



Memorandum

To: Board of Trustees
From: Elizabeth J Corwin, PE, AIPC; Planning Director
Date: September 4, 2024
Re: URSA 24-08 Consumers Energy Highland City Gate
Applicant and Property Owner: Consumers Energy
1160 W. Livingston
PIN 11-21-451-007

The project before you is a site plan review to renovate the existing Consumer's Energy "City Gate" at 1160 W Livingston. A review of aerial photographs indicates the site was established prior to 1963. The use of the site is considered "an essential service" and are permitted in any zoning district. The standard for essential services is conformance to the extent practicable but not in conflict with the nature of the components of the utility proposed (see Section 8.18)

Consumers Energy proposes to replace the structure, equipment and fencing at this site, expanding the gravel surfaced area within the fence and improving site circulation within the fenced area. The new footprint of the site will displace a neighbor's chicken coop and driveway that have been allowed license to use the site in exchange for lawn maintenance. Some encroachment will be allowed to remain, which has been negotiated with the neighbor.

The newly renovated site will feature concrete approaches at Livingston Road. Existing drainage patterns will be maintained. The site plan has already been reviewed by the Road Commission for Oakland County and the permit has been provided for your packet

The new building is a considerably larger steel building, 40 feet by 52 feet with 11 foot sidewalls and a 3/12 pitch steel roof. There is one doublewide equipment door on the east face of the building and man-doors on both the east and west face of the building. There are no windows, nor openings of any sort on the north and south faces of the building, which would be parallel to Livingston Road. The scale of the building is compatible with the residential neighborhood, and the placement of the building on the site respects required setbacks. You may wish to discuss finish and materials to satisfy yourselves that the building is compatible with its surroundings.

The fencing detail on the plan is not consistent with discussions between staff and Consumer's Energy. Staff has been told that the fence height will be limited to 6 feet with no barbed wire, consistent with the ordinance. The fence was placed deep in the site so as to avoid the ordinance limits of a 4 foot high decorative fence in the front yard. The fence detail should be discussed and addressed in any motion of approval.

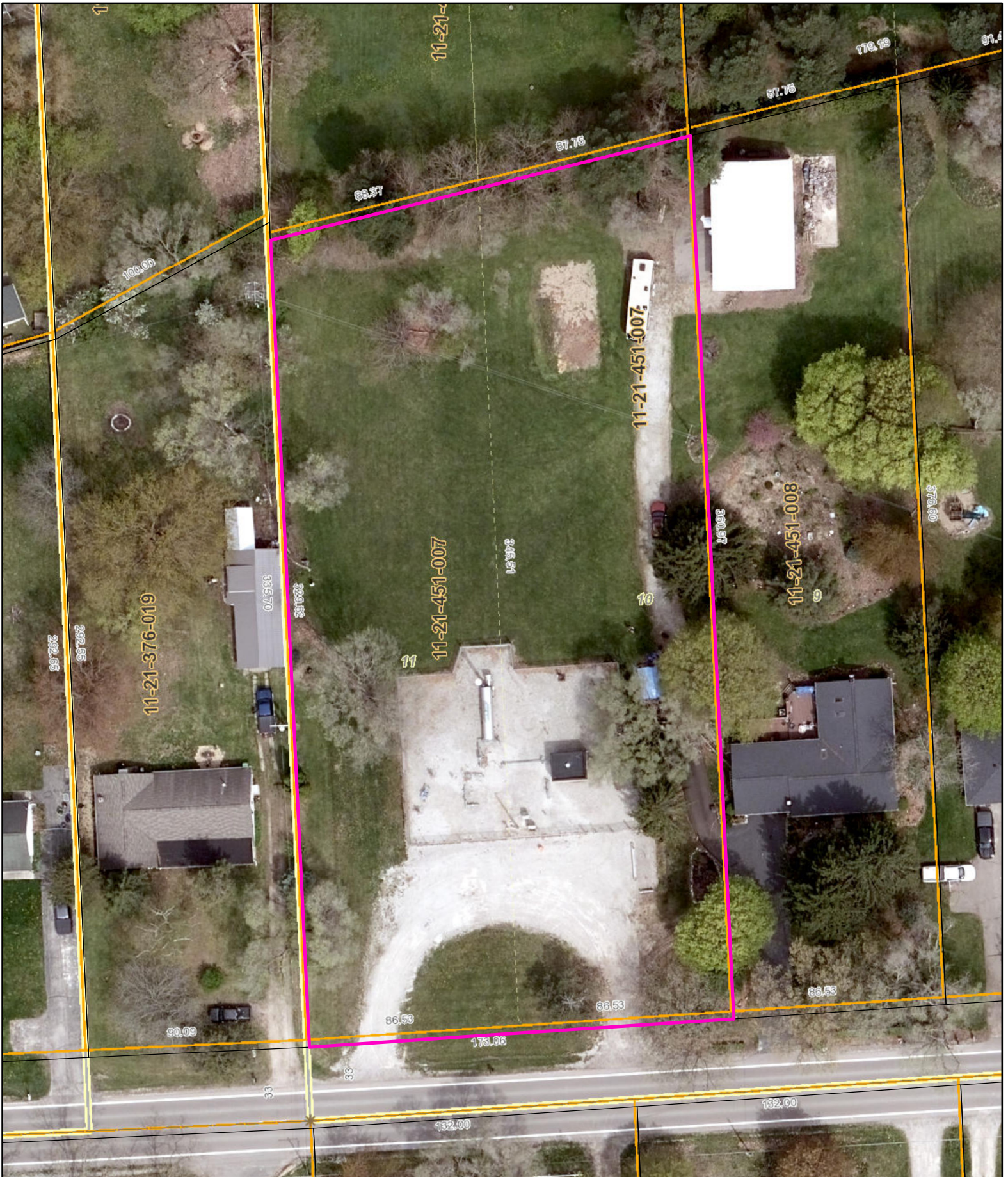


Lighting is not addressed on the plan. In discussion with staff, Consumers Energy representatives noted that they prefer the site to be dark, with temporary yard lighting provided only when necessary. That detail should be discussed and noted on any motion of approval.

Another detail that was discussed but is not adequately addressed on the site plan is what landscaping might be provided to soften the view of the fence from Livingston Road. While it is understandable that street trees may not be appropriate given the presence of the piping, there may be lower risk plantings such as ornamental grasses or perennials that could soften the look of the fence. Note also that mature trees will be removed from the site (sheet PMT-03) which will change the impact on neighboring properties. We understand that a low maintenance landscaping plan is essential for this site since it is not typically manned, but the ordinance would suggest some sort of buffer for the residential uses on either side. This issue should be discussed and addressed in any motion.



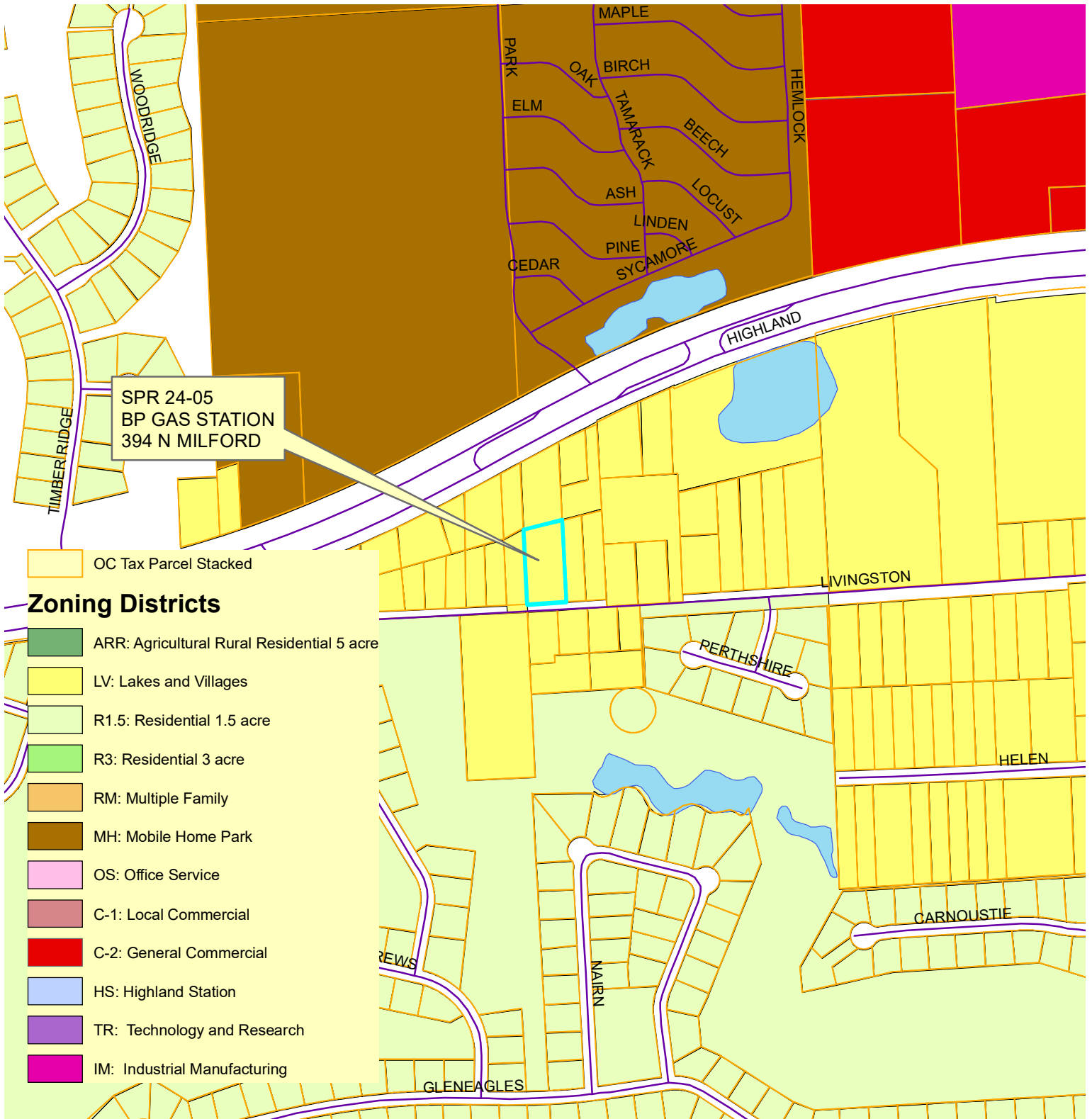
CONSUMERS ENERGY
HIGHLAND CITY GATE SPR24-08
PIN 11-21-451-007



50 25 0 50 Feet



CHARTER TOWNSHIP OF HIGHLAND ZONING MAP



ENACTED: November 18, 2010



October 23, 2024

Highland Township
205 North John Street
Highland, MI 48357

Attn: Ms. Beth Corwin, P.E.
Planning & Development Director

Re: Site Plan Review
Highland City Gate – Consumers Energy
1160 W Livingston Road
Sidwell No. 11-21-451-007

Dear Ms. Corwin:

As requested, this office has reviewed the plans for the above-mentioned project as prepared by Consumers Energy (dated August 27, 2024). The proposed improvements include upgrading the existing Consumers Energy Site on Livingston Road. We have the following comments:

Water Supply

1. The plans do not show a water supply for the proposed site improvements.

Wastewater Disposal

1. The plans do not show a wastewater disposal system.

Storm Water Management

1. All proposed storm sewer improvements will need to be designed in accordance with Highland Township Engineering Design Standards.
2. The existing site does not have a stormwater detention pond. The proposed improvements will cause a minimal change in the runoff of the site and all stormwater drainage will remain onsite. In the future, if additional impervious area is added then additional stormwater improvements may be needed.

Paving and Grading Improvements

1. The proposed paving and grading improvements will need to be designed in accordance with Highland Township Engineering Design Standards.
2. A permit from the Road Commission for Oakland County (RCOC) has been obtained for the proposed work within the W Livingston Road right-of-way.

Soil Erosion Control

1. The Soil Erosion and sediment control plans may require the review and permitting of the Oakland County Water Resources Commission.

Summary

Based on the above, we do not have any objections to the proposed improvements and recommend that the construction plan review process be waived. If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.



Michael P. Darga, P.E.

MPD/mpd

pc: Highland Township; R. Hamill
HRC; R. Alix, File



- Site Plan Review
- Rezoning
- Use Requiring Special Approval
- Land Division
- Land Division & Combination
- Road Profile
- Other

PLAN REVIEW APPLICATION

Highland Township Planning Department, 205 N. John St, Highland, Michigan 48357 (248) 887-3791 Ext. 2

Date Filed: _____ Fee: _____ Escrow: _____ Case Number: _____

NOTICE TO APPLICANT AND OWNER

BY SIGNING THIS APPLICATION, THE APPLICANT AND OWNER ACKNOWLEDGE ONE OR THE OTHER OR BOTH ARE RESPONSIBLE FOR ALL APPLICATION AND CONSULTANT FEES THAT ARISE OUT OF THE REVIEW OF THIS REQUEST THE OWNER ALSO AUTHORIZES THE TOWNSHIP TO PLACE A SIGN ON THE PROPERTY, IF NECESSARY, TO INFORM THE PUBLIC OF THE PENDING MATTER BEING REQUESTED.

REQUIRED COPIES OF PLANS

INITIAL REVIEW: 2 HARD COPIES OF PLANS AND .PDF COPY OF PLANS
 CONSULTANTS REVIEW OF APPROVED PLANS SUBJECT TO CONDITIONS: 5 COPIES AND .PDF COPY

1. APPLICANT INFORMATION

NAME: Amy Gilpin, permit agent
 ADDRESS: One Energy Plaza
Jackson, MI 49201
 PHONE: 517-745-1639
 EMAIL: amy.gilpin@cmsenergy.com

OWNER INFORMATION

NAME: Consumers Energy
 ADDRESS: One Energy Plaza
Jackson, MI 49201
 PHONE: _____
 EMAIL: _____

2. PROPERTY INFORMATION

ADDRESS OR ADJACENT STREETS: 1160 W Livingston Road
 LOT WIDTH: 173.37' LOT DEPTH: 360.47' LOT AREA: 1.37 ac
 PARCEL IDENTIFICATION NUMBER(S): H-11-21-451-007

3. PROJECT INFORMATION

PROJECT NAME: Highland City Gate Rebuild
 PRESENT ZONING: Lakes and Villages PROPOSED ZONING: N/A
 PRESENT USE: utility PROPOSED USE: utility

APPLICANT

SIGNATURE: *Amy Gilpin*
 PRINT NAME: Amy Gilpin

On the 3rd day of September, 2024 before me, a Notary Public, personally appeared the above named person whose signature appears above, and who executed the foregoing instrument, and he/she acknowledged to me that he/she executed the same.

State Of Michigan
 County Of Jackson
Christina Wetherell 9/13/24
Christina Wetherell
 Notary Public, State of Michigan
 County of Newaygo
 Notary Public: _____
 My Commission Expires 10/25/2028

OWNER

SIGNATURE: *Joseph Lawson III*
 PRINT NAME: Joseph Lawson III

On the 3rd day of September, 2024 before me, a Notary Public, personally appeared the above named person whose signature appears above, and who executed the foregoing instrument, and he/she acknowledged to me that he/she executed the same.

State Of Michigan
 County Of Jackson
Christina Wetherell 9/13/24
Christina Wetherell
 Notary Public, State of Michigan
 County of Newaygo
 Notary Public: _____
 My Commission Expires 10/25/2028

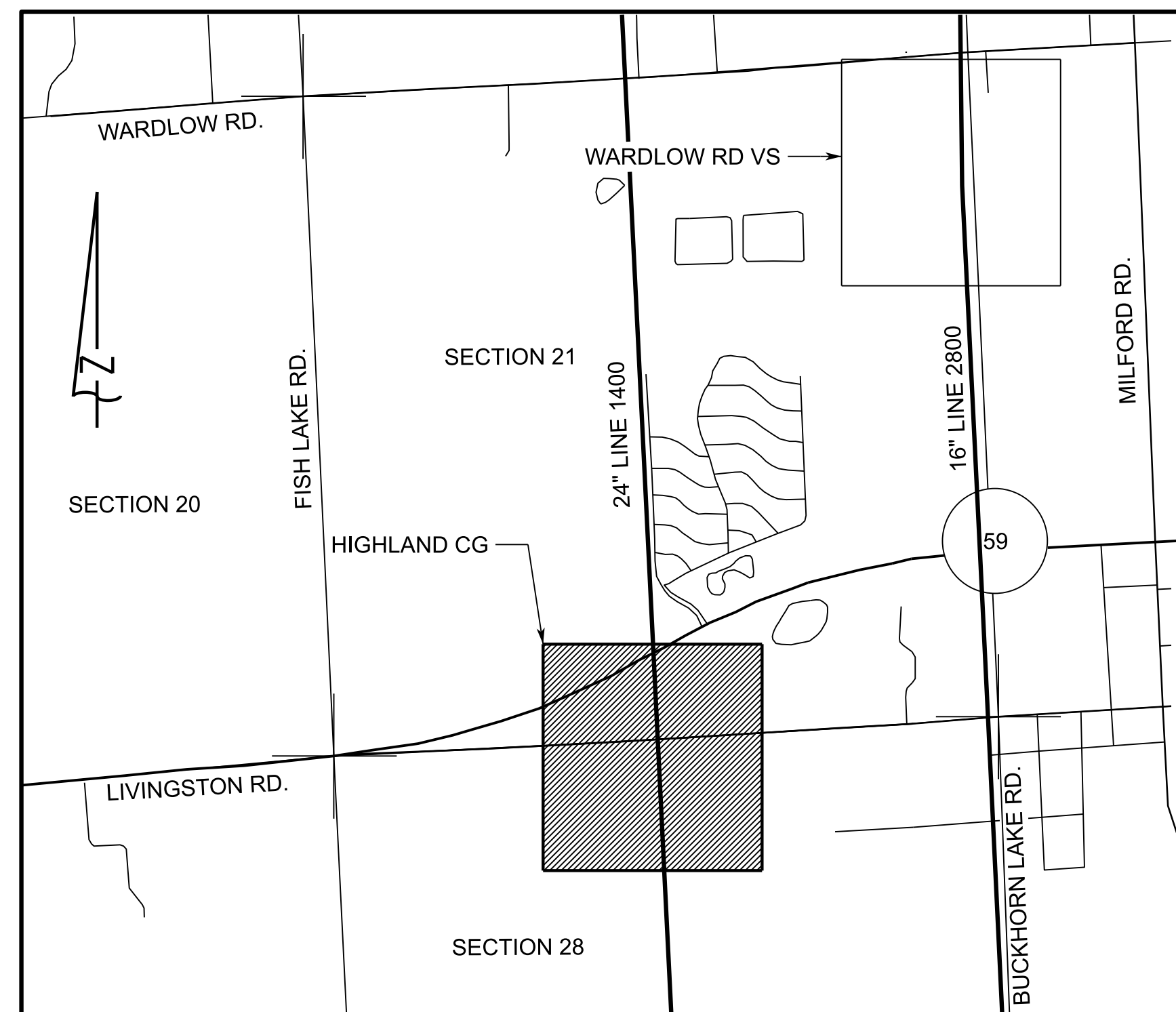
- If there are Co-Applicants and/or Co-Owners associated with this property(ies) to be acted upon, please submit a Notarized Co-Applicant's and/or Co-owner's "Interest in Property Certificate" with this application. The person signing this cover sheet will be considered the official designee for the group and all correspondence will be addressed to this person.
- A notarized letter giving the Applicant authorization to represent the Owner is also permitted in lieu of a signature on this application. The person signing this cover sheet, however, will be considered the official designee for the Owner and all correspondence will be addressed to this person.

H-2 HIGHLAND CG CITY GATE REBUILD

GM-01056 WO#42712002 2025 CONSTRUCTION

DRAWING LIST

401412C1412-CVR.01	COVER SHEET
401412C1412.SPL.01 401412C1412.SPL.02	SITE SURVEY SITE AND GRADING PLAN
401412C1412-SAD.01 401412C1412-SAD.02 401412C1412-SAD.03 401412C1412-SAD.04 401412C1412-SAD.05	MISCELLANEOUS MECHANICAL FOUNDATION DETAILS - PLACEHOLDER MISCELLANEOUS ELECTRICAL FOUNDATION DETAILS FILTER SEPARATOR FOUNDATION - PLACEHOLDER HEATER FOUNDATION - PLACEHOLDER SITE DETAILS
401412C1412-PMT.01 401412C1412-PMT.02 401412C1412-PMT.03 401412C1412-PMT.04	PERMIT COVER SHEET SITE GENERAL NOTES DEMOLITION AND SESC PLAN SITE AND GRADING PLAN
401412C1412-VEN.01 401412C1412-VEN.02 401412C1412-VEN.03 401412C1412-VEN.04 401412C1412-VEN.05 401412C1412-VEN.06	BUILDING DRAWINGS SHEET 1 OF 6 BUILDING DRAWINGS SHEET 2 OF 6 BUILDING DRAWINGS SHEET 3 OF 6 BUILDING DRAWINGS SHEET 4 OF 6 BUILDING DRAWINGS SHEET 5 OF 6 BUILDING DRAWINGS SHEET 6 OF 6



LOCATION MAP

SCALE: NONE

SECTION 21, R7E, T3N
HIGHLAND TOWNSHIP,
OAKLAND COUNTY

1160 W. LIVINGSTON RD.
HIGHLAND, MI 48357
43.40525° N
84.13821° W

**APPROVED
FOR 60% COMMENTS**

DATE: 08/27/2024

CAUTION

IF INSTALLATION
CANNOT BE COMPLETED
AS DESIGNED
CONTACT PROJECT ENGINEER
BEFORE PROCEEDING



Know what's below.
Call before you dig.
www.call811.com
or MISSDIG @ 1-800-482-7171

REDLINE INFORMATION
TO BE FILLED OUT BY REDLINER

- SHEET COMPLETED AS MARKED
- POTENTIAL PUNCHLIST SHEET IMPACT
- SHEET COMPLETED AS ORIGINALLY DRAWN

REDLINE PERFORMED BY _____

NAME: _____
CONTACT: _____
COMPANY: _____
DATE: _____
RFI #: _____

CONSUMERS ENERGY CONTACTS

DEPARTMENT	NAME	PHONE NUMBER
PROJECT MANAGER	Manav Mittal	616-836-8321
PROJECT ENGINEER	Rob McEachern	734-691-0823
FIELD LEADER	Sarah Roch	231-632-0319

HIGHLAND CITY GATE
2025 CONSTRUCTION

COVER SHEET



GEO-SPATIAL & GAS ASSET MANAGEMENT
Gas Meter and Regulation Department

FIELD AREA: NORTHVILLE:WEST WAYNE LIVONIA		PROJECT ID#	STA. NO.	DRAWING NO.	SHEET	REV
		GM-01056	H-2	C-1412-CVR	01	

DRAWING FILES ARE THE INTELLECTUAL PROPERTY OF CONSUMERS ENERGY AND SHALL NOT BE DISTRIBUTED EXTERNALLY WITHOUT OWNER PERMISSION

FILE: 401412C1412-CVR.01.dgn
RASTER FILE:

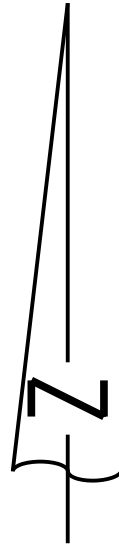
DO NOT SCALE DRAWING USE DIMENSIONS ONLY

STANDARD DRAWING NO. REV. DATE:

ORIGINAL DRAWING #

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT ID	DATE	DESCRIPTION	DES.ENG.	PEER REV.	DES.ENG. APP.	REV.	PROJECT ID	DATE	DESCRIPTION	DES.ENG.	PEER REV.	DES.ENG. APP.

DESIGNER	S.GAMACHE	DATE	8/27/2024
ENGINEER		DATE	
PEER REV	D.DOLOWY	DATE	8/27/2024
DESIGN APPROVAL	R.MCEACHERN	DATE	8/27/2024
ENGINEER APPROVAL		DATE	



LEGEND

- PROPERTY LINE
- EXISTING SETBACK
- EXISTING UNDERGROUND GAS LINE
- GPS CONTROL POINT
- EXISTING OVERHEAD DISTRIBUTION LINE
- EXISTING SIGN
- EXISTING STORM SEWER
- EXISTING DITCH CENTERLINE
- EXISTING TOP OF BANK
- EXISTING TOE OF BANK
- EXISTING CONTOURS
- EXISTING BUILDING
- EXISTING FENCE
- PROPOSED CONCRETE BRIDGING
- PROPOSED SWALE CENTERLINE
- PROPOSED CONTOURS
- PROPOSED SLOPE
- PROPOSED EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- PROPOSED LOW POINT SPOT GRADE
- PROPOSED INVERT SPOT GRADE
- PROPOSED CONCRETE
- PROPOSED GRAVEL DRIVE
- PROPOSED GRAVEL YARD
- PROPOSED BOLLARD
- PROPOSED FENCE
- PROPOSED CONCRETE CULVERT
- LIMITS OF PROPOSED GRADING



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or 1-888-481-7171

APPROVED
FOR 60% COMMENTS
DATE: 08/27/2024

REDLINE INFORMATION
TO BE FILLED OUT BY REDLINER

SHEET COMPLETED AS MARKED

POTENTIAL PUNCHLIST SHEET IMPACT

SHEET COMPLETED AS ORIGINALLY DRAWN

REDLINE PERFORMED BY

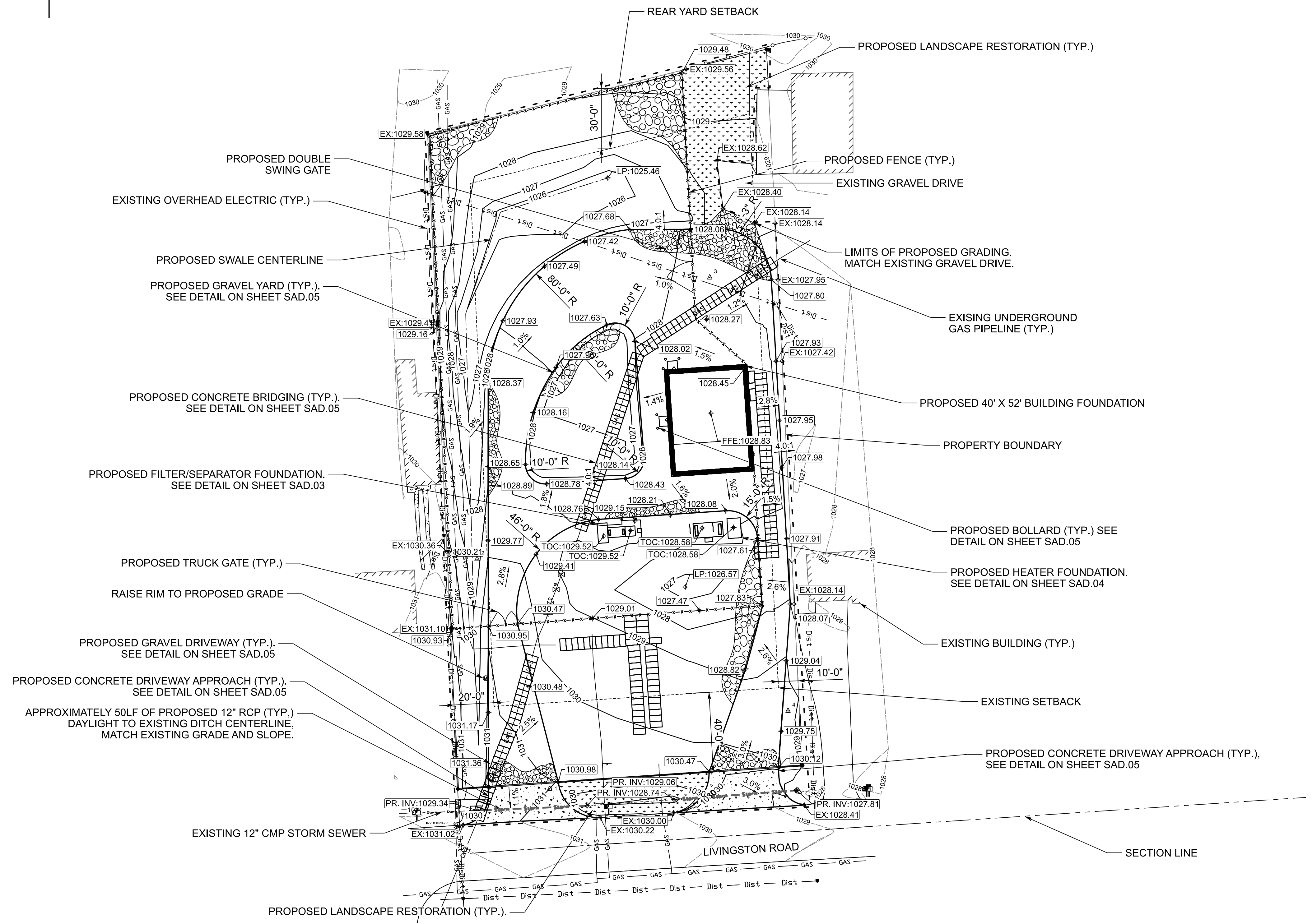
NAME: _____

CONTACT: _____

COMPANY: _____

DATE: _____

RFI #: _____



STANDARD DRAWING NO. REV. DATE: _____

ORIGINAL DRAWING # _____

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT ID	DATE	DESCRIPTION	DES. ENG.	PEER REV.	DES. ENG. APP.	REV.	PROJECT ID	DATE	DESCRIPTION	DES. ENG.	PEER REV.	DES. ENG. APP.

DESIGNER S.GAMACHE DATE 8/27/2024

ENGINEER _____ DATE _____

PEER REV D.DOLOWY DATE 8/27/2024

DESIGN APPROVAL R.MCEACHERN DATE 8/27/2024

ENGINEER APPROVAL _____ DATE _____

Consumers Energy
Count on Us®

GEO-SPATIAL & GAS ASSET MANAGEMENT
Gas Meter and Regulation Department

FILE: 401412C1412-SPL_02.dgn
RASTER FILE: _____

SCALE: 1" = 30'-0"


HIGHLAND CITY GATE
2025 CONSTRUCTION

SITE AND GRADING PLAN		FIELD AREA: NORTHVILLE:WEST WAYNE LIVONIA
PROJECT ID#	STA. NO.	DRAWING NO.
GM-01056	H-2	C-1412-SPL
SHEET	REV	
02		

DO NOT SCALE DRAWING USE DIMENSIONS ONLY

PLACEHOLDER

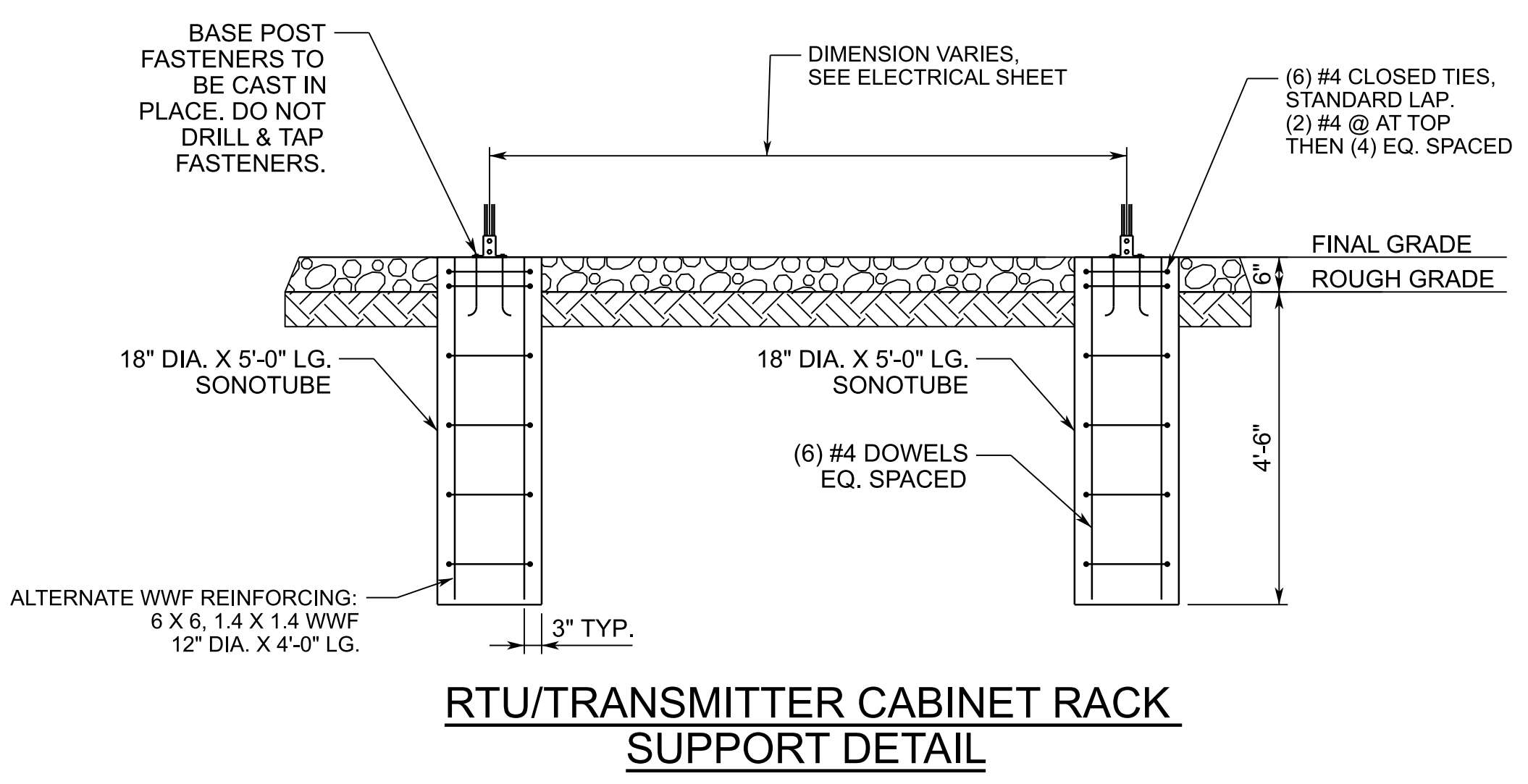
STANDARD DRAWING NO. REV. REV. DATE:

ORIGINAL DRAWING #												HIGHLAND CITY GATE 2025 CONSTRUCTION																											
												 Count on Us® GEO-SPATIAL & GAS ASSET MANAGEMENT Meter and Regulation Department				MISCELLANEOUS MECHANICAL FOUNDATION DETAILS																							
												FIELD AREA: NORTHVILLE:WEST WAYNE/LIVONIA PROJECT ID# STA. NO. DRAWING NO. SHEET REV																											
REFERENCE DRAWINGS NUMBERS												GM-01056	H-2	C-1412-SAD		01																							
REV.	PROJECT ID	DATE	DESCRIPTION	DES.	ENG.	PEER REV.	DES. APP.	ENG. APP.	REV.	PROJECT ID	DATE	DESCRIPTION	DES.	ENG.	PEER REV.	DES. APP.	ENG. APP.	REV.	PROJECT ID	DATE	DESCRIPTION	DES.	ENG.	PEER REV.	DES. APP.	ENG. APP.	REV.	PROJECT ID	DATE	DESCRIPTION	DES.	ENG.	PEER REV.	DES. APP.	ENG. APP.	REV.	PROJECT ID	DATE	DESCRIPTION

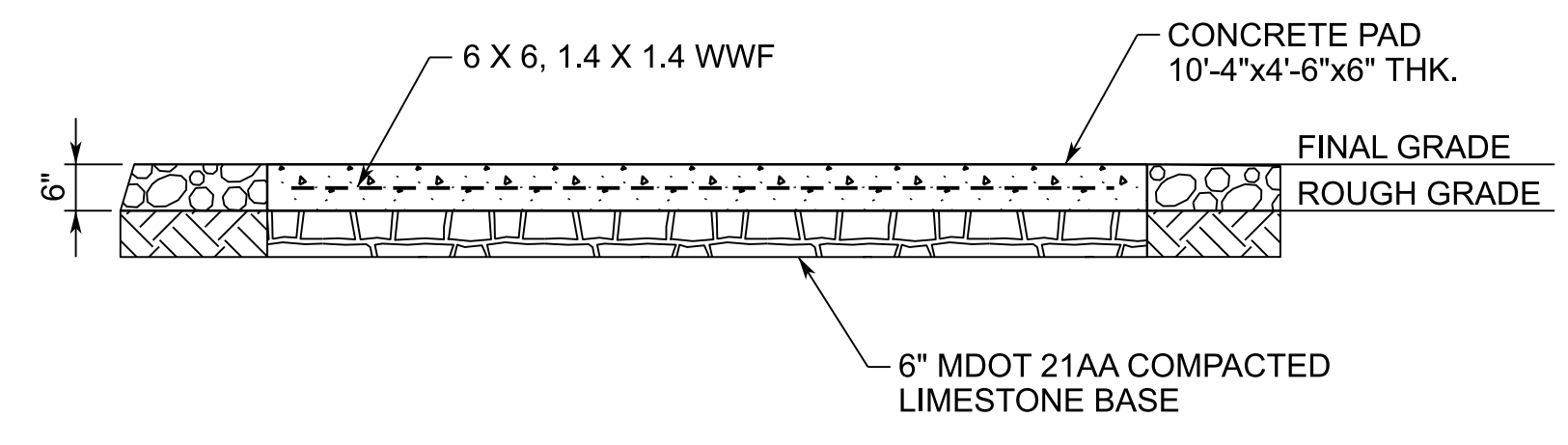
FILE: 401412C1412-SAD.01.dgn SCALE 1/2" = 1'-0"
 RASTER FILE: DO NOT SCALE DRAWING USE DIMENSIONS ONLY
DRAWING FILES ARE THE INTELLECTUAL PROPERTY OF CONSUMERS ENERGY AND SHALL NOT BE DISTRIBUTED EXTERNALLY WITHOUT OWNER PERMISSION

NOTES:

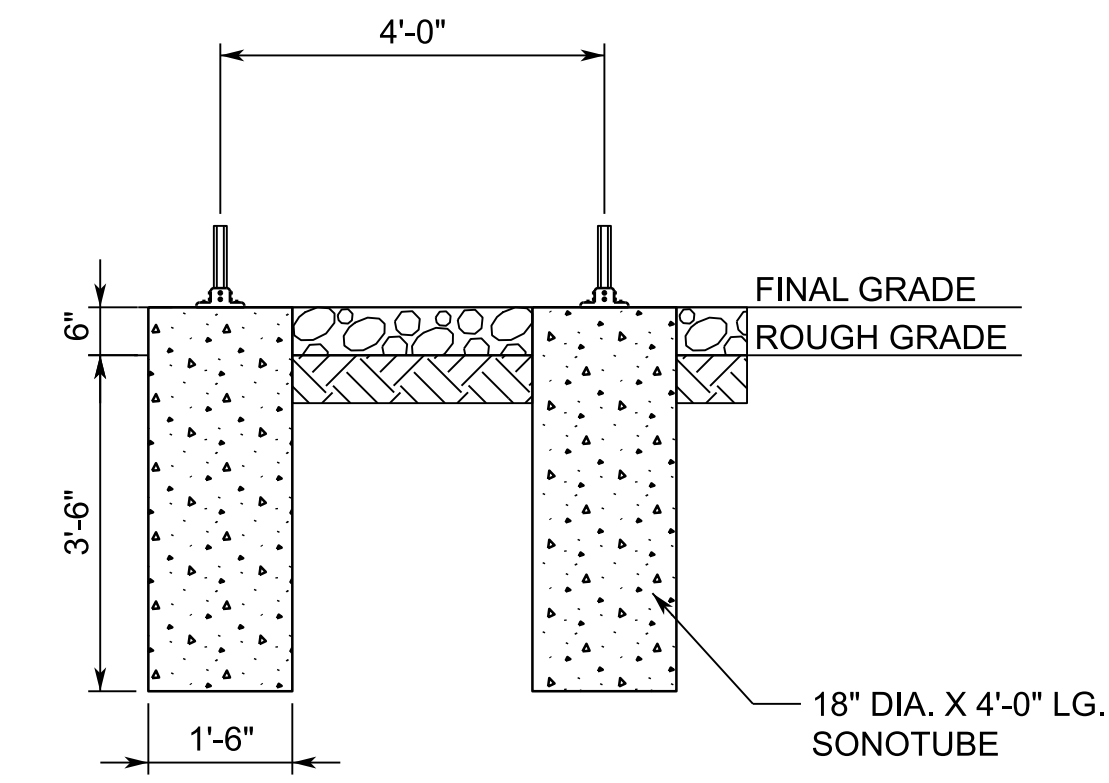
1. PLACE CONCRETE ON UNDISTURBED SOIL OR CONTROLLED DENSITY BACKFILL.
2. ALL PIPING IN CONTACT WITH CONCRETE SHALL BE COATED AND DOUBLE WRAP WITH TAPECOAT OR NON-PERFORATED ROCKSHIELD.
3. CONTRACTOR TO FURNISH ALL SONOTUBE FORMS & WWF MATERIAL.
4. CONCRETE MUST CURE AT LEAST 21 DAYS BEFORE DRILLING PIER FOUNDATIONS. CAST-IN-PLACE J AND/OR L BOLT ANCHORS MAY BE USED AS AN ALTERNATIVE.



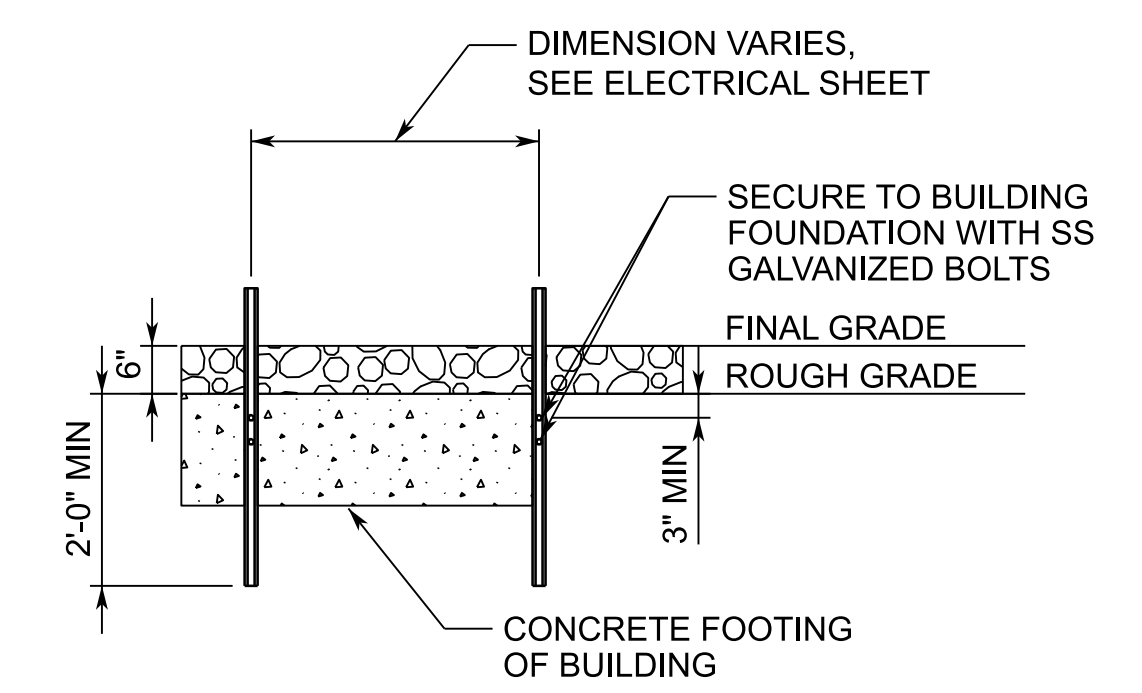
**RTU/TRANSMITTER CABINET RACK
SUPPORT DETAIL**



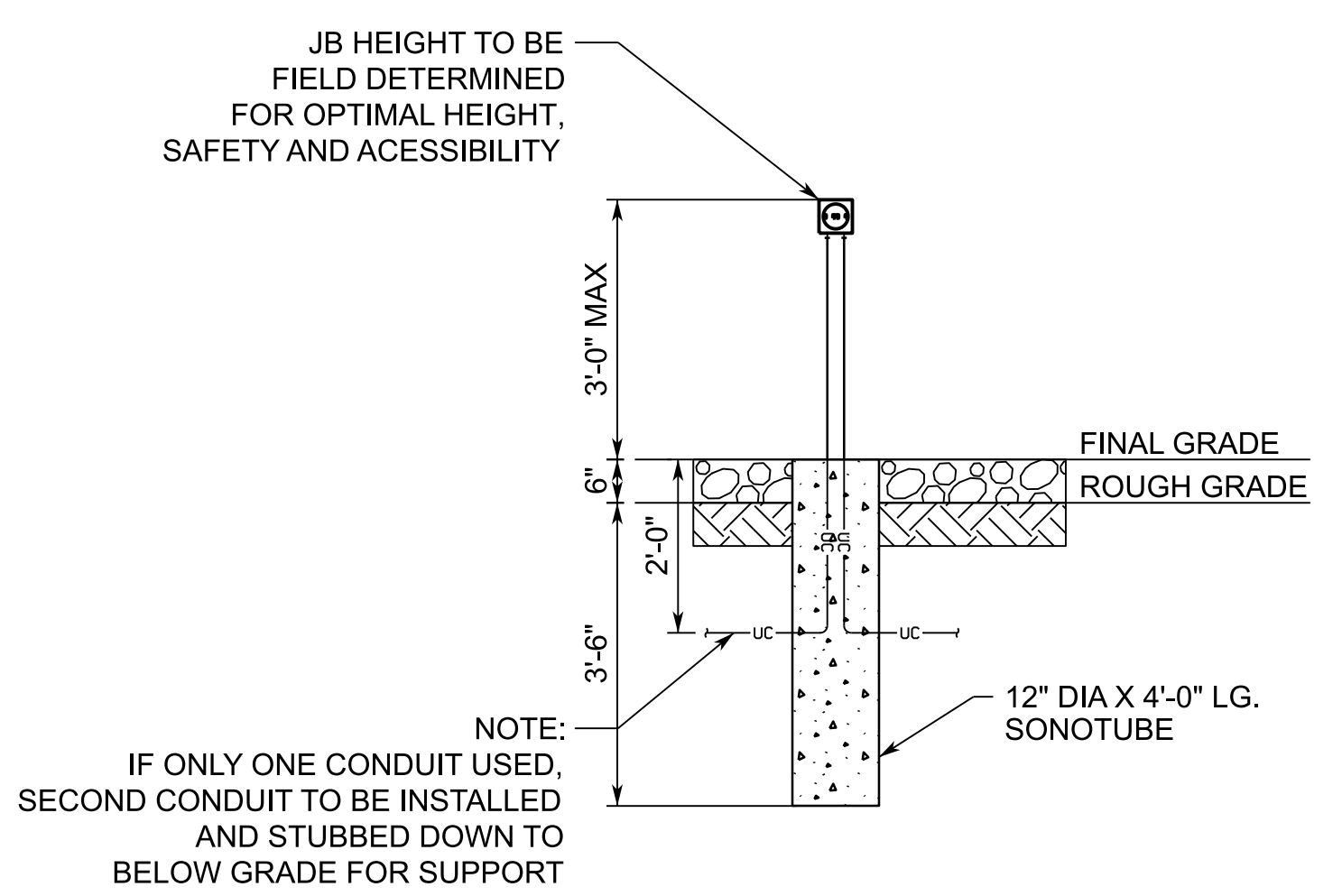
**RTU RACK
CONCRETE PAD**



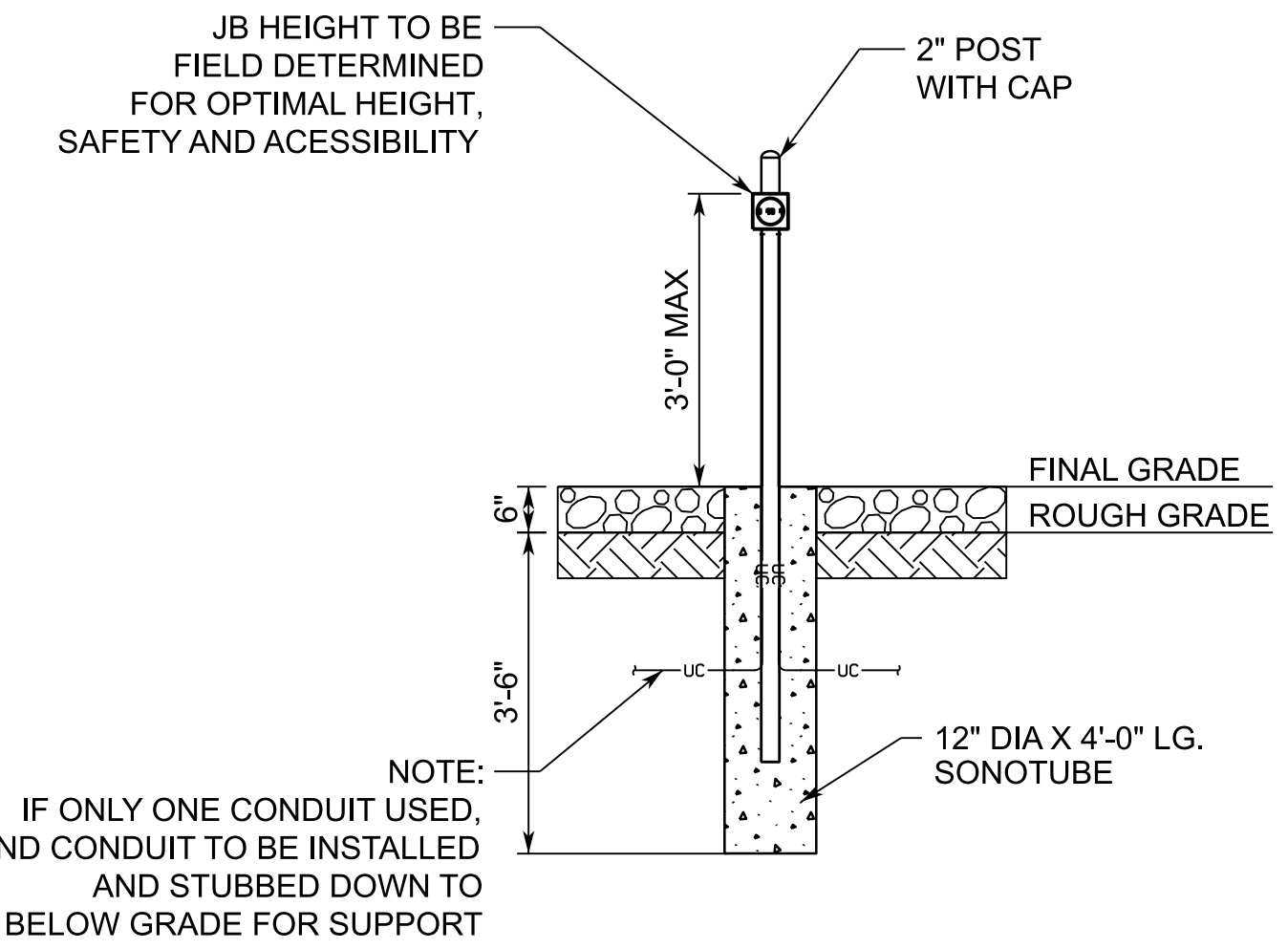
PCR RACK SUPPORT DETAIL



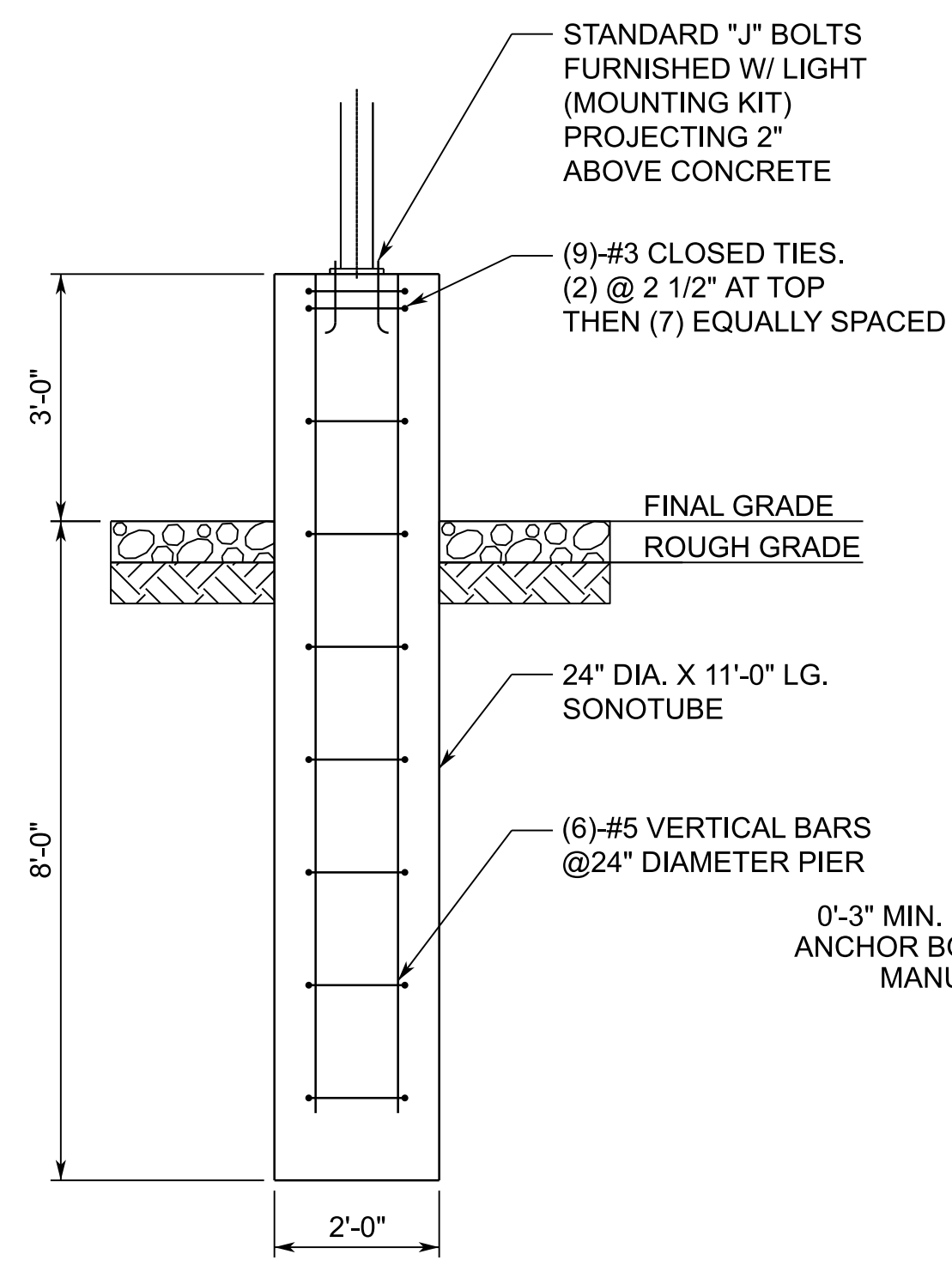
PT RACK SUPPORT DETAIL



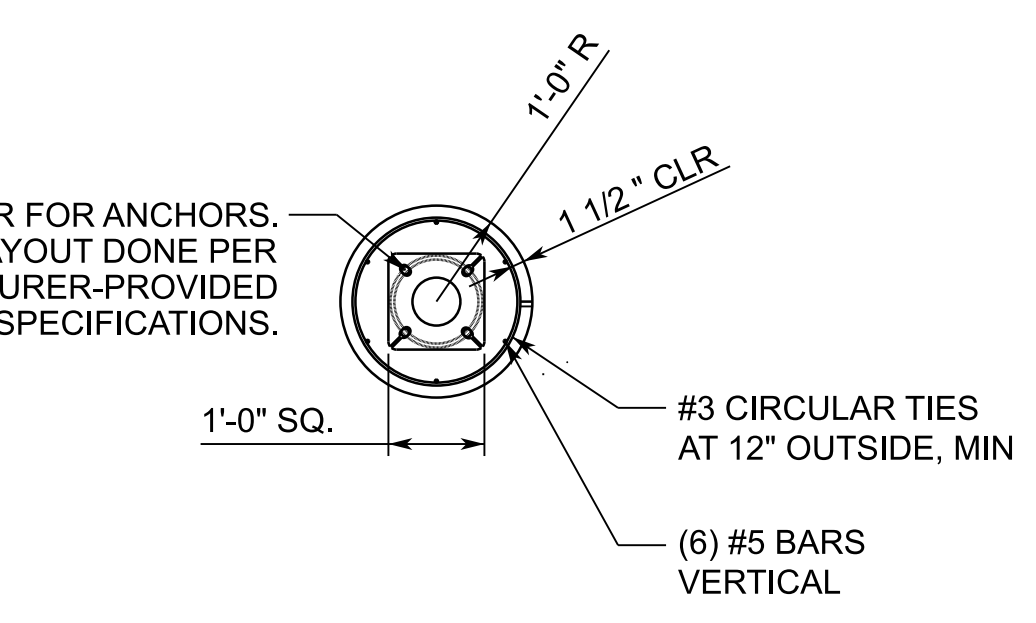
**JUNCTION BOX (W/O POST)
SUPPORT DETAIL**



**JUNCTION BOX (W/POST)
SUPPORT DETAIL**



**YARD LIGHT
SUPPORT DETAIL**



**YARD LIGHT TOP VIEW
CÉMENT REINFORCEMENT**

**APPROVED
FOR 60% COMMENTS**
DATE: 08/27/2024

REDLINE INFORMATION
TO BE FILLED OUT BY REDLINER

SHEET COMPLETED AS MARKED
 POTENTIAL PUNCHLIST SHEET IMPACT
 SHEET COMPLETED AS ORIGINALLY DRAWN

REDLINE PERFORMED BY
NAME: _____
CONTACT: _____
COMPANY: _____
DATE: _____
RFI #: _____

ORIGINAL DRAWING #

REV.	PROJECT ID	DATE	DESCRIPTION	DES. ENG.	PEER REV.	DES. ENG. APP.	REV. APP.	PROJECT ID	DATE	DESCRIPTION	DES. ENG.	PEER REV.	DES. ENG. APP.	REV. APP.

DESIGNER A. LABRIE DATE _____
ENGINEER A. NEAL DATE _____
PEER REV _____ DATE _____
DESIGN APPROVAL _____ DATE _____
ENGINEER APPROVAL _____ DATE _____

Consumers Energy
Count on Us®
GEO-SPATIAL & GAS ASSET MANAGEMENT
Meter and Regulation Department

FILE: 401412C1412-SAD.02.dgn
RASTER FILE: _____

SCALE 1/2" = 1'-0"

**HIGHLAND CITY GATE
2025 CONSTRUCTION**

**MISCELLANEOUS ELECTRICAL
FOUNDATION DETAILS**

FIELD AREA: NORTHVILLE:WEST WAYNE/LIVONIA	PROJECT ID#	STA. NO.	DRAWING NO.	SHEET	REV
GM-01056	H-2	C-1412-SAD	02		

STANDARD DRAWING INC. REV. DATE:

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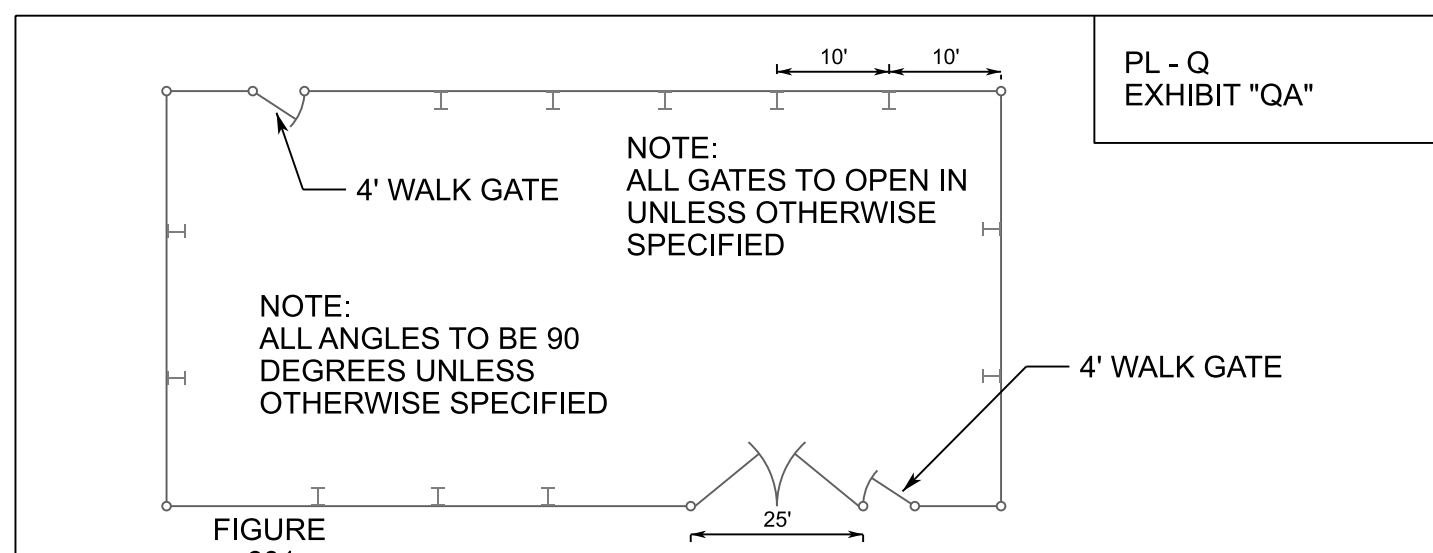


FIGURE 601 TYPICAL FENCE LAYOUT PLAN
 A DRAWING SIMILAR TO FIGURE 601 SHALL ACCOMPANY ALL FENCE ORDERS. THE DRAWING SHALL INDICATE ALL FENCE ANGLES ALSO GATES AND REMOVABLE SECTIONS SIZES AND LOCATIONS. REFER TO EXHIBITS "QA" THROUGH "QE" FOR MATERIAL, FABRICATION AND ERECTION DETAILS.

NAME OF PART	NOMINAL PIPE SIZE	POST DEPTH IN FOOTING	MINIMUM FOOTING DIMENSIONS		FOOTING DEPTH
			TOP DIA	BOTTOM DIA	
LINE POST	SEE NOTE 2	1'-5"	1'-5"	1'-5"	4'-0"
CORNER POST	4	1'-5"	1'-5"	1'-5"	4'-0"
END AND ANGLE POST	4	1'-5"	1'-5"	1'-5"	4'-0"
SINGLE GATE POST, WIDTH 6' AND UNDER	3	1'-5"	1'-5"	1'-5"	4'-0"
SINGLE GATE POST, WIDTH OVER 6' TO 13'	4	1'-5"	1'-5"	1'-5"	4'-0"
DOUBLE GATE POST, WIDTH 12' AND UNDER	3	1'-5"	1'-5"	1'-5"	4'-0"
DOUBLE GATE POST, WIDTH OVER 12' TO 26'	4	1'-5"	1'-5"	1'-5"	4'-0"
SLIDE GATE POST, WIDTH 24' AND UNDER	4	1'-5"	1'-5"	1'-5"	4'-0"
GATE AND REMOVABLE SECTION FRAME	2				
TOP RAIL	1 1/4				
BRACE	1 1/4				
REMOVABLE POST	2 1/2		1'-5"	1'-5"	3'-0"
GATE PLUNGER STOP (OR CATCH)			0'-10"	1'-2"	3'-0"
GATE KEEPER			0'-7"	0'-10"	3'-0"

NOTES:
 1. ALL DIMENSIONS ARE IN INCHES EXCEPT AS NOTED.
 2. EITHER 2-1/4" X 3.26 LB/FT H BEAM OR 2-1/2" PIPE MAY BE USED.

FIGURE 602
 REFERENCES: A-15083 PRFMB30610911 GASTSEC.S071090.001

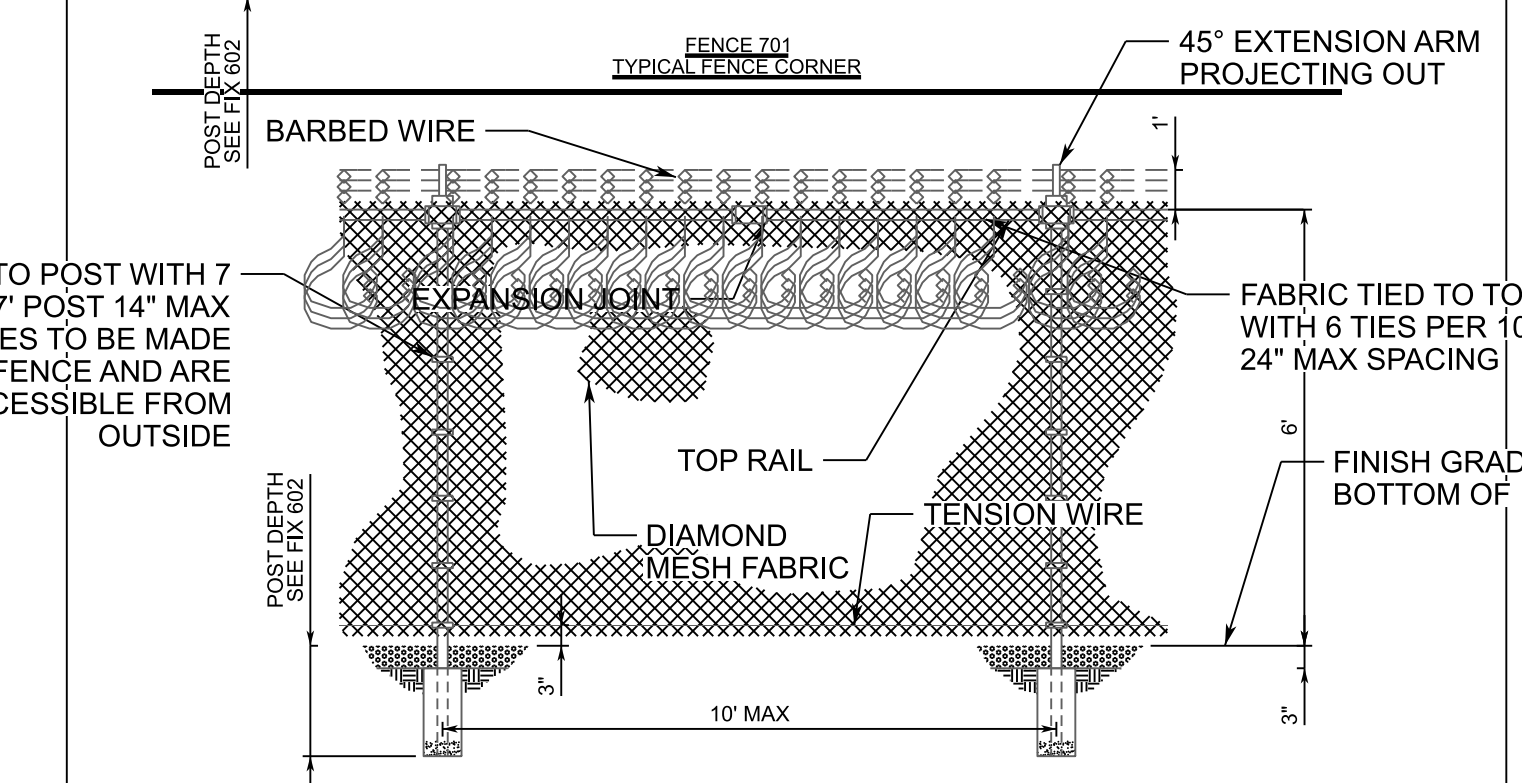
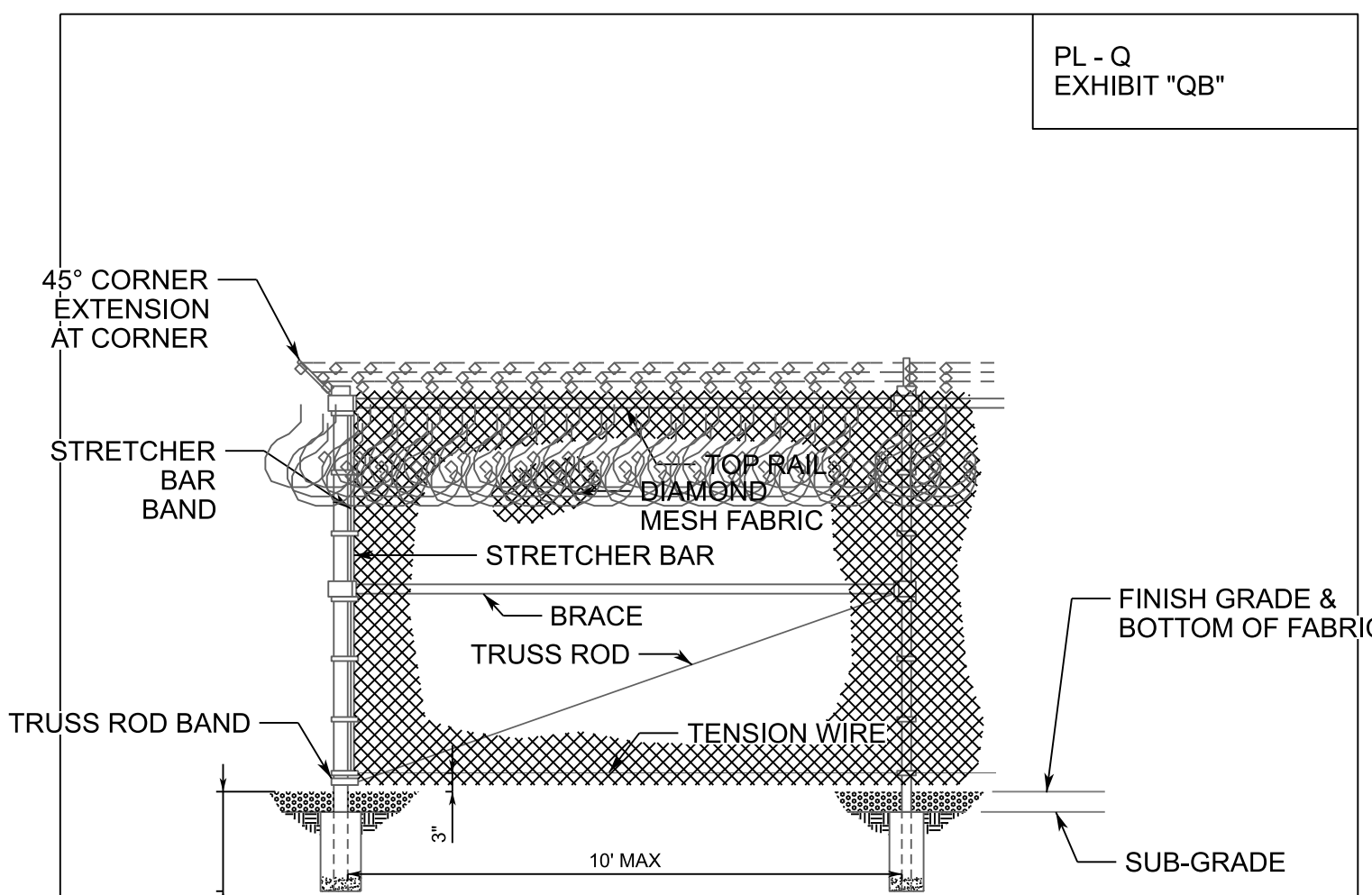


FIGURE 602 FENCING DETAILS
 REFERENCES: A-15064 PRFMB30610911 GASTSEC.S071090.001

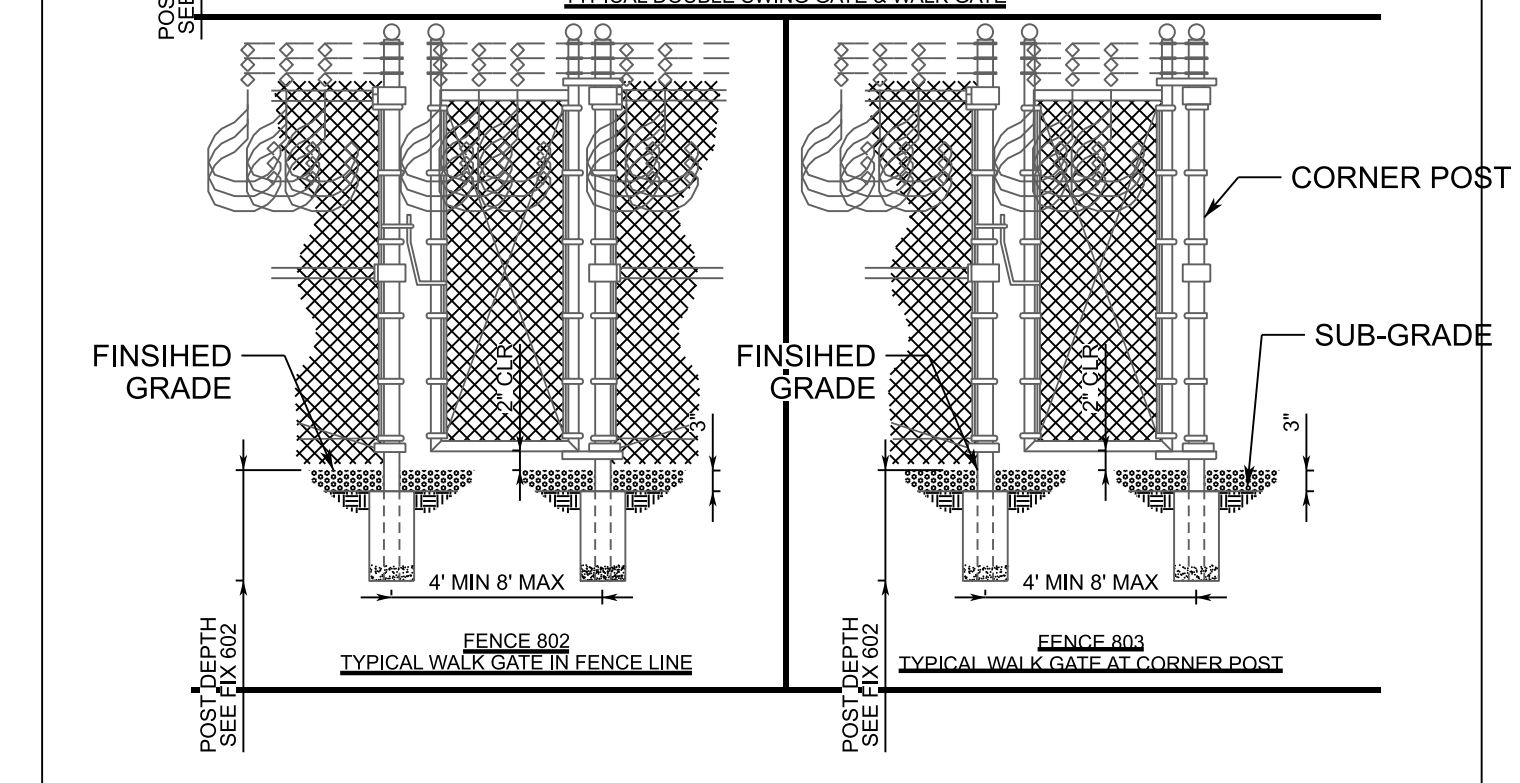
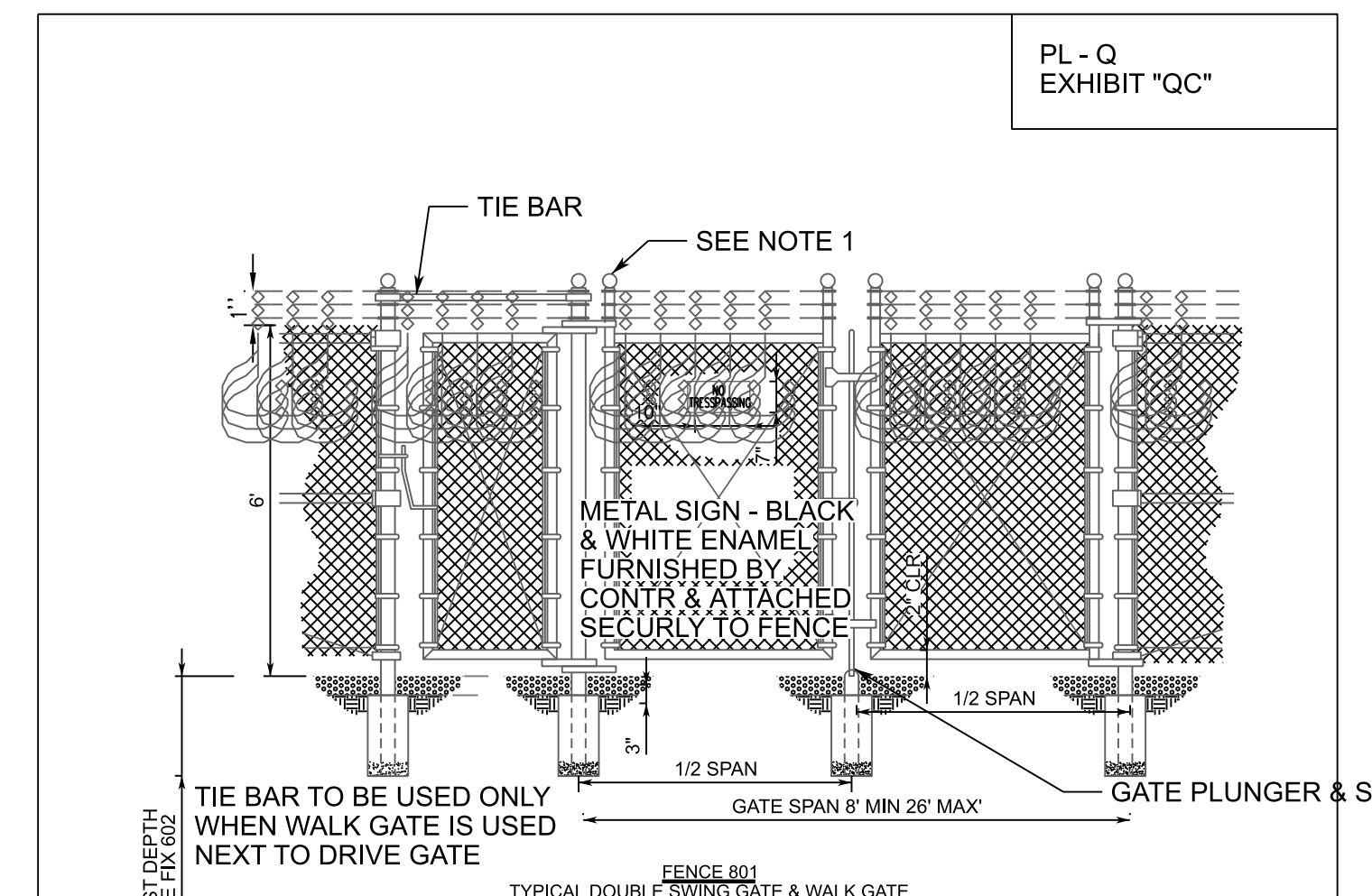
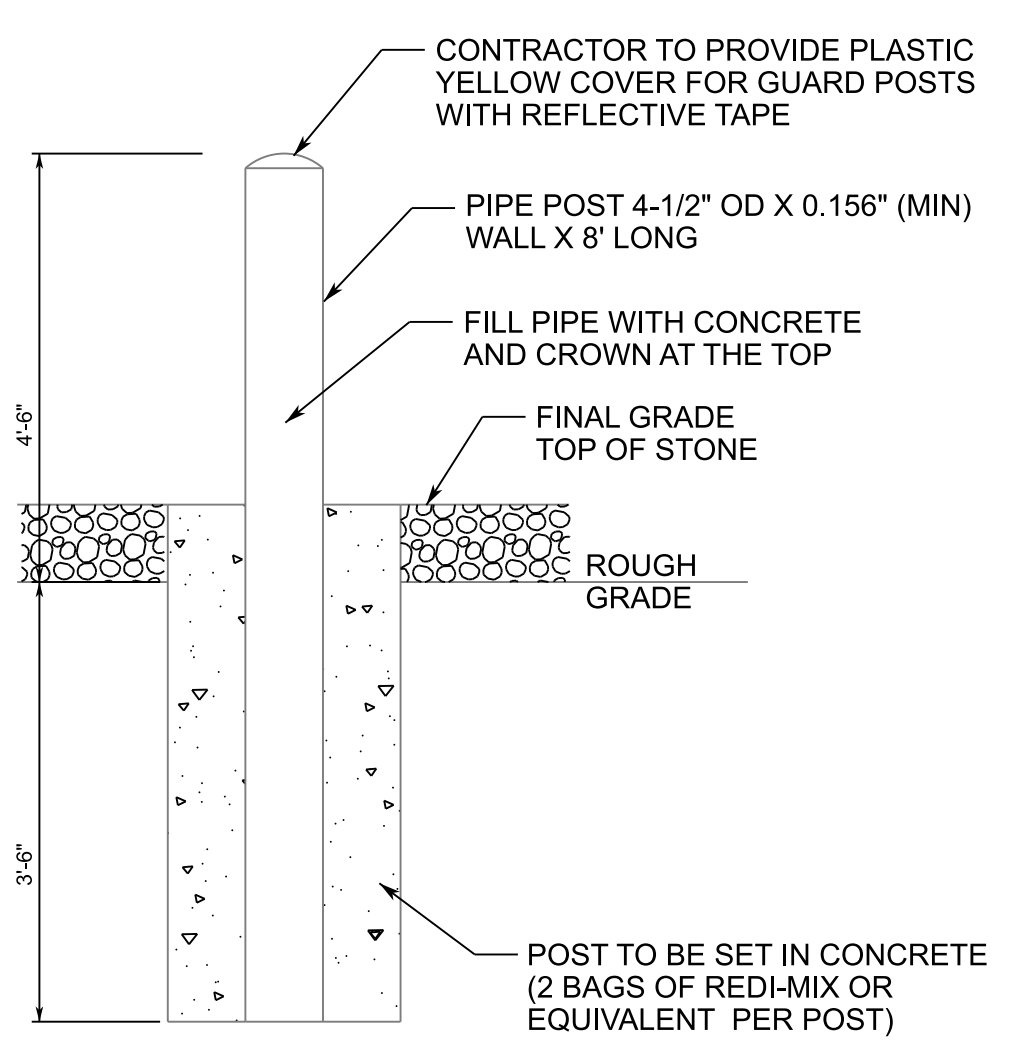
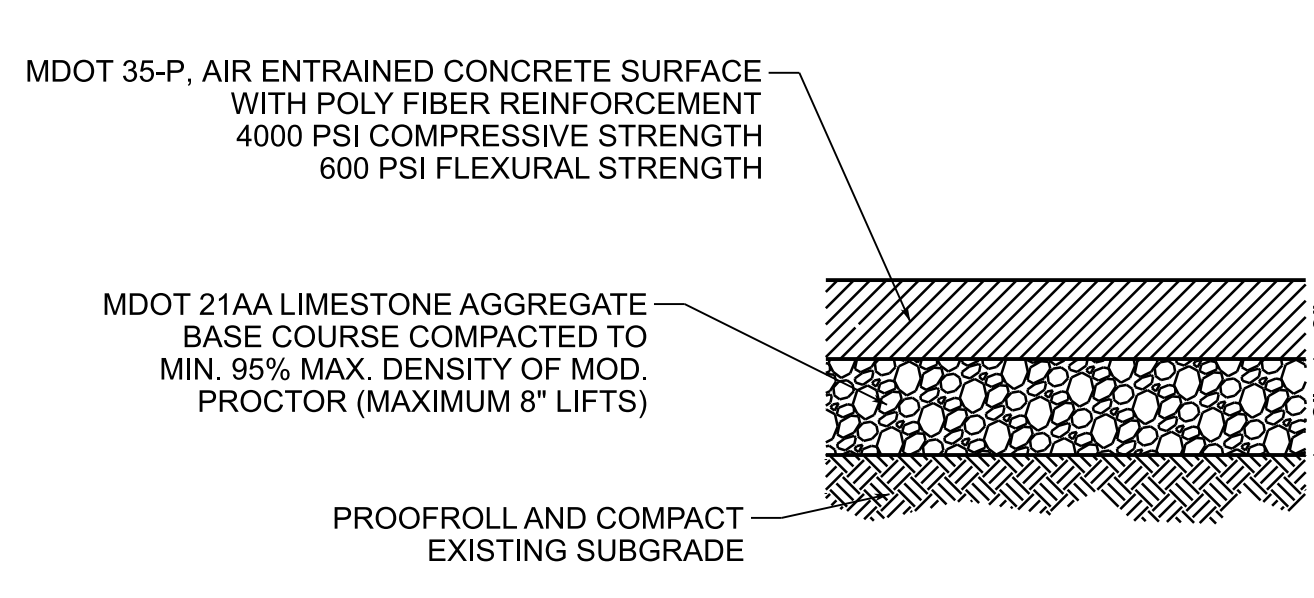


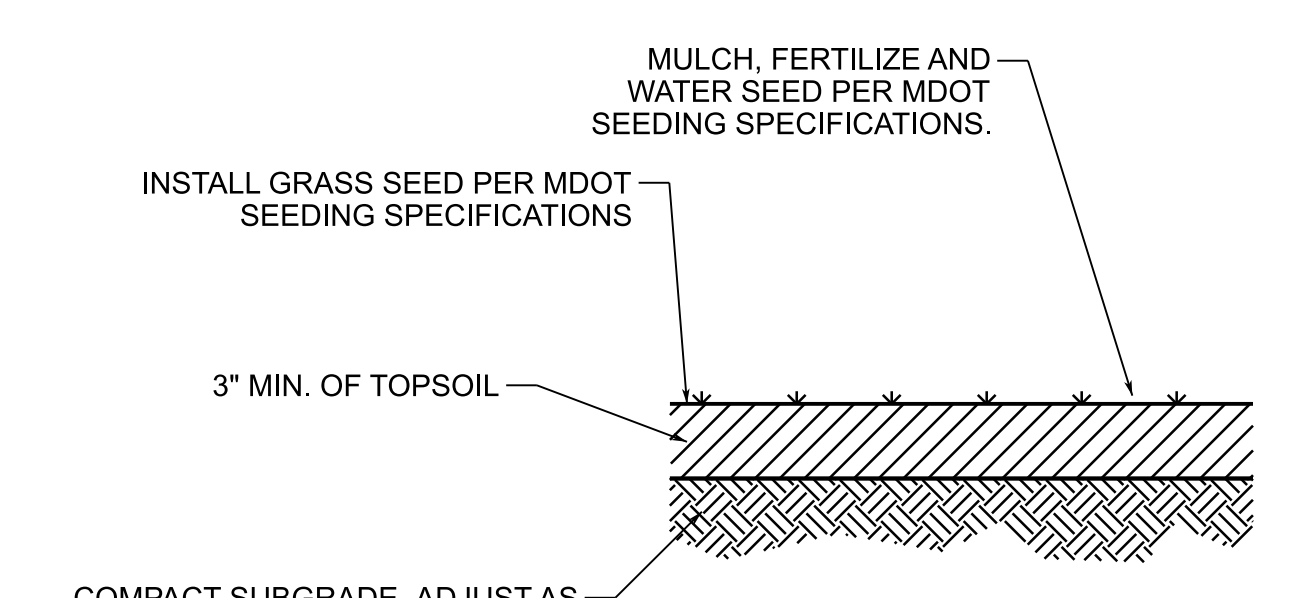
FIGURE 603 FENCING DETAILS
 REFERENCES: A-15065 PRFMB30610911 GASTSEC.S071090.001



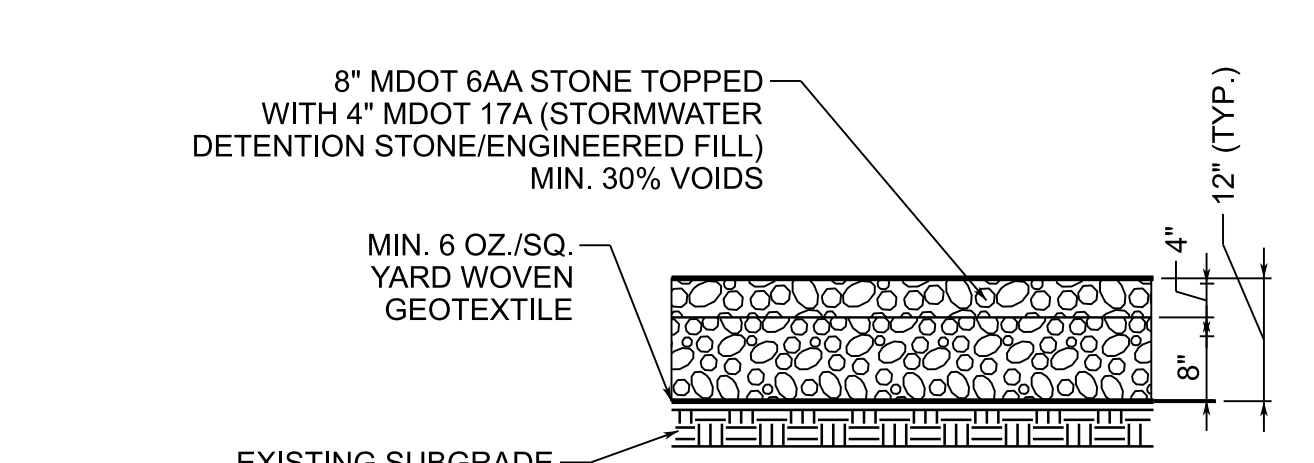
BOLLARD
 NOT TO SCALE



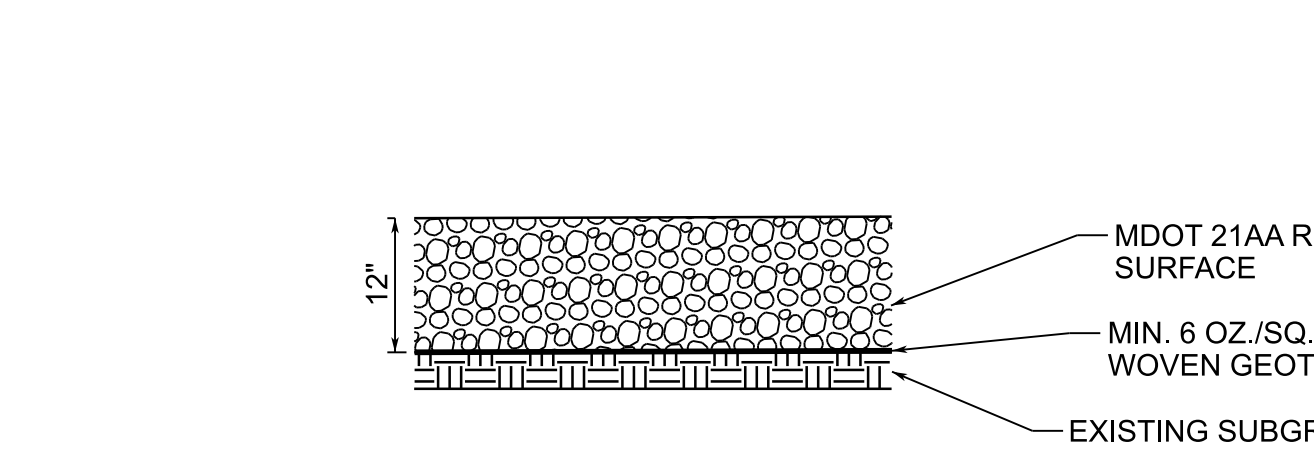
CONCRETE PAVEMENT DETAIL DRIVEWAY APPROACH



LANDSCAPE RESTORATION DETAIL

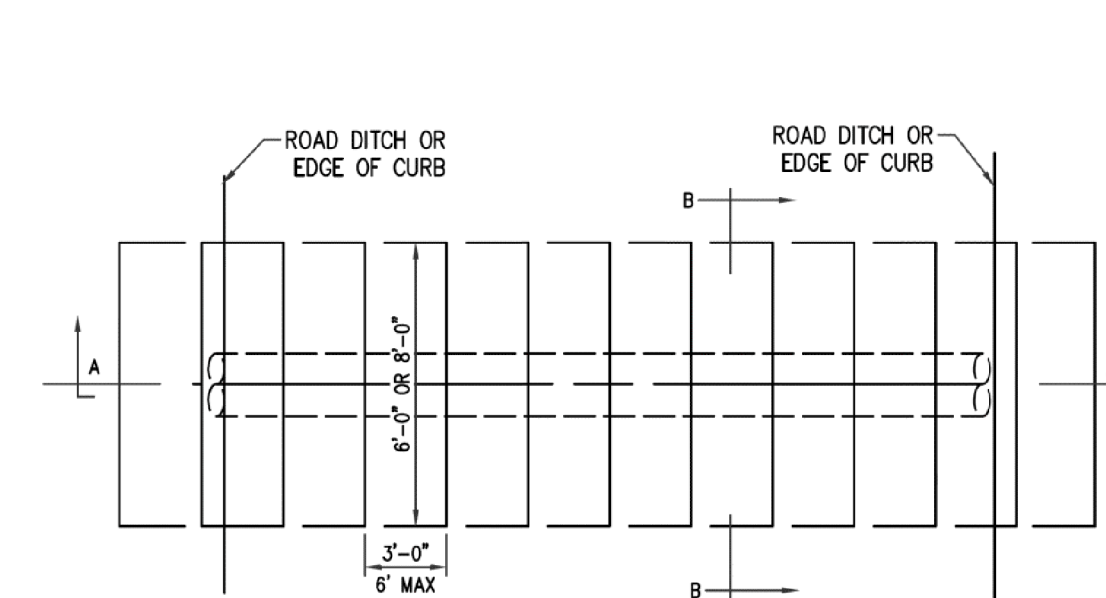


TYPICAL YARD CROSS SECTION

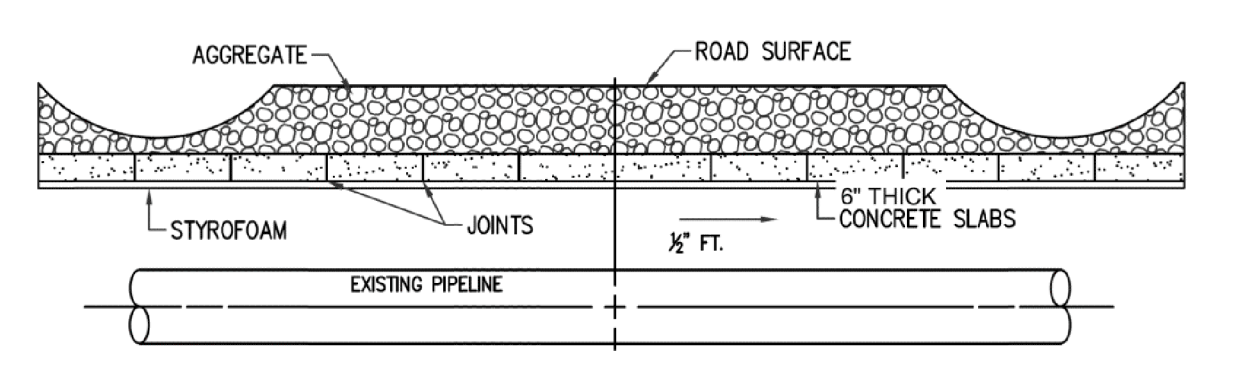


TYPICAL DRIVEWAY CROSS SECTION

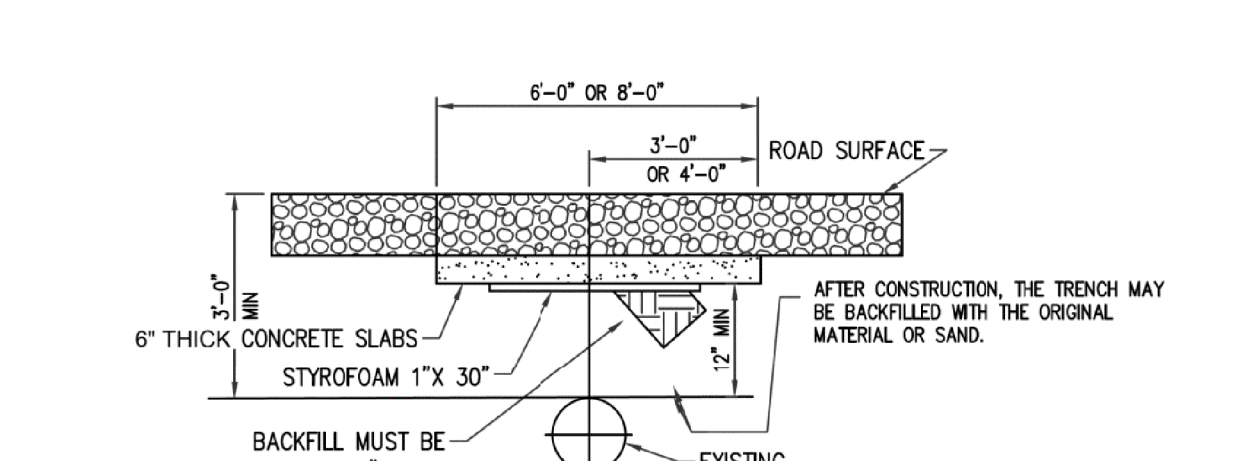
TYPICAL DRIVE AND YARD CROSS SECTION NOTES:
 1. WOVEN GEOTEXTILE SEPARATOR SHALL BE MIRAFI HP 370 OR AN ENGINEER APPROVED EQUIVALENT PRODUCT.
 2. THIS CROSS SECTION WILL BE USED FOR ALL DRIVEWAY AND YARD SURFACES, AS SHOWN ON THE SITE DRAWINGS. USE 21AA CRUSHED LIMESTONE FOR DRIVEWAY AREAS AND 6AA/17A CRUSHED LIMESTONE FOR YARD.
 3. CONTRACTOR TO PROVIDE PRODUCT DATA TO CE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION. ALL REBAR MUST BE REMOVED FROM CRUSHED CONCRETE PRIOR TO INSTALLATION AND THERE MUST BE NO STAINING ON THE CONCRETE.



CONCRETE PIPELINE BRIDGING - PLAN VIEW
 NOT TO SCALE



SECTION A-A
 NOT TO SCALE



SECTION B-B
 NOT TO SCALE

CONCRETE BRIDGING DETAIL

REDLINE INFORMATION
 TO BE FILLED OUT BY REDLINER

SHEET COMPLETED AS MARKED
 POTENTIAL PUNCHLIST SHEET IMPACT
 SHEET COMPLETED AS ORIGINALLY DRAWN

REDLINE PERFORMED BY _____
 NAME: _____
 CONTACT: _____
 COMPANY: _____
 DATE: _____
 RFI #: _____



APPROVED
FOR 60% COMMENTS
 DATE: 08/27/2024

HIGHLAND CITY GATE
 2025 CONSTRUCTION

SITE DETAILS

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT ID	DATE	DESCRIPTION	DESIGNER	PEER REV.	DESIGN APP.	REV.	PROJECT ID	DATE	DESCRIPTION	DESIGNER	PEER REV.	DESIGN APP.	REV.	PROJECT ID	DATE	DESCRIPTION
					DESIGNER S.GAMACHE					DATE 8/27/2024								
					ENGINEER					DATE								
					PEER REV D.DOLOWY					DATE 8/27/2024								
					DESIGN APPROVAL R.MCEACHERN					DATE 8/27/2024								
					ENGINEER APPROVAL					DATE								

Consumers Energy
 Count on Us®
 GEO-SPATIAL & GAS ASSET MANAGEMENT
 Gas Meter and Regulation Department

FILE: 401412C1412-SAD.05.dgn
 RASTER FILE: _____
 SCALE: NONE

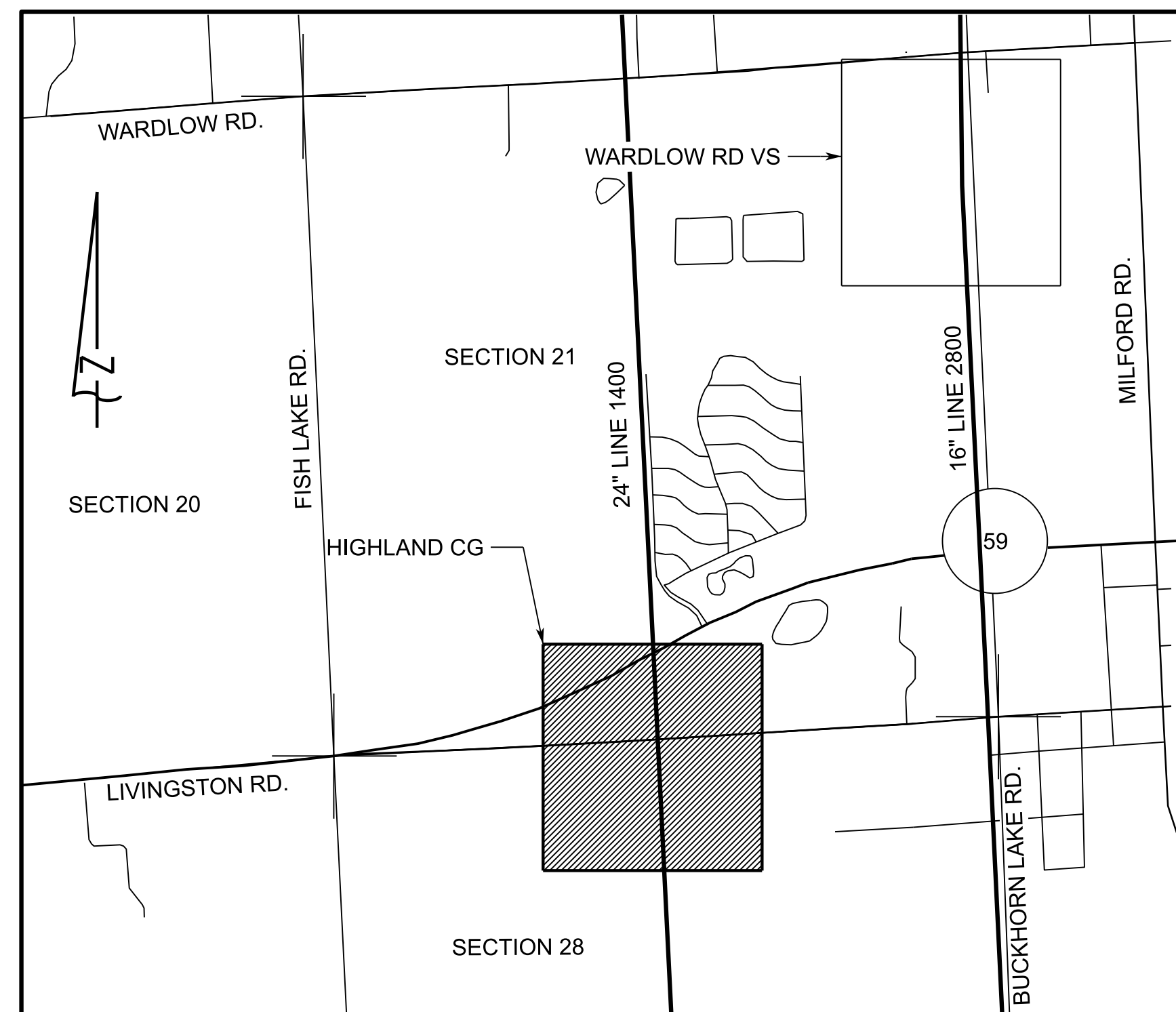
FIELD AREA: NORTHVILLE:WEST WAYNE/LIVONIA	PROJECT ID#	STA. NO.	DRAWING NO.	SHEET	REV
	GM-01056	H-2	C-1412-SAD	05	

H-2 HIGHLAND CG CITY GATE REBUILD

GM-01056
WO#42712002
2025 CONSTRUCTION

DRAWING LIST

401412C1412-PMT.01	PERMIT COVER SHEET
401412C1412-PMT.02	SITE GENERAL NOTES
401412C1412-PMT.03	DEMOLITION AND SESC PLAN
401412C1412-PMT.04	SITE AND GRADING PLAN



LOCATION MAP

SCALE: NONE

SECTION 21, R7E, T3N
HIGHLAND TOWNSHIP,
OAKLAND COUNTY

1160 W. LIVINGSTON RD.
HIGHLAND, MI 48357

43.40525° N
84.13821° W

**APPROVED
FOR 60% COMMENTS**

DATE: 08/27/2024

CAUTION

IF INSTALLATION
CANNOT BE COMPLETED
AS DESIGNED

CONTACT PROJECT ENGINEER
BEFORE PROCEEDING



Know what's below.
Call before you dig.
www.call811.com

©MISSING @ 1-888-451-7171

REDLINE INFORMATION
TO BE FILLED OUT BY REDLINER

- SHEET COMPLETED AS MARKED
- POTENTIAL PUNCHLIST SHEET IMPACT
- SHEET COMPLETED AS ORIGINALLY DRAWN

REDLINE PERFORMED BY _____

NAME: _____

CONTACT: _____

COMPANY: _____

DATE: _____

RFI #: _____

CONSUMERS ENERGY CONTACTS

DEPARTMENT	NAME	PHONE NUMBER
PROJECT MANAGER	Manav Mittal	616-836-8321
PROJECT ENGINEER	Rob McEachern	734-691-0823
FIELD LEADER	Sarah Roch	231-632-0319

HIGHLAND CITY GATE
2025 CONSTRUCTION

PERMIT COVER SHEET



Count on Us[®]
GEO-SPATIAL & GAS ASSET MANAGEMENT
Gas Meter and Regulation Department

FIELD AREA: NORTHVILLE:WEST WAYNE LIVONIA

PROJECT ID#	STA. NO.	DRAWING NO.	SHEET	REV
GM-01056	H-2	C-1412-PMT	01	

FILE: 401412C1412-PMT.01.dgn
RASTER FILE: _____
SCALE: NONE

DRAWING FILES ARE THE INTELLECTUAL PROPERTY OF CONSUMERS ENERGY
AND SHALL NOT BE DISTRIBUTED EXTERNALLY WITHOUT OWNER PERMISSION

DO NOT SCALE DRAWING USE DIMENSIONS ONLY

STANDARD DRAWING NO. REV. DATE:

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT ID	DATE	DESCRIPTION	DES. ENG.	PEER REV.	DES. ENG. APP.	REV.	PROJECT ID	DATE	DESCRIPTION	DES. ENG.	PEER REV.	DES. ENG. APP.	REV.

DESIGNER	S.GAMACHE	DATE	8/27/2024
ENGINEER		DATE	
PEER REV	D.DOLOWY	DATE	8/27/2024
DESIGN APPROVAL	R.MCEACHERN	DATE	8/27/2024
ENGINEER APPROVAL		DATE	

BOARD OF COUNTY ROAD COMMISSIONERS, OAKLAND COUNTY, MICHIGAN

PERMIT APPLICATION

MAKE CHECK PAYABLE TO ROAD COMMISSION FOR OAKLAND COUNTY

ROAD COMMISSION FOR OAKLAND COUNTY
RECEIVED
Aug 06 2024
DEPARTMENT OF CUSTOMER
SERVICES PERMITS

FOR R.C.O.C. USE ONLY	
Application No.	24-1242
Date Received	08-06-24
Permit E No.	65607
Date of Issuance	09-04-24

APPLICANT: Consumers Energy hereby makes APPLICATION for a permit to **CONSTRUCT, OPERATE, USE and/or MAINTAIN** or to **TEMPORARILY CLOSE A COUNTY ROAD** within the part of the right-of-way of road(s) Livingston Road and Highland Road under the jurisdiction of the Board: a detailed description of the desired facility and/or activity is required in the space provided below: (include size, length, type of facility; - if underground, indicate depth below surface; if parallel to road, indicate distance from inside edge of facility to edge of pavement, if crossing under roadbed, describe method). **THE FOLLOWING MUST BE ATTACHED TO THE APPLICATION WHEN APPLICABLE:** 1. Plans, specifications and location of facility. 2. Traffic plan and detour route in cases of street closures.

PLEASE CHECK THE APPROPRIATE BOX(ES) THAT APPLY TO THE TYPE OF WORK YOU WISH TO OBTAIN A PERMIT FOR:

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> Annual | <input type="checkbox"/> Community Event | <input type="checkbox"/> Public Utility (i.e. electric, gas, telephone) | <input type="checkbox"/> Soil Boring/Monitoring Well |
| <input checked="" type="checkbox"/> Approach/Private Road Access | <input checked="" type="checkbox"/> Landscaping/Grading | <input type="checkbox"/> Sanitary/Storm Sewer | <input type="checkbox"/> Watermain |
| <input type="checkbox"/> Cable TV | <input type="checkbox"/> Pathway/Sidewalk | <input type="checkbox"/> Sign/Subdivision Entrance Marker | <input type="checkbox"/> Other _____ |

Removal of existing gravel approach, removal of tree, proposed concrete approach, proposed regrading of existing ditch
Removal of (2) existing 12" CMP below existing driveway approach, addition of approximately 50LF and 45 LF of proposed 12" RCP beneath proposed concrete approach

City or Township Highland Section No. 21
The above activities will be carried out in accordance with plans, specifications, maps and statements filed with the R.C.O.C. as part of this application, and if said application is approved, the above named applicant agrees to abide by the **CONDITIONS** contained on the reverse side. Since a permit will have to be secured from the Board prior to the start of any construction or maintenance operations proposed by this application, it is intended that the **SUPPLEMENTAL SPECIFICATIONS**, on the reverse side, are to be incorporated as part of the plans or specifications required for this proposed work.

FOR R.C.O.C. USE ONLY	
Design: _____	Right-of-Way: _____
Traffic: _____	Maintenance: _____
Planning: _____	Construction: _____
Subdivision: _____	
Environmental Concerns: _____	Permits: WRM


FOR R.C.O.C. USE ONLY	
Application Fee: \$ 300.00	Permit Fee: \$ 500
Receipt No: _____	Deposit: \$ <u>APA</u>
Bond: \$ <u>APA</u>	Estimated Inspection Fee: \$ 1,500
(RCOC Form 75)	Paint Fee: \$ _____
	Sign Fee: \$ _____
	Signal Fee: \$ _____
TOTAL FEES DUE	
AT TIME OF PERMIT ISSUANCE: \$ 2,000	
Proof of Insurance Required	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Pollution Liability Required	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

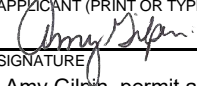
This application is approved subject to **CONDITIONS** and **SUPPLEMENTAL SPECIFICATIONS** contained on the reverse side of this application. Approval of this application does not relieve applicant from meeting any applicable requirements or duties of law or other public bodies or agencies including but not limited to the Michigan Department of Natural Resources. **APPROVAL OF THIS APPLICATION EXPIRES IN ONE YEAR IF A PERMIT HAS NOT BEEN ISSUED. RESUBMITTAL OF CURRENT PLANS, PERMIT APPLICATION REVIEW FEES AND PERMIT APPLICATION IS REQUIRED IF APPROVAL OF THIS APPLICATION HAS EXPIRED.**

REFER ALL INQUIRIES TO (248) 858-4835

DEPARTMENT OF CUSTOMER SERVICES
PERMITS
2420 PONTIAC LAKE ROAD
WATERFORD, MI 48328

APPLICATION APPROVED:

By:  Date: 9-4-24

Amy Gilpin/Consumers Energy
APPLICANT (PRINT OR TYPE) _____
 8/1/2024
SIGNATURE DATE
Amy Gilpin, permit agent
(PRINTED/TYPED SIGNATURE & TITLE)
One Energy Plaza 517-745-1639
APPLICANT'S ADDRESS TELEPHONE NUMBER
Jackson, MI 49201
CITY STATE ZIP CODE
amy.gilpin@cmsenergy.com
EMAIL ADDRESS

AS A CONDITION OF THE APPROVAL OF THIS APPLICATION, THE APPLICANT AGREES TO THE FOLLOWING CONDITIONS:

1. The application agrees to secure, or cause to be secured, a permit from the Board prior to the commencement of construction or maintenance operations. If a contractor is to perform the construction or maintenance entailed in this application, the contractor shall secure the permit from the Board prior to the commencement of construction or maintenance operations and thereby assumes responsibility, along with the applicant, for any provisions of this application which apply to them.
2. Any and all construction proposed under this application will meet all requirements of the Board, together with the Supplemental Specifications as set forth below.
3. The applicant agrees to save harmless, indemnify, defend, and represent the Board and its employees against any and all claims for bodily injury or property damage, or any other claim arising out of or related to the creation, operation, use, or continuing existence of the structure or facility covered by the permit or for any other work done within county road right-of-way whether or not specifically authorized or in conformance with the description of activities for which the permit was issued. Applicant agrees and understands that the obligations set forth herein are binding upon their successors, transferors, assigns, sureties, and guarantors. The Applicant shall maintain insurance of a type and in an amount in conformance with the Board's established requirements and provide certificates of insurance in a type and amount which shall assure conformance with the Board's established requirements is currently in force for any and all facilities installed in the Board's right of way.
4. The applicant agrees to surrender the permit herein applied for; surrender all rights hereunder; cease operations; and remove, alter, relocate at applicant's own expense, the facilities for which this permit is granted whenever ordered to do so by the Board because of the need for the area covered by this permit for public uses or because of a default in the conditions of the permit. Upon failure to remove, alter, relocate or surrender the facilities pursuant to the order of the Board, the applicant agrees to reimburse the Board for its cost in doing same.
5. Nothing in this application shall be construed to grant any rights whatsoever to any public utilities whatsoever except as to the consent herein specifically given, nor to otherwise impair any existing rights granted in accordance with the constitution or laws of this State.
6. The obligation to construct, operate, use and/or maintain the facility to the satisfaction of the Board remains in force as long as the facility exists and is within the right-of-way under the jurisdiction of the Board. The applicant is obliged to repair any damage to the road and right of way which is a result of the facility and which occurs or appears after the permit licensee is released.
7. The necessary construction zone signing for the protection of traffic shall be in accordance with the most current edition of the Michigan Manual of Uniform Traffic Control Devices, Part 6. All such devices shall be furnished, installed and maintained by the Permit Holder. All construction signage shall have black lettering on a reflective fluorescent orange background, unless otherwise specified. The Permit Holder shall provide any additional signs, barricades and/or lights, at the Permit Holder's expense, required to protect the general motoring public and the work zone when requested by the Road Commission.
8. **ADDITIONAL CONDITIONS:** As will be identified in approved permit description.

SUPPLEMENTAL SPECIFICATIONS

1. **EXCAVATION AND DISPOSAL OF EXCAVATED MATERIAL:** The contractor and/or the utility company shall provide and place the necessary sheeting, shoring and bracing required to prevent caving, loss or settlement of foundation material supporting the pavement, or any other highway installation such as sewers, culverts, etc. The contractor and/or utility company shall assume the full responsibility for this protection. Excavated material shall be stocked in such locations that it does not obstruct vision on the traveled portion of the highway and in such a manner that it will not interfere with the flow of traffic. Sod and topsoil shall be stocked separately from other excavated material. The applicant shall dispose of all surplus and unsuitable material outside of the limits of the right-of-way unless the permit provides for, and with approval of abutting property owners, disposal at approved locations with the right-of-way. In the latter case, the material shall be leveled and trimmed in a manner approved by the Road Commission for Oakland County.
2. **BACKFILLING AND COMPACTING BACKFILL:** All trenches, holes, pits, and other excavations shall be filled with approved excavated earth or with MDOT Class II granular material if so provided, placed in successive layers not more than 9 inches in depth, loose measure, and each layer shall be thoroughly compacted by tamping and all backfill compaction will be subject to check by the Controlled Density Method (minimum 95%). Restoration shall be such that it will provide a condition equal to or better than the original condition and in accordance with current Road Commission for Oakland County standards. Any excavation within the right of way outside traveled portion of road must be maintained until all settlement has occurred and must be restored and seeded or sodded as directed. The permit will not be released until the Road Commission is satisfied that no further settlement will occur.
3. **CROSSING ROADBED BY TUNNELING, DIRECTIONAL BORE, JACK CASING AND BORE:** When the pipe is installed by tunneling without cutting the existing pavement, the tunnel shall be adequately sheeted or shored to prevent the sides and top from collapsing or the pavement from settling or cracking. Directional bore shall be at least 4 diameters under the pavement or 48 inches, whichever is greater. When the pipe is installed by boring and jacking, the leading edge of the pipe must always precede the auger. The tunnel backfill shall be made by tamping a dry mix of lean concrete into place so as to completely fill any voids remaining around the installation. The concrete shall be composed of one part of Portland cement and 10 parts of sand-gravel by volume. Tunnel and boring pits shall be at least 10 feet from the edge of the pavement unless otherwise approved.
4. **CROSSING BY CUTTING GRAVEL ROADS:** All trenches are to be backfilled with approved material to within 12 inches of surface within the limits of the roadbed. Backfill methods will be as described in paragraph 2 above. All surplus excavated material will be disposed of as described in paragraph 1. The top 12 inches within the roadbed will be backfilled with processed road gravel (MDOT 22A or 23A). Trenches outside of the roadbed will be backfilled in accordance with paragraph 2 above.
5. **CROSSING BY CUTTING PAVEMENT AND TRENCHING:** When this method is approved by the Road Commission, the pavement shall be cut so that the opening is a minimum of 5 feet wide and at least 1 foot wider on each side than the trench. In no case shall an open cut result in a remaining slab width of less than 5 feet from patch to an existing joint. The cut shall be made by sawing to a full pavement depth. Cuts in concrete residential and commercial drives shall be as above except that the patch width shall be a minimum of 3 feet and the remaining slab from patch to existing joint a minimum of 3 feet. Backfill shall be made with MDOT Class II granular material. After the backfill has been placed by control density method and thoroughly compacted, the pavement shall be replaced with a temporary surface of approved hot-mixed bituminous material and later replaced with new pavement of the original type and quality by the Permit Licensee unless other provisions are included in the permit.
6. **DEPTH OF COVER MATERIAL:** Pipes shall be placed to a depth that will provide not less than 4 feet of cover between the top of roadway surface and top of the pipe.
7. **TREE TRIMMING OR REMOVAL:** All trees that may be affected by the proposed construction shall be shown on the plans. The plan must clearly indicate which trees are proposed to be removed, trimmed and/or tunneled. This work, if approved, must be done in accordance with current Board standards, including advance notification of abutting property owners. Wood Disposal License Agreement(s) will be required for any tree work.
8. **DISPOSAL OF GROUND WATER:** Roadside drainage systems – open ditches, storm sewers, etc. – shall not be used for the disposal of water pumped from below the surface of the ground unless specifically allowed by the Road Commission. Details such as volume and frequency of discharge, erosion control, duration of use, NPDES permit and other pertinent information as may be required must be submitted with the application for such permission.
9. Any proposed operation in the right of way not covered by the above specifications, submitted with this application, shall be done in accordance with any additional specifications deemed necessary by the Board or as outlined in the Permit Rules, Specifications and Guidelines.

BOARD OF COUNTY ROAD COMMISSIONER, OAKLAND COUNTY, MICHIGAN
2420 PONTIAC LAKE ROAD - WATERFORD, MI 48328

REFER ALL INQUIRIES TO DEPARTMENT OF CUSTOMER SERVICES - PERMITS (248) 858-4835

Const. Bond: \$ 0.00
Permit Fee: \$ 500.00
Deposit: \$ 0.00
Est. Insp. Fee: \$ 1,500.00
Paint Fee: \$ 0.00
Sign Fee: \$ 0.00
Signal Fee: \$ 0.00

Application No: 24-1242
Permit No: 65607

This permit is issued on the condition that licensees and any persons working under the authority of this permit shall comply with the requirements of Act 53 of the P.A. of 1974.

CALL MISS DIG BEFORE YOU DIG
PHONE: (248) 647-7344

09/04/2024

Received of CONSUMERS ENERGY - JACKSON (1 ENERGY PLAZA) to be applied in accordance with the terms of below permit. BOARD OF COUNTY ROAD COMMISSIONERS, Oakland County, Michigan

by: _____ Deputy Secretary-Clerk

Subject to the conditions on the reverse side hereof and the application on file, permission is granted by the Board of County Road Commissioners, Oakland County, Michigan hereinafter referred to as the Board, to: CONSUMERS ENERGY - JACKSON (1 ENERGY PLAZA)

1 ENERGY PLAZA JACKSON, MI 49201 517-788-1529,

hereinafter referred to as the Licensee.

This is a permit to:

APPROVED AS NOTED ON THE PLANS***

REMOVE (2) EXISTING GRAVEL DRIVEWAY APPROACHES WITH 12" CMP CULVERTS, AND REPLACE WITH (2) CONCRETE APPROACHES AND 12" RCP CULVERTS PLUS END SECTIONS ON THE NORTH SIDE OF W LIVINGSTON ROAD EAST OF HIGHLAND ROAD FOR #1160 ADDRESS. PERFORM ANY DITCHING OR GRADING TO PROVIDE POSITIVE ROADSIDE DRAINAGE. RESTORE DISTURBED RIGHT-OF-WAY.

SUBCONTRACTORS AND ANY OTHER PARTIES WORKING ON BEHALF OF THE PERMITTEE SHALL BE MADE AWARE OF THE TERMS OF THE PERMIT, AND BE PROVIDED WITH ACCESS TO RCOC "PERMIT RULES, SPECIFICATIONS AND GUIDELINES."

FIXED OBJECTS SHALL BE NO NEARER THAN 6 FEET FROM BACK OF FINISHED CURB. REMOVE OR RELOCATE EXISTING FIXED OBJECTS PRIOR TO CONSTRUCTION.

PAVEMENT SHALL CONSIST OF A MINIMUM 9 INCHES OF MDOT 35-P CONCRETE, WITH EPOXY COATED REBAR LANE AND CURB TIES IF APPROPRIATE, OVER A SUITABLE BASE, AS DETERMINED BY RCOC.

PROPER SIGNING IS REQUIRED BEFORE BEGINNING WORK WITHIN THE RIGHT-OF-WAY. MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES. LANE CLOSURES SHALL BE RESTRICTED TO THE HOURS OF 9 AM TO 3 PM MONDAY THROUGH FRIDAY, OR DURING DAYLIGHT HOURS ON WEEKENDS.

NOTIFY INSPECTOR OR PERMIT SUPERVISOR 48 HOURS PRIOR TO BEGINNING WORK.

All construction shall be in accordance with the attached approved plan and application on file for: CONSUMERS ENERGY - JACKSON (1 ENERGY PLAZA)

as prepared by CONSUMERS

and with the RCOC Supplementary Permit Specifications as follows:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLAN AND APPLICATION ON FILE AND WITH THE ROAD COMMISSION FOR OAKLAND COUNTY PERMIT RULES, SPECIFICATIONS, AND GUIDELINES DATED MARCH 14, 2013.

This permit is granted for the period

Commencing 09/04/2024
and ending 06/30/2025

HIGHLAND 21

BOARD OF COUNTY ROAD COMMISSIONERS, Oakland County, Michigan
Department of Customer Services - Permits

By: _____

In consideration of the granting of this permit, the undersigned Licensee hereby agrees to abide by and conform with all of the terms and conditions herein set forth or incorporated herein by reference. (SEE APPLICATION AND REVERSE SIDE FOR CONDITIONS OF PERMIT.)

09/04/2024 CONSUMERS ENERGY - JACKSON (1 ENERGY PLAZA)

By: X _____

BOARD OF COUNTY ROAD COMMISSIONERS, OAKLAND COUNTY, MICHIGAN

PERMIT APPLICATION

MAKE CHECK PAYABLE TO ROAD COMMISSION FOR OAKLAND COUNTY

ROAD COMMISSION FOR OAKLAND COUNTY
RECEIVED
 Aug 06 2024
 DEPARTMENT OF CUSTOMER
 SERVICES PERMITS

FOR R.C.O.C. USE ONLY	
Application No.	<u>24-1242</u>
Date Received	<u>08-06-24</u>
Permit E No.	<u>105607</u>
Date of Issuance	<u>9-4-24</u>

APPLICANT: Consumers Energy hereby makes APPLICATION for a permit to **CONSTRUCT, OPERATE, USE and/or MAINTAIN or to TEMPORARILY CLOSE A COUNTY ROAD** within the part of the right-of-way of road(s) Livingston Road and Highland Road under the jurisdiction of the Board: a detailed description of the desired facility and/or activity is required in the space provided below: (include size, length, type of facility; - if underground, indicate depth below surface; if parallel to road, indicate distance from inside edge of facility to edge of pavement, if crossing under roadbed, describe method). **THE FOLLOWING MUST BE ATTACHED TO THE APPLICATION WHEN APPLICABLE:** 1. Plans, specifications and location of facility. 2. Traffic plan and detour route in cases of street closures.

PLEASE CHECK THE APPROPRIATE BOX(ES) THAT APPLY TO THE TYPE OF WORK YOU WISH TO OBTAIN A PERMIT FOR:

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> Annual | <input type="checkbox"/> Community Event | <input type="checkbox"/> Public Utility (i.e. electric, gas, telephone) | <input type="checkbox"/> Soil Boring/Monitoring Well |
| <input checked="" type="checkbox"/> Approach/Private Road Access | <input checked="" type="checkbox"/> Landscaping/Grading | <input type="checkbox"/> Sanitary/Storm Sewer | <input type="checkbox"/> Watermain |
| <input type="checkbox"/> Cable TV | <input type="checkbox"/> Pathway/Sidewalk | <input type="checkbox"/> Sign/Subdivision Entrance Marker | <input type="checkbox"/> Other _____ |

Removal of existing gravel approach, removal of tree, proposed concrete approach, proposed regrading of existing ditch
 Removal of (2) existing 12" CMP below existing driveway approach, addition of approximately 50LF and 45 LF of proposed 12" RCP beneath proposed concrete approach

City or Township Highland Section No. 21
 The above activities will be carried out in accordance with plans, specifications, maps and statements filed with the R.C.O.C. as part of this application, and if said application is approved, the above named applicant agrees to abide by the **CONDITIONS** contained on the reverse side. Since a permit will have to be secured from the Board prior to the start of any construction or maintenance operations proposed by this application, it is intended that the **SUPPLEMENTAL SPECIFICATIONS**, on the reverse side, are to be incorporated as part of the plans or specifications required for this proposed work.

FOR R.C.O.C. USE ONLY	
Design: _____	Right-of-Way: _____
Traffic: _____	Maintenance: _____
Planning: _____	Construction: _____
Subdivision: _____	
Environmental Concerns: _____	Permits: WRM

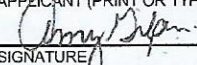
FOR R.C.O.C. USE ONLY	
Application Fee: \$ <u>300.00</u>	Permit Fee: \$ <u>500</u>
Receipt No: _____	Deposit: \$ <u>APA</u>
Bond: \$ <u>APA</u>	Estimated Inspection Fee: \$ <u>1,500</u>
(RCOC Form 75)	Paint Fee: \$ _____
	Sign Fee: \$ _____
	Signal Fee: \$ _____
TOTAL FEES DUE	
AT TIME OF PERMIT ISSUANCE: \$ <u>2,000</u>	
Proof of Insurance Required	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Pollution Liability Required	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>


This application is approved subject to **CONDITIONS** and **SUPPLEMENTAL SPECIFICATIONS** contained on the reverse side of this application. Approval of this application does not relieve applicant from meeting any applicable requirements or duties of law or other public bodies or agencies including but not limited to the Michigan Department of Natural Resources.

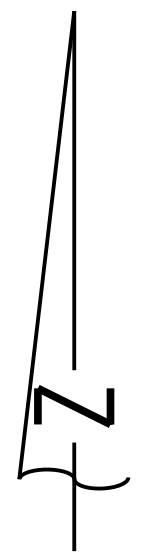
APPROVAL OF THIS APPLICATION EXPIRES IN ONE YEAR IF A PERMIT HAS NOT BEEN ISSUED. RESUBMITTAL OF CURRENT PLANS, PERMIT APPLICATION REVIEW FEES AND PERMIT APPLICATION IS REQUIRED IF APPROVAL OF THIS APPLICATION HAS EXPIRED.

REFER ALL INQUIRIES TO (248) 858-4835
 DEPARTMENT OF CUSTOMER SERVICES
 PERMITS
 2420 PONTIAC LAKE ROAD
 WATERFORD, MI 48328

APPLICATION APPROVED:

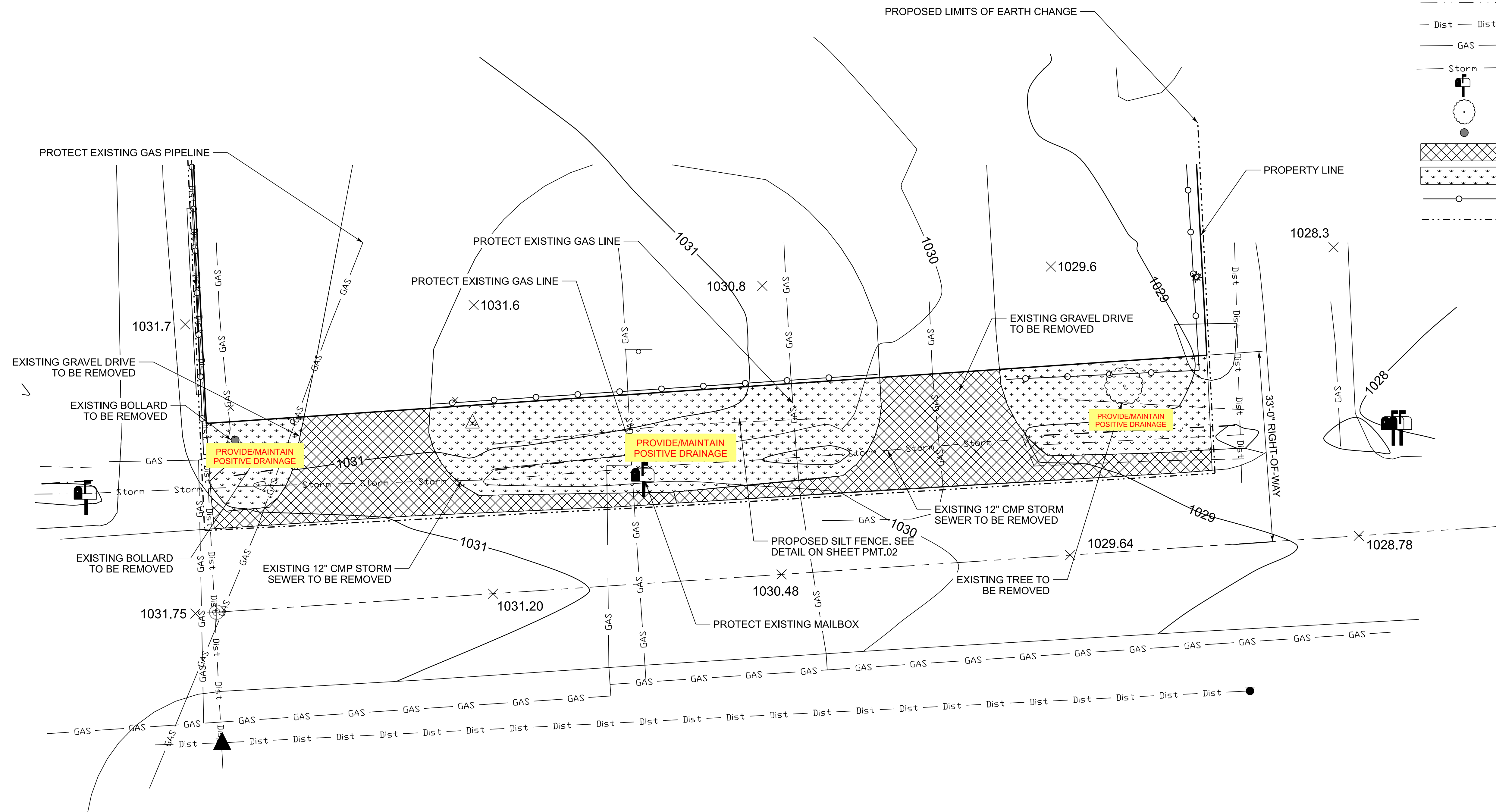
Amy Gilpin/Consumers Energy
 APPLICANT (PRINT OR TYPE) _____

 SIGNATURE _____ DATE 8/1/2024
 Amy Gilpin, permit agent
 (PRINTED/TYPED SIGNATURE & TITLE) _____
One Energy Plaza _____
 APPLICANT'S ADDRESS _____ TELEPHONE NUMBER 517-745-1639
Jackson, MI 49201 _____
 CITY _____ STATE _____ ZIP CODE _____
amy.gilpin@cmsenergy.com
 EMAIL ADDRESS _____

By:  Date: 9-4-24



LEGEND

- PROPERTY LINE
- - - - - CENTERLINE
- 1030 ——— EXISTING CONTOURS
- - - - - TOP OF BANK
- - - - - TOE OF BANK
- - - - - DITCH CENTERLINE
- Dist - Dist - EXISTING OVERHEAD ELECTRIC
- GAS ——— EXISTING GAS LINE
- Storm —— EXISTING STORM SEWER
- ☐ EXISTING MAILBOX
- EXISTING TREE TO BE REMOVED
- EXISTING BOLLARD TO BE REMOVED
- ▨ EXISTING GRAVEL DRIVE TO BE REMOVED
- ▩ EXISTING AREA TO BE CLEARED AND GRUBBED
- ○ ○ ○ ○ PROPOSED SILT FENCE
- - - - - LIMITS OF EARTH CHANGE



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REDLINE INFORMATION
TO BE FILLED OUT BY REDLINER

SHEET COMPLETED AS MARKED

POTENTIAL PUNCHLIST SHEET IMPACT

SHEET COMPLETED AS ORIGINALLY DRAWN

REDLINE PERFORMED BY

NAME: _____

CONTACT: _____

COMPANY: _____

DATE: _____

RFI #: _____

**HIGHLAND CITY GATE
2025 CONSTRUCTION**

**DEMOLITION AND SOIL EROSION AND
SEDIMENT CONTROL PLAN ROW**



GEO-SPATIAL & GAS ASSET MANAGEMENT
Gas Meter and Regulation Department

FIELD AREA: NORTHVILLE/WEST WAYNE/LIVONIA	PROJECT ID#	STA. NO.	DRAWING NO.	SHEET	REV
	GM-01056	H-2	C-1412-PMT	03E	

DESIGNER	S.GAMACHE	DATE	9/25/2024
ENGINEER		DATE	
PEER REV	D.DOLOWY	DATE	9/25/2024
DESIGN APPROVAL	R.MCEACHERN	DATE	9/25/2024
ENGINEER APPROVAL		DATE	

ORIGINAL DRAWING #

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT ID	DATE	DESCRIPTION	DES. ENGR.	PEER REV.	DES. ENGR. APP.	REV.	PROJECT ID	DATE	DESCRIPTION	DES. ENGR.	PEER REV.	DES. ENGR. APP.	REV.

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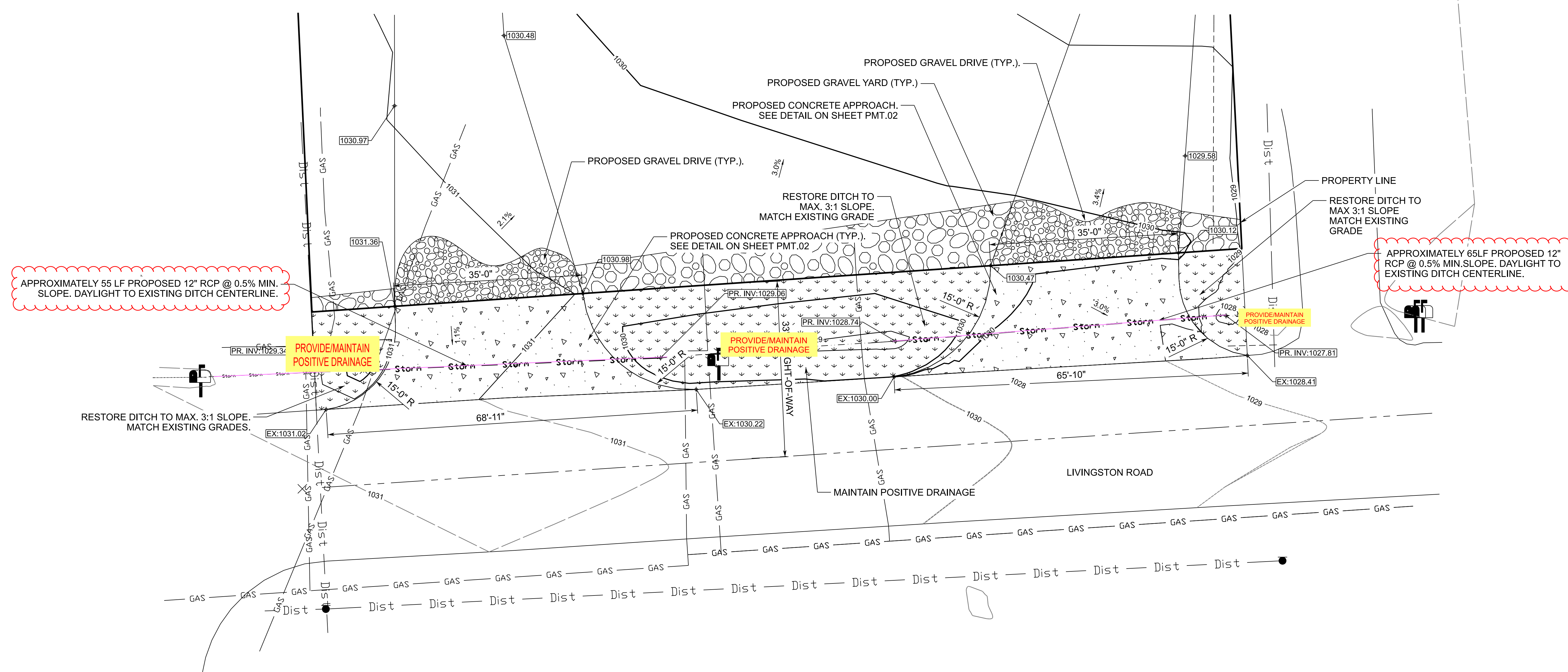
SCALE: 1" = 10'-0"

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7

LEGEND

- PROPERTY LINE
- 1029 ----- EXISTING CONTOUR
- - - - - EXISTING TOP OF BANK
- - - - - EXISTING TOE OF BANK
- Dist — EXISTING OVERHEAD ELECTRIC
- GAS — EXISTING GAS PIPELINE
- - - - - EXISTING DITCH CENTERLINE
- Storm — Storm — EXISTING STORM SEWER
- [Pattern] PROPOSED CONCRETE
- [Pattern] PROPOSED GRAVEL DRIVE
- [Pattern] PROPOSED GRAVEL YARD
- [Pattern] PROPOSED LANDSCAPE RESTORATION
- 1030 — PROPOSED CONTOUR
- Storm — PROPOSED STORM SEWER
- ◆ EX:1028.41 EXISTING SPOT GRADE
- ◆ 1030.12 PROPOSED SPOT GRADE
- ◆ PR_INV:1028.62 PROPOSED INVERT SPOT GRADE
- 3.0% PROPOSED SLOPE



APPROVED FOR PERMITTING
DATE: 09/25/2024

REDLINE INFORMATION
TO BE FILLED OUT BY REDLINER

SHEET COMPLETED AS MARKED
 POTENTIAL PUNCHLIST SHEET IMPACT
 SHEET COMPLETED AS ORIGINALLY DRAWN

REDLINE PERFORMED BY
 NAME: _____
 CONTACT: _____
 COMPANY: _____
 DATE: _____
 RFI #: _____

HIGHLAND CITY GATE 2025 CONSTRUCTION
GRADING AND UTILITY PLAN - ROW

FIELD AREA: NORTHVILLE/WEST WAYNE/LIVONIA

PROJECT ID#	STA. NO.	DRAWING NO.	SHEET	REV
GM-01056	H-2	C-1412-PMT	04E	

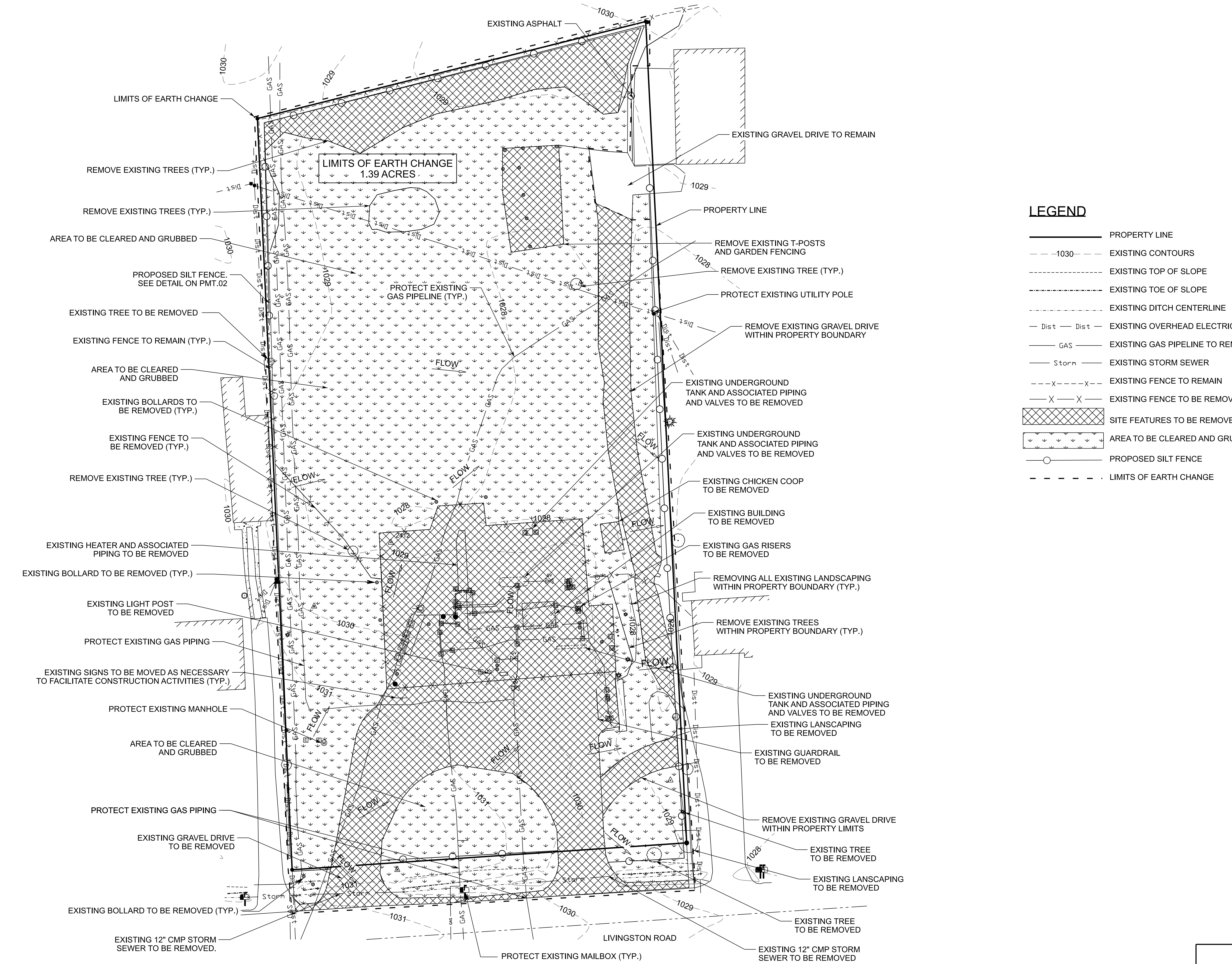
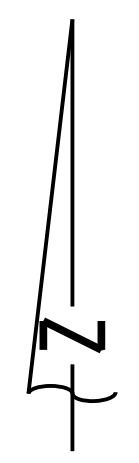
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 Gas Meter and Regulation Department

FILE: 401412C1412-PMT.04E.dgn
 RASTER FILE: _____
 SCALE: 1" = 10'-0"

DESIGNER	S.GAMACHE	DATE	9/25/2024
ENGINEER		DATE	
PEER REV	D.DOLOWY	DATE	9/25/2024
DESIGN APPROVAL	R.MCEACHERN	DATE	9/25/2024
ENGINEER APPROVAL		DATE	

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT ID	DATE	DESCRIPTION	DES.ENG.	PEER REV.	DES.ENG. APP.	REV.	PROJECT ID	DATE	DESCRIPTION	DES.ENG.	PEER REV.	DES.ENG. APP.	REV.

STANDARD DRAWING INC. REV. DATE:



- LEGEND**
- PROPERTY LINE
 - - - 1030 - - - EXISTING CONTOURS
 - - - - - EXISTING TOP OF SLOPE
 - - - - - EXISTING TOE OF SLOPE
 - - - - - EXISTING DITCH CENTERLINE
 - Dist - Dist - EXISTING OVERHEAD ELECTRIC
 - GAS - EXISTING GAS PIPELINE TO REMAIN
 - Storm - EXISTING STORM SEWER
 - - - X - - - X - - - EXISTING FENCE TO REMAIN
 - X - X - EXISTING FENCE TO BE REMOVED
 - [Cross-hatched box] SITE FEATURES TO BE REMOVED
 - [Arrow pattern box] AREA TO BE CLEARED AND GRUBBED
 - O - PROPOSED SILT FENCE
 - - - - - LIMITS OF EARTH CHANGE



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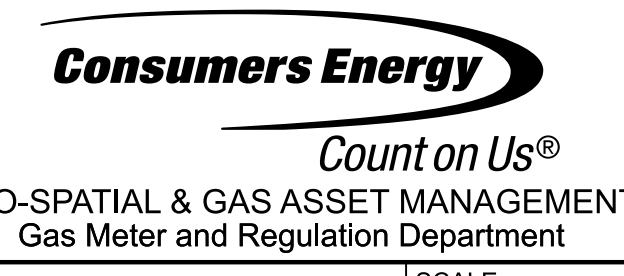
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TO BE FILLED OUT BY REDLINER

SHEET COMPLETED AS MARKED
 POTENTIAL PUNCHLIST SHEET IMPACT
 SHEET COMPLETED AS ORIGINALLY DRAWN

REDLINE PERFORMED BY
NAME: _____
CONTACT: _____
COMPANY: _____
DATE: _____
RFI #: _____

**HIGHLAND CITY GATE
2025 CONSTRUCTION**

**EXISTING SITE AND
REMOVAL PLAN**



GEO-SPATIAL & GAS ASSET MANAGEMENT
Gas Meter and Regulation Department

FIELD AREA: NORTHVILLE:WEST WAYNE/LIVONIA	PROJECT ID#	STA. NO.	DRAWING NO.	SHEET	REV
	GM-01056	H-2	C-1412-PMT	03	

DESIGNER	S.GAMACHE	DATE	8/27/2024
ENGINEER		DATE	
PEER REV	D.DOLOWY	DATE	8/27/2024
DESIGN APPROVAL	R.MCEACHERN	DATE	8/27/2024
ENGINEER APPROVAL		DATE	

ORIGINAL DRAWING #

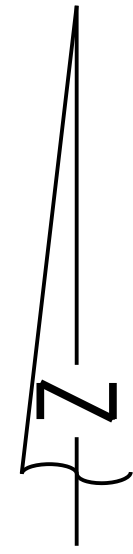
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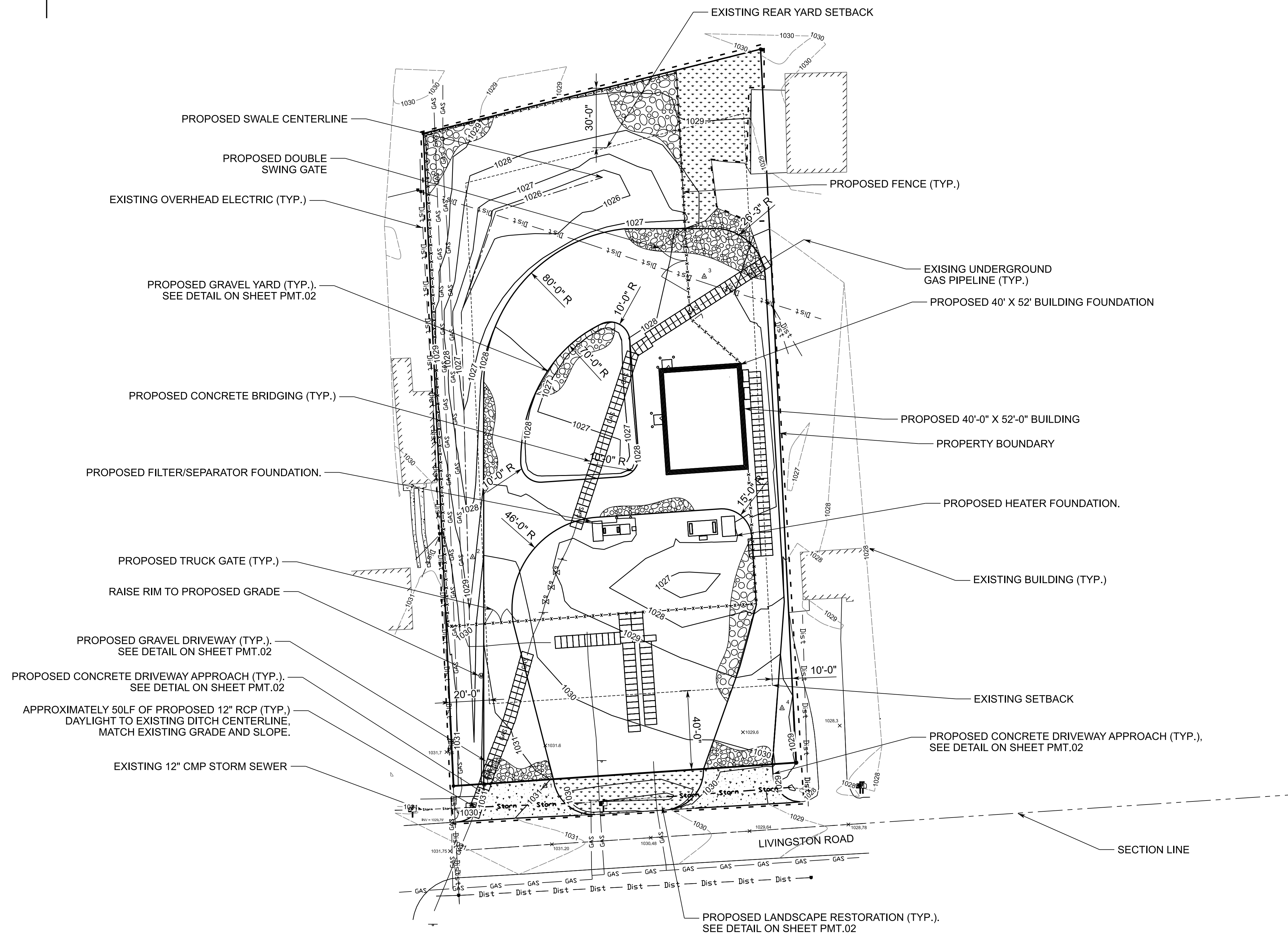
SCALE
1" = 20'-0"

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LEGEND

- PROPERTY LINE
- - - - - EXISTING SETBACK
- GAS - GAS - EXISTING UNDERGROUND GAS LINE
- ▲ GPS CONTROL POINT
- Dist - Dist - EXISTING OVERHEAD DISTRIBUTION LINE
- — — EXISTING SIGN
- Storm - Storm - Storm - Storm - EXISTING STORM SEWER
- - - - - EXISTING DITCH CENTERLINE
- - - - - EXISTING TOP OF BANK
- - - - - EXISTING TOE OF BANK
- 1030 EXISTING CONTOURS
- EXISTING BUILDING
- PROPOSED CONCRETE BRIDGING
- 1028 PROPOSED CONTOURS
- PROPOSED CONCRETE
- PROPOSED GRAVEL DRIVE
- PROPOSED GRAVEL YARD
- PROPOSED LANDSCAPE RESTORATION
- PROPOSED BOLLARD
- X - X - X - X - PROPOSED FENCE
- Storm - Storm - PROPOSED CONCRETE CULVERT
- LIMITS OF PROPOSED GRADING



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REDLINE INFORMATION
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- SHEET COMPLETED AS MARKED
- POTENTIAL PUNCHLIST SHEET IMPACT
- SHEET COMPLETED AS ORIGINALLY DRAWN

REDLINE PERFORMED BY
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 CONTACT: _____
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**HIGHLAND CITY GATE
 2025 CONSTRUCTION**

SITE PLAN

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 Gas Meter and Regulation Department

FIELD AREA: NORTHVILLE:WEST WAYNE/LIVONIA	PROJECT ID#	STA. NO.	DRAWING NO.	SHEET	REV
	GM-01056	H-2	C-1412-PMT	04	

DESIGNER S.GAMACHE DATE 8/27/2024
 ENGINEER _____ DATE _____
 PEER REV D.DOLOWY DATE 8/27/2024
 DESIGN APPROVAL R.MCEACHERN DATE 8/27/2024
 ENGINEER APPROVAL _____ DATE _____

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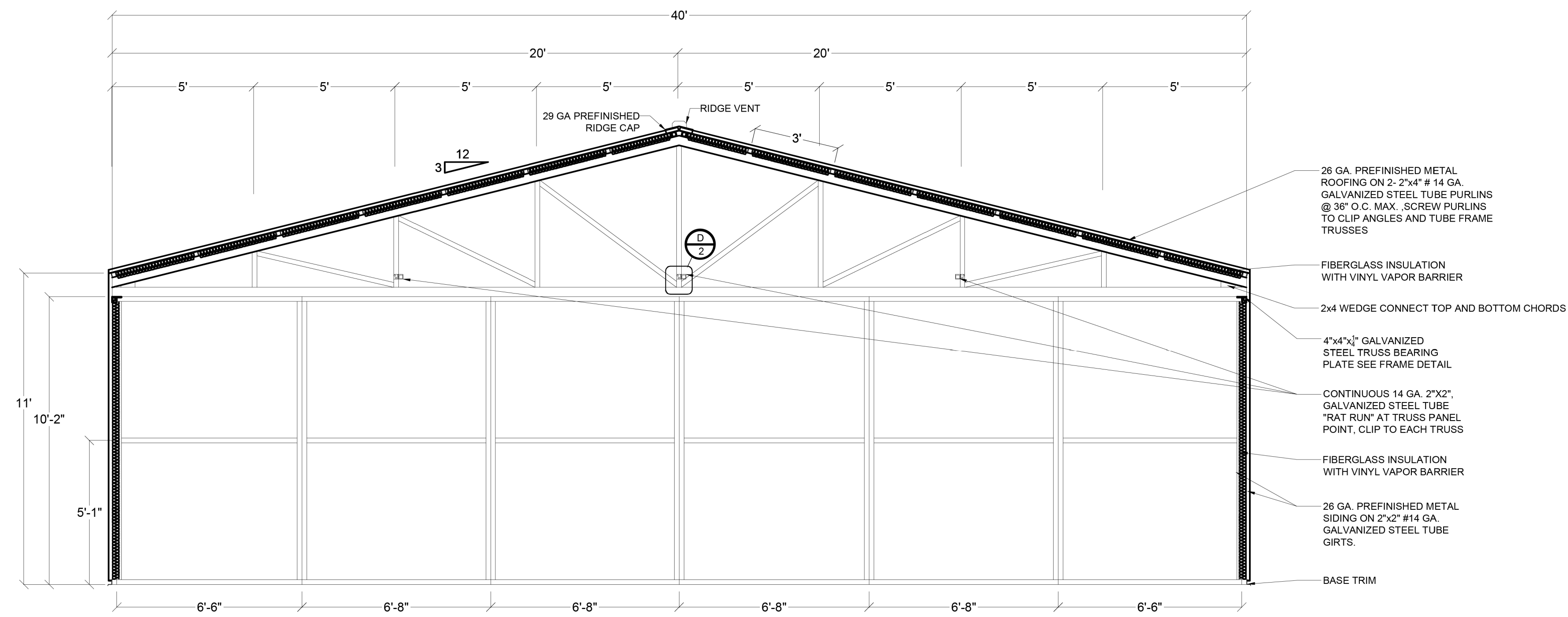
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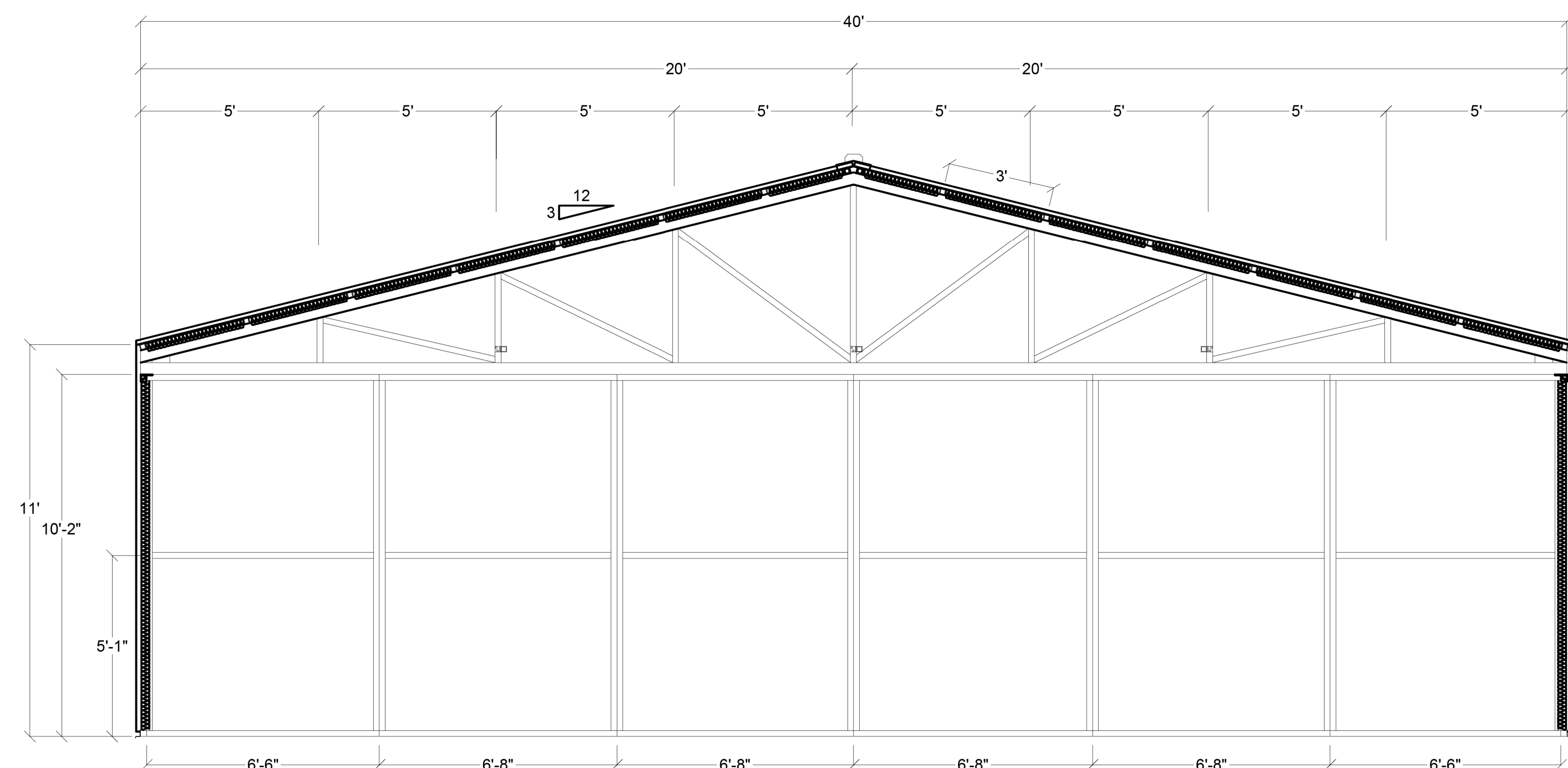
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REV. DATE:

STANDARD DRAWING NO.



A
3
NORTH BUILDING SECTION
N.T.S.



B
3
SOUTH BUILDING SECTION
N.T.S.



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SHEET COMPLETED AS MARKED
 POTENTIAL PUNCHLIST SHEET IMPACT
 SHEET COMPLETED AS ORIGINALLY DRAWN

REDLINE PERFORMED BY
NAME: _____
CONTACT: _____
COMPANY: _____
DATE: _____
RFI #: _____



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NORTHERN INDUSTRIAL CONSTRUCTION INC.	TITLE HIGHLAND CITY GATE BUILDING FRAMING	DESIGNED T.KOWALEWSKY							
	CLIENT DWG XXXXXXXXXXXX	DWG SHEET 3 OF 6	APPROVED T.WELLERT						
				AD	08/23/2024	ISSUED FOR REVIEW	TK	TCW	
				REV	DATE	DESCRIPTION	BY	APP	

ORIGINAL DRAWING #

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT ID	DATE	DESCRIPTION	DES. ENG.	PEER REV.	DES. ENG. APP.	REV.	PROJECT ID	DATE	DESCRIPTION	DES. ENG.	PEER REV.	DES. ENG. APP.	REV.

DESIGNER	S.GAMACHE	DATE	8/27/2024
ENGINEER		DATE	
PEER REV	D.DOLOWY	DATE	8/27/2024
DESIGN APPROVAL	R.MCEACHERN	DATE	8/27/2024
ENGINEER APPROVAL		DATE	

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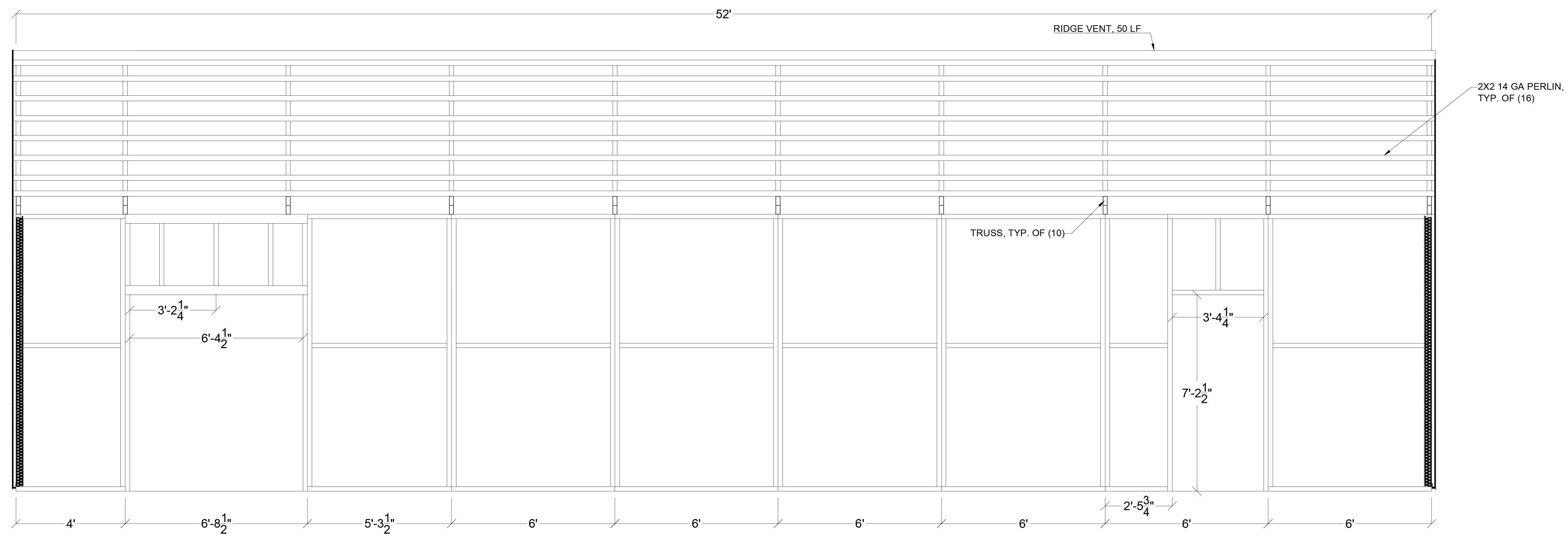
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HIGHLAND CITY GATE
2025 CONSTRUCTION

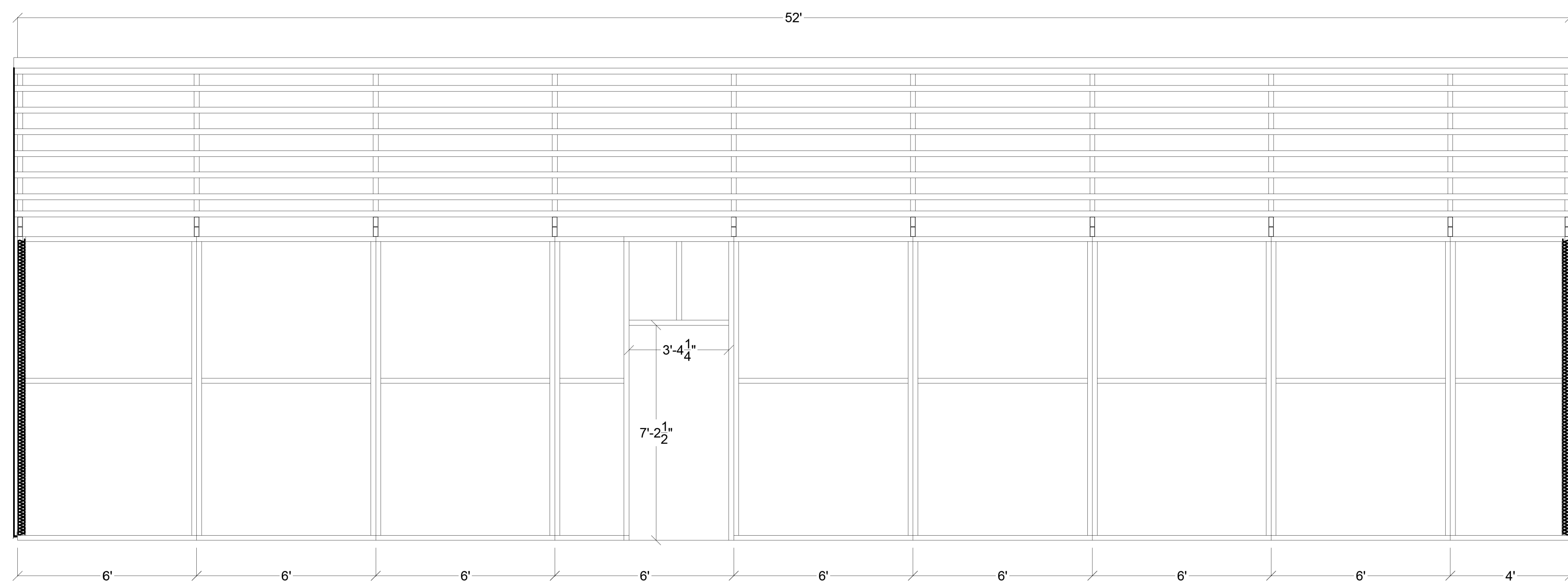
BUILDING DRAWINGS SHEET 3 OF 6			
FIELD AREA: NORTHVILLE:WEST WAYNE LIVONIA	PROJECT ID#	STA. NO.	DRAWING NO.
GM-01056	H-2	C-1412-VEN	03

STANDARD DRAWING NO.

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C
4 EAST BUILDING SECTION
N.T.S.



D
4 WEST BUILDING SECTION
N.T.S.



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- POTENTIAL PUNCHLIST SHEET IMPACT
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REDLINE PERFORMED BY

NAME: _____
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NORTHERN INDUSTRIAL CONSTRUCTION INC.	TITLE HIGHLAND CITY GATE BUILDING FRAMING	DESIGNED T.KOWALEWSKY							
	CLIENT DWG XXXXXXXXXXXXXXXXXX	DWG SHEET 4 OF 6	APPROVED T.WELLERT						
		AD REV	08/23/2024 DATE	ISSUED FOR REVIEW DESCRIPTION	TK BY	TCW APP			

ORIGINAL DRAWING #

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT ID	DATE	DESCRIPTION	DESIGN	PEER REV.	DESIGN APP.	PEER APP.	REV.	PROJECT ID	DATE	DESCRIPTION	DESIGN	PEER REV.	DESIGN APP.	PEER APP.	REV.	PROJECT ID	DATE	DESCRIPTION	

HIGHLAND CITY GATE
2025 CONSTRUCTION

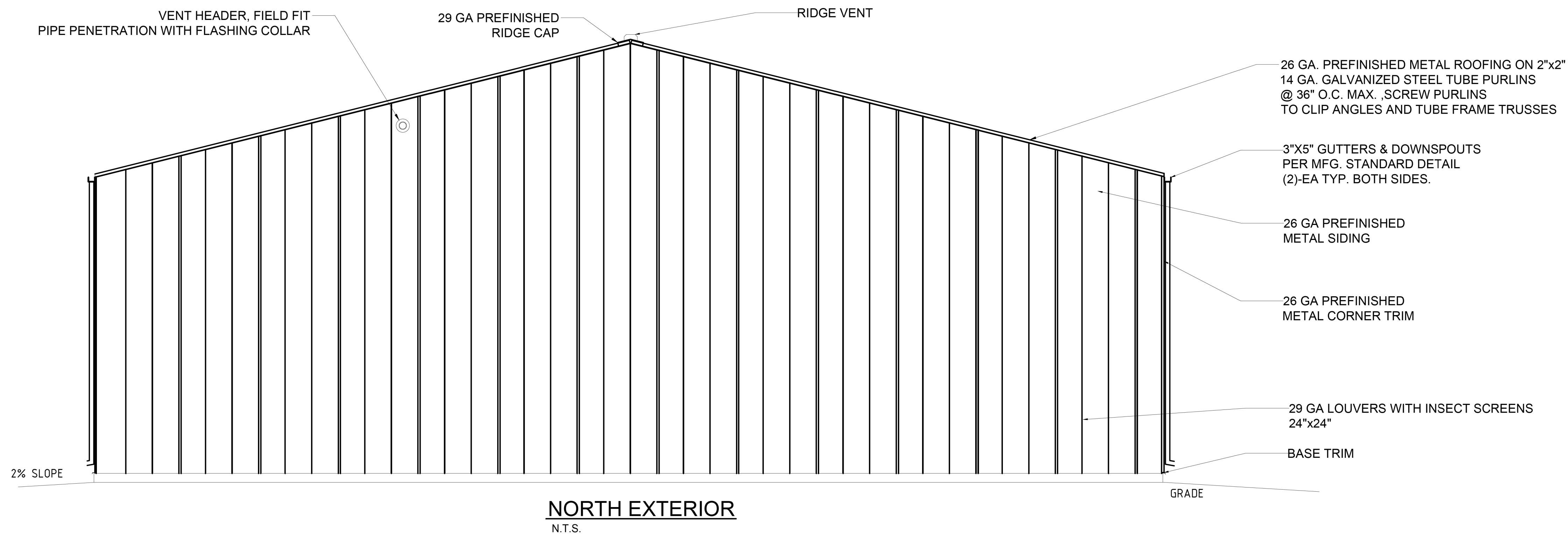
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<small>FIELD AREA: NORTHVILLE:WEST WAYNE LIVONIA</small>			
PROJECT ID#	STA. NO.	DRAWING NO.	SHEET REV
GM-01056	H-2	C-1412-VEN	04

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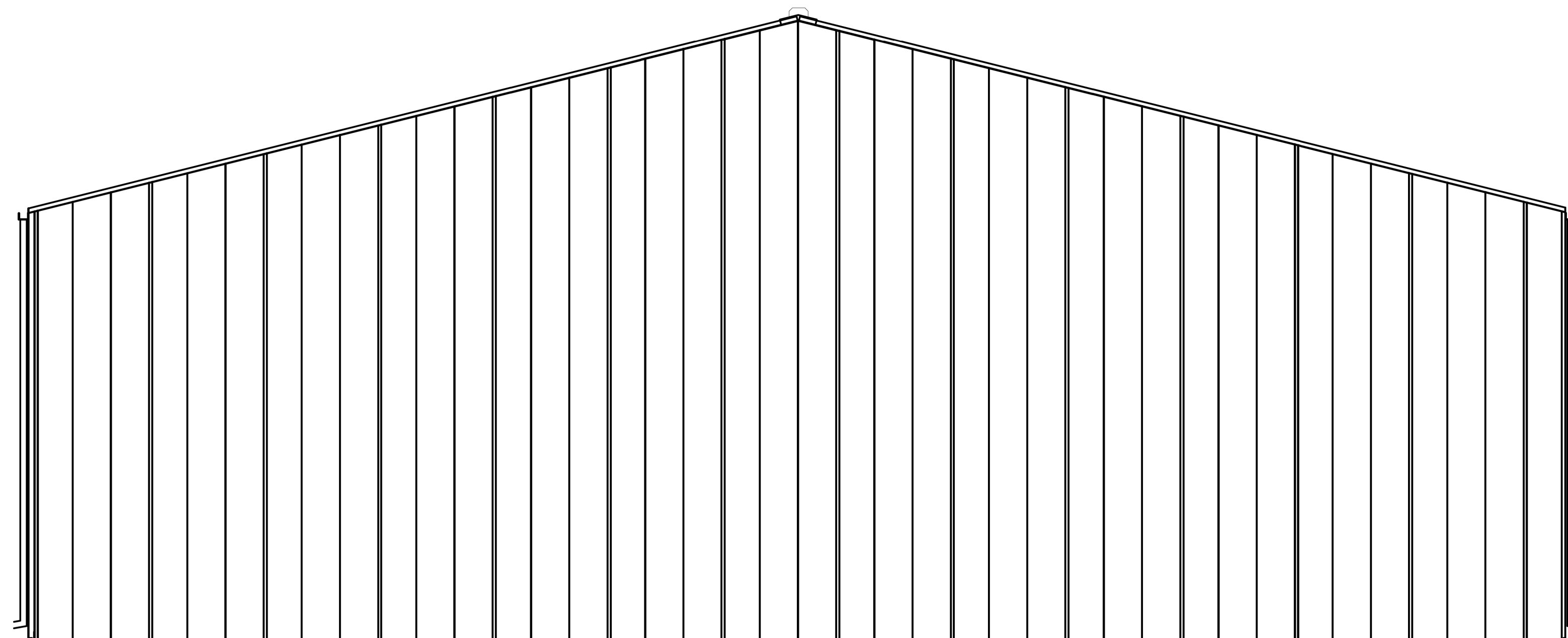
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SCALE

DESIGNER S.GAMACHE DATE 8/27/2024
ENGINEER _____ DATE _____
PEER REV D.DOLOWY DATE 8/27/2024
DESIGN APPROVAL R.MCEACHERN DATE 8/27/2024
ENGINEER APPROVAL _____ DATE _____



NORTH EXTERIOR
N.T.S.



SOUTH EXTERIOR
N.T.S.



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 - POTENTIAL PUNCHLIST SHEET IMPACT
 - SHEET COMPLETED AS ORIGINALLY DRAWN

REDLINE PERFORMED BY
NAME: _____
CONTACT: _____
COMPANY: _____
DATE: _____
RFI #: _____



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NORTHERN INDUSTRIAL CONSTRUCTION INC.	TITLE HIGHLAND CITY GATE BUILDING ARCHITECTURAL	DESIGNED T.KOWALEWSKY							
	CLIENT DWG XXXXXXXXXXXX	APPROVED T.WELLERT							
	DWG SHEET 5 OF 6	AD REV	08/22/2024 DATE	ISSUED FOR REVIEW DESCRIPTION	TK BY	TCW APP			

HIGHLAND CITY GATE
2025 CONSTRUCTION

BUILDING DRAWINGS
SHEET 5 OF 6

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SCALE

FIELD AREA: NORTHVILLE:WEST WAYNE LIVONIA	PROJECT ID#	STA. NO.	DRAWING NO.	SHEET	REV
GM-01056	H-2		C-1412-VEN	05	

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT ID	DATE	DESCRIPTION	DES. ENG.	PEER REV.	DES. ENG. APP.	REV.	PROJECT ID	DATE	DESCRIPTION	DES. ENG.	PEER REV.	DES. ENG. APP.	REV.

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