5,844.60	\$5,844.60
25.2	LIFEPK35-FLD-PRO	Lifepak35 for LP35,EN-US,MAS-SP/CO,MED-CO2,SUN-NIBP,12L,WIFI/CELL/LN/CPRIN,STD,BT  08/15/2024 - 08/14/2028  Parts, Labor, Travel Preventative Maintenance Batteries Service	1	\$7,877.80	\$7,877.80
ProCare Total:					\$42,255.40

### Data Solutions:

#	Product	Description	Qty	Sell Price	Total
24.0	81000001	EMS LIFENET PRO TIER 1	1	\$475.00	\$1,900.00
Data Solutions Total:					\$1,900.00

### Price Totals:

Estimated Sales Tax (0.000%):	\$0.00
Freight/Shipping:	\$2,328.16
<b>Grand Total:</b>	<b>\$196,241.46</b>

Prices: In effect for 30 days

Terms: Net 30 Days



## New Truck Powered System

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USA

Version: 1

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Phone Number:

Mobile: (269) 303-1257

Quote Date: 08/14/2024

Contract Start: 08/14/2024

Contract End: 08/13/2025

### Terms and Conditions:

Deal Consummation: This is a quote and not a commitment. This quote is subject to final credit, pricing, and documentation approval. Legal documentation must be signed before your equipment can be delivered. Documentation will be provided upon completion of our review process and your selection of a payment schedule. Confidentiality Notice: Recipient will not disclose to any third party the terms of this quote or any other information, including any pricing or discounts, offered to be provided by Stryker to Recipient in connection with this quote, without Stryker's prior written approval, except as may be requested by law or by lawful order of any applicable government agency. A copy of Stryker Medical's terms and conditions can be found at [https://techweb.stryker.com/Terms\\_Conditions/index.html](https://techweb.stryker.com/Terms_Conditions/index.html).

ENDING APPROVAL



**RESOLUTION #24-25: TO ESTABLISH MILLAGE RATES  
FOR 2025 BUDGET**

At a regular meeting of the Charter Township of Highland Board of Trustees held on the 9<sup>th</sup> day of September 2024.

Present: Rick A. Hamill, Tami Flowers, Jennifer Frederick, Judy Cooper, Brian Howe, Beth Lewis, and Joseph M. Salvia

Absent: None

The following resolution was offered by Ms. Frederick and supported by Mrs. Lewis:

**WHEREAS** the proposed millage rates for 2024 tax bill are as follows:

0.6000 for the General Operating millage  
1.8457 for the Fire Operating millage  
0.9639 for the Fire Capital millage  
3.3162 for the Police Operating millage  
1.5599 for the Library Operating millage

**WHEREAS** a public hearing on the 2025 Budget will be held on a date to be determined.

**NOW THEREFORE BE IT RESOLVED THAT** the millage rates for the 2025 Budget be approved as presented in the attached 2024 Tax Rate Request Form L-4029.

Yeas: Hamill, Flowers, Frederick, Cooper, Howe, Lewis, and Salvia  
Nays: None  
Abstain: None

**RESOLUTION DECLARED ADOPTED**

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Rick A. Hamill, Supervisor

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Tami Flowers MiPMC, Clerk

I hereby certify that the above is a true and a complete copy of the resolution, the original of which is on file in my office, by the Charter Township of Highland Board of Trustees of the County of Oakland, State of Michigan on the 9th of September 2024.

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Tami Flowers MiPMC, Clerk

**11. Adjourn**

**Time:** \_\_\_\_\_