

PUBLIC HEARING CHARTER TOWNSHIP OF HIGHLAND PLANNING COMMISSION August 1, 2024 7:30 P.M.

NOTICE IS HEREBY GIVEN that a public hearing will be held at the Highland Activity Center, 209 N. John St. on Thursday, August 1, 2024, at 7:30 p.m.

Notice is further given that all interested parties are invited to review the request and offer comment through the internet or mail. The application may be viewed at http:\\highlandtwp.net under the Planning Commission tab. Comment may be submitted to planning@highlandtwp.org, mailed to the Township offices or dropped in our secure drop box at the Township Offices, 205 N. John St. If you have any questions, please call 248-887-3791, ext. 2.

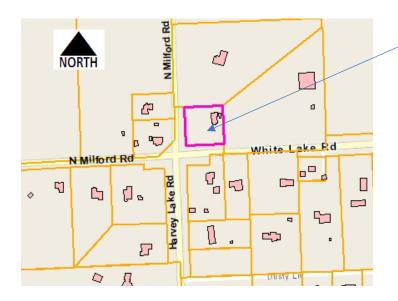
TO CONSIDER:

Request for Use Requiring Special Approval submitted by applicant Khalid Mheisen and property owner KHAB,LLC.to expand the site by the addition of a portable classroom unit.

REQUEST:

Section 4.06.C.5 Special Land Use as Child Care Center in LV Zoning District Article 6, Special Land Use Procedures and Standards.

LOCATION: 11-02-300-002, 1131 White Lake Road, aka Wiggles & Giggles



Parcel to be considered for special approval to expand a child care center

Grant Charlick, Acting Chairman Highland Township Planning Commission

(Publish: before July 17, 2024)



To whom it may concern:

We hope this message finds you well. The purpose of this project is to serve the need and demand of not only our parents but the community by large. Within our own center there are parents in need of child care and infant care. We hope to use the space for infants and toddlers, which will allow us to serve the needs of children under the age of 2. We purposely chose to use a classroom needing renovations to allow us to situate the building in a manner that meets our needs best. We also plan to have the exterior of the building displaying an educational mural. We look forward to working through this process with you.

Best Regards, Khaled Owner Wiggles and Giggles



Site Plan Review
Rezoning
Use Requiring Special Approval
Land Division
Land Division & Combination
Road Profile
Other

Nacm inside. Great outdoors.	Other
PLAN REVIEW APPLICATION	
Highland Township Planning Department, 205 N. John St, Highland	d, Michigan 48357 (248) 887-3791 Ext. 2
Date Filed: 7/1/24 Fee: # 750 Escrow	7: 2500 Case Number: 24-06
NOTICE TO APPLIC	CANT AND OWNER
BY SIGNING THIS APPLICATION, THE APPLICANT AND O	
ARE RESPONSIBLE FOR ALL APPLICATION AND CONSU	LTANT FEES THAT ARISE OUT OF THE REVIEW OF
THIS REQUEST THE OWNER ALSO AUTHORIZES THE TO NECESSARY, TO INFORM THE PUBLIC OF THE PENDING	WNSHIP TO PLACE A SIGN ON THE PROPERTY, IF
	+ / 4/
REQUIRED COF	ILO OI I LANO
INITIAL REVIEW: 2 HARD COPIES OF CONSULTANTS REVIEW OF APPROVED PLANS SUB-	PLANS AND .PDF COPY OF PLANS
	SJECT TO CONDITIONS: 5 COPIES AND .PDF COPY
	WNER INFORMATION
	AME: Imagination Station Two, LLC
	DDRESS: 1131 White Lake Rd ighland, MI 48326
	HONE: 734-635-3507
EMAIL: Kbmheisen@gmail.com	MAIL: Wigglesgigglesmi@gmail.com
The state of the s	VIAIL.
2. PROPERTY INFORMATION	
ADDRESS OR ADJACENT STREETS: 1131 White Lake Road LOT WIDTH: 192 LOT DEPTH: 192	LOT ADEA 2000 Se Fa
LOT WIDTH: 192 LOT DEPTH: 192 PARCEL IDENTIFICATION NUMBER(S): H-11-02-300-002	LOT AREA: 36,948 Sq.Ft.
PRESENT USE: Child Daycare LOT DEPTH: 192 Research Substitution of Management of Man	ROPOSED USE: Child Daycare Notary Public, State of Mar. 13, 2025
3. PROJECT INFORMATION	My C C Public Young
PROJECT NAME: Wiggles & Glygles Volume PROJECT TONING, ARR	Commission of Ways of MI
PRESENT LISE: Child Daycare	ROPOSED ZONING: ARR Single System State County Mar. 12
THE SERVE USE.	OPOSED USE: Child Daycare Child Daycare 13, 2025
APPLICANT APPLICANT	OWNER OF THE OWNER
SIGNATURE	SIGNATURE
PRINT NAME: Khaled Mheisen	A
On the 27th day of June ,2024 before me, a Notary Public, personally appeared the above named person whose	On the 27th day of Jone, 3024 before me, a Notary
signature appears above, and who executed the foregoing	Public, personally appeared the above named person whose signature appears above, and who executed the foregoing
instrument, and he/she acknowledged to me that he/she executed the same.	instrument, and he/she acknowledged to me that he/she
	executed the same.
State Of Michigan	State Of Michigan

Notary Public:

Notary Public:

olf there are Co-Applicants and/or Go-Owners associated with this property(ies) to be acted upon, please submit a Notarized Co-Applicants and/or Co-owner's "Interest in Property Certificate" with this application. The person signing this cover sheet will be considered the official designee for the group and all correspondence will be addressed to this person.

[•] A notarized letter giving the Applicant authorization to represent the Owner is also permitted in lieu of a signature on this application. Yno person signing this cover sheet, however, will be considered the official designee for the Owner and all correspondence will be aridressed to this person.

RCV'D

5.00

12/15/2023

OAKLAND COUNTY TREASURERS CERTIFICATE

This is to certify that there are no delinquent property taxes as of this date owed to our office on this property. No representation is made as to the status of any taxes, tax liens or titles owed to any other entities.

12/15/2023

· ROBERT WITTENBERG, County Treasurer Sec. 135, Act 206, 1893 as amended

135783 Liber 59066 Page 442 thru 443 12/15/2023 3:44:59 PM Receipt #000106185 Misc Recording \$26.00 \$4.00 Remonumentation \$5.00 Automation \$2,580.00 . Transfer Tax PAID RECORDED - Oakland County, MI e-recorded





WARRANTY DEED

The Grantor(s), Edward Ridalls and Karen Yvonne Ridalls, husband and wife whose address is 4025 Presidential Way. Highland, MI 48356, convey(s) and warrant(s) to KHAB, LLC, a Michigan Limited Liability Company, Grantee(s), whose address is 1131 White Lake Road, Highland, MI 48356, real property in the City of Highland, County of Oakland, State of Michigan, described as follows:

South 242.22 Feet of the West 242.22 feet of the Southwest 1/4 of Section 2, Town 3 North, Range 7 East, Except the South 50 feet of the West 50 feet taken for road.

Commonly known as: 1131 White Lake Road, Highland, MI 48356

Tax parcel no.

Parcel ID No(s).: H-11-02-300-92 002

For the Full Consideration of Three Hundred Thousand And No/100 Dollar(s) (\$300,000,00), together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining thereto, and together with the right to make all available divisions under Section 108 of the Land Division Act., Act No. 288 of the Public Acts of 1967.

And subject to building and use restrictions and easements of record, if any, zoning laws and ordinances affecting the premises, and rights of the public and of any governmental entity in any part thereof taken, used or deeded for street, road, right of way, or highway purposes, and subject to taxes and future installments of special assessments payable hereafter.

Dated this 4th day of December, 2023.

Edward Ridalls

STATE OF MICHIGAN } ss COUNTY OF OAKLAND }

On this 4th day of December, 2023, before me personally appeared Edward Ridalls and Karen Yvonne Ridalls, to me known to be the person(s) described jn and who executed the foregoing instrument and acknowledged the same.

Notary Public:

Printed Name: County, Michigan

My Commission Expires:

Acting in the County of <u>Outland</u>

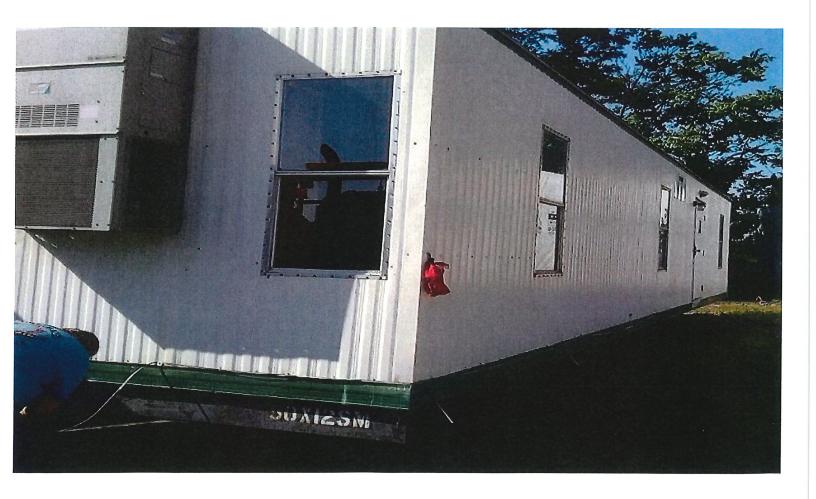
Prepared by/ Return to Peder Haldby, Esq. 26000 W. 12 Mile Rd, Southfield, MI 48034 File BT-11200 sty Con The Mo

MOTARY PUBLIC LIVINGSTON COUNTY

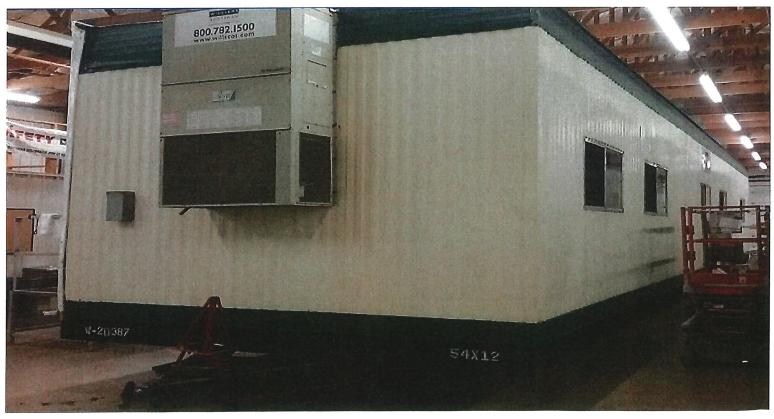
My Commission Explication of September 16, 20 July

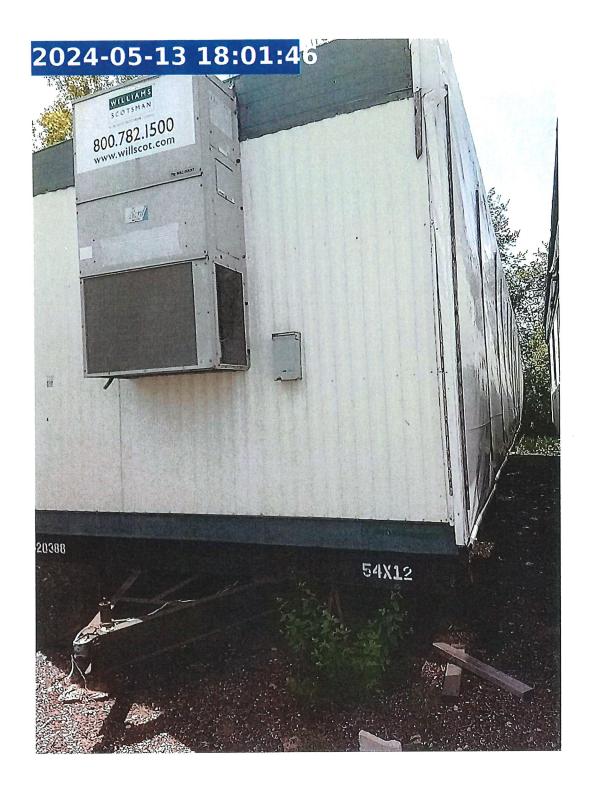
Acting in the County of MALICAL STEEDERS STE





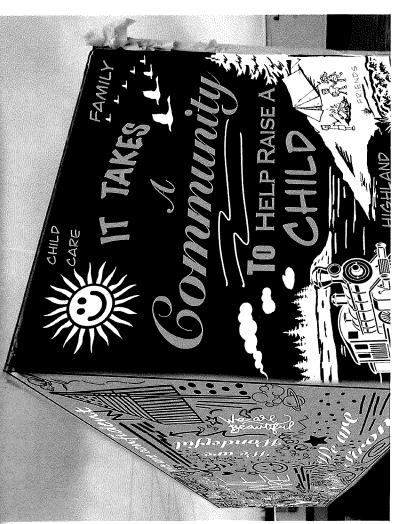






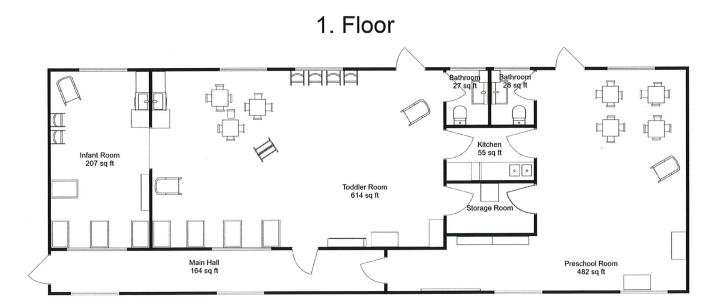






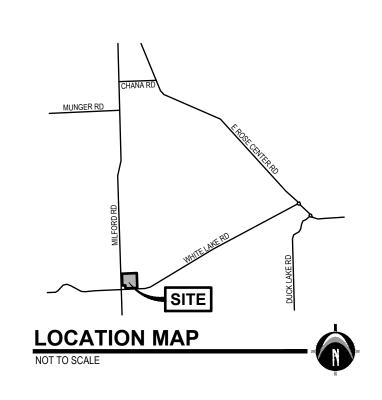


New Preschool Rooms

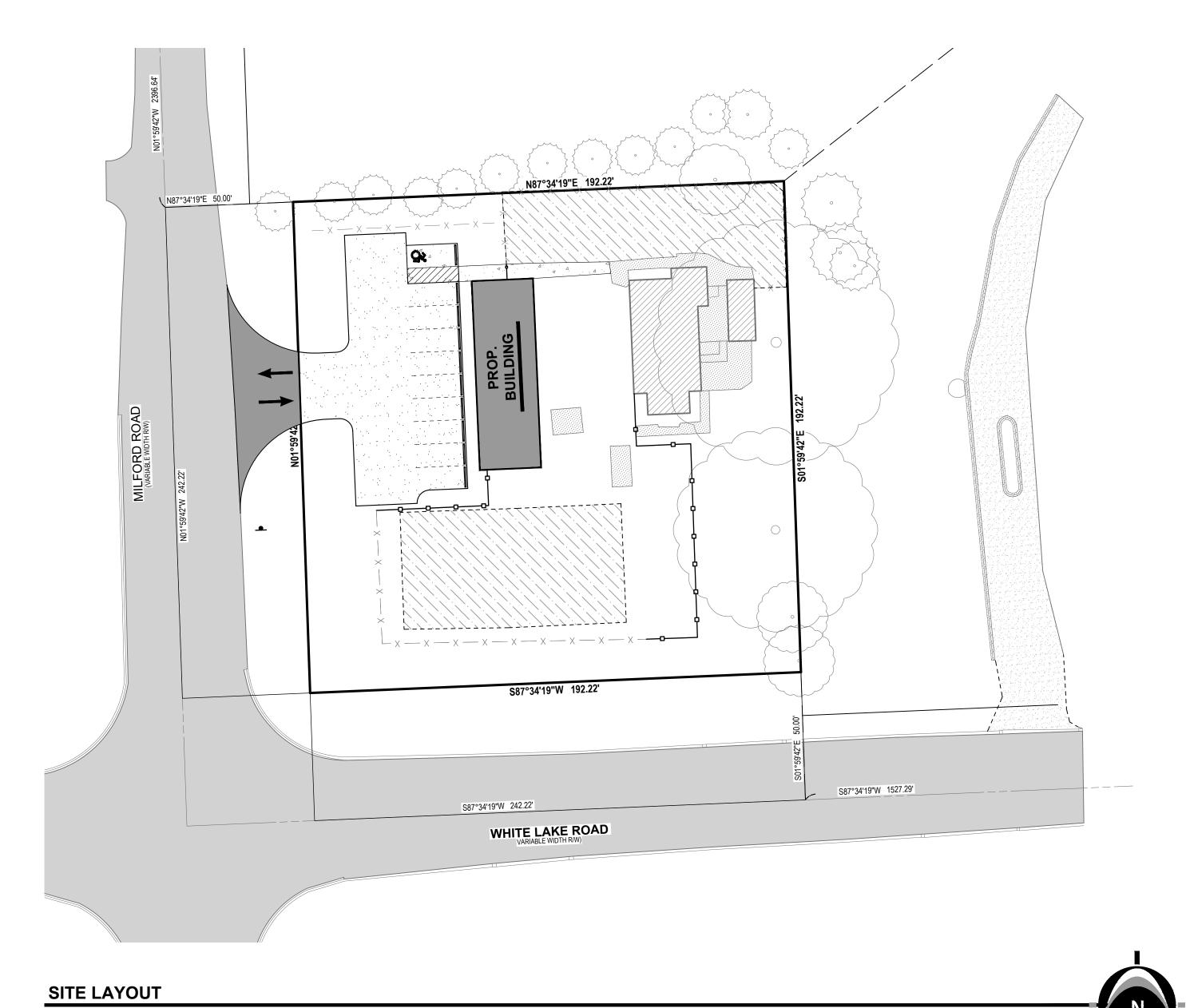


WIGGLES & GIGGLES

HIGHLAND TOWNSHIP, OAKLAND COUNTY, MICHIGAN



SITE PLAN



SHEET INDEX	
Cover Sheet	C-100
Existing Site Conditions Plan	C-201
Natural Resources Inventory Plan	C-202
Demolition Plan	C-203
Site Layout Plan	C-205
S.E.S.C. & Grading Plan	C-300
Landscape Plan	L-100

ANN ARBOR 3037 Miller Rd. Ann Arbor, MI 48103 Phone: 734.929.6963 CHICAGO COLUMBUS **GRAND RAPIDS** HOLLAND

INDIANAPOLIS

PREPARED FOR:

Wiggles & Giggles Khaled Mheisen

1131 White Lake Rd. Highland, MI 48356

REVISIONS:

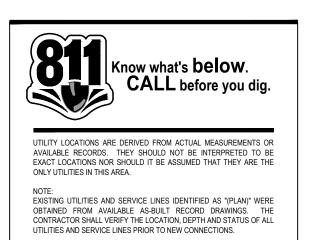
Title: SITE PLAN SUBMITTAL

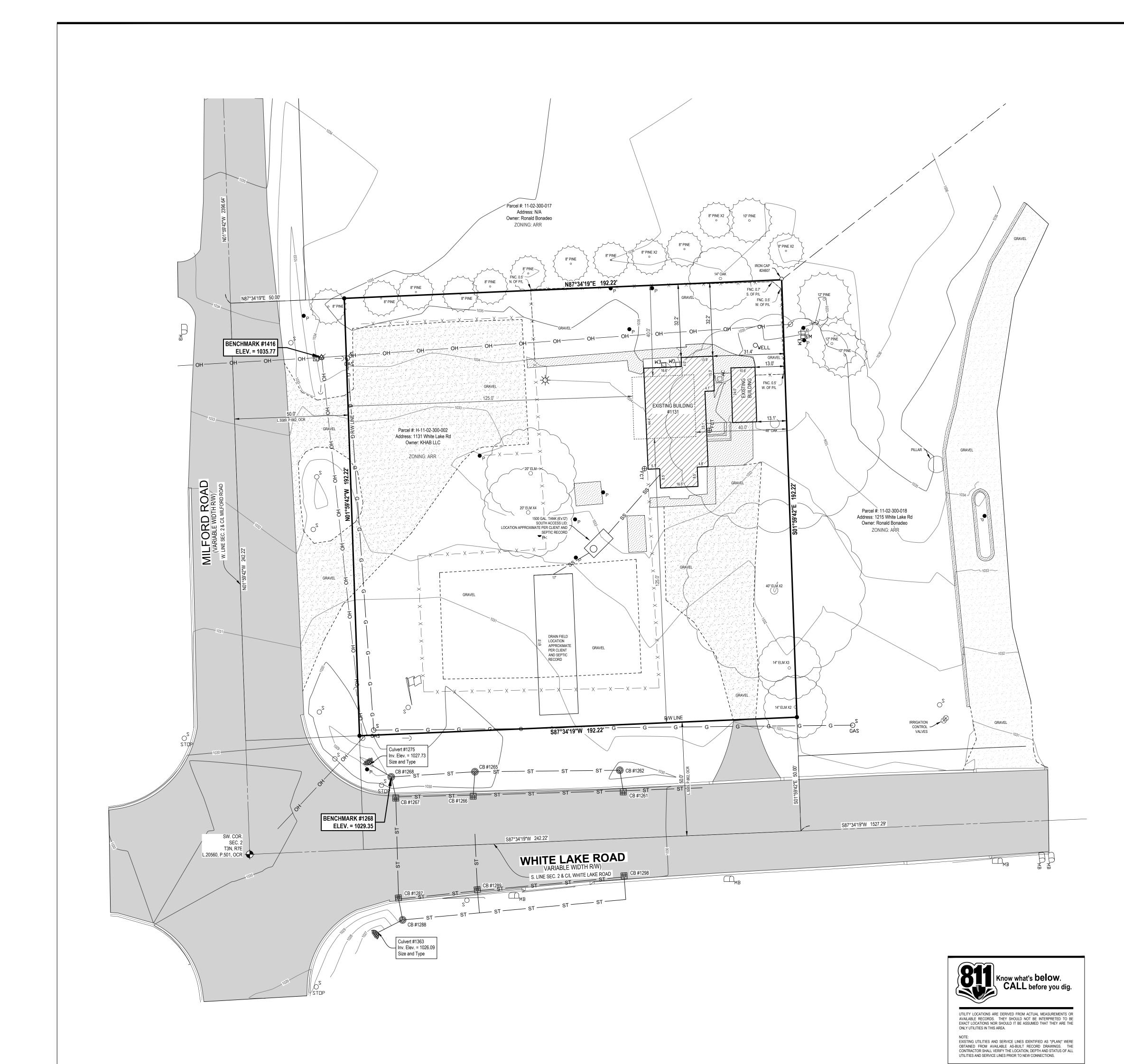
Drawn: CB/OO Checked: BC Date: 7.1.2024

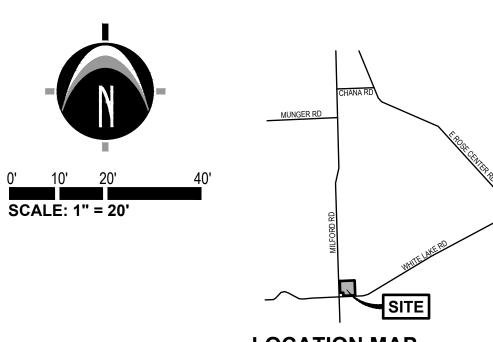
GIGGLE

PROJECT NO: 24500220

SHEET NO:







LOCATION MAP

LEGEND

*	Section Corner	\square_{MB}	Mailbox
•	Iron - Set 1/2" X 18" iron rebar with NED Cap	$ullet_{P}$	Post
0	Iron - Found as noted	Ø	Utility Pole
\square_{AC}	Air Conditioning	$\circ_{_{\mathcal{Z}}}$	Sign
	Catch Basin - Round	O ^S STOP	Stop Sign
	Catch Basin - Square	O ^S	Underground Gas Marke
\triangle	Control Point/ Benchmark	gas O _{well}	Water Well
C	Cable Riser	— x — x —	Fence
488	Culvert	—— G ——	Gas Line
\odot	Deciduous Tree	—— ОН ——	Overhead Utility
\square_{EM}	Electric Meter	ss	Sanitary
\bigcirc	Evergreen Tree		Zoning Setback Line
\oplus_{FCT}	Faucet		Asphalt
F	Flag		Existing Building
\square_{GM}	Gas Meter		Concrete
(—	Guy Anchor		Gravel
*	Light Pole		

BENCHMARKS

BENCHMARK #1416 ELEV. = 1035.77 (NAVD88) Benchtie in East side of power pole, located 16'+/- East of edge of pavement for Milford Road and 190'+/-North of White Lake Road.

BENCHMARK #1268 ELEV. = 1029.35 (NAVD88)

Rim of catch basin, located at the Northeast corner of the intersection of White Lake Road and Milford Road 7'+/- North of back of curb.

LEGAL DESCRIPTION

Real property in the City of Highland, County of Oakland, State of Michigan, described as follows:

South 242.22 Feet of the West 242.22 feet of the Southwest 1/4 of Section 2, Town 3 North, Range 7 East, Except the South 50 feet of the West 50 feet taken for road.

(Warranty Deed, dated, December 15, 2023, 135783, Liber 59066, Page 442, Oakland County Register

SURVEYOR'S NOTES

- 1) Flood Zone Classification: An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260650, Map Number 26125C0311F, with an Effective Date of September 29, 2006, shows this parcel to be located in Zone X (subject to map scale uncertainty).
- 2) Lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary. These locations should not be interpreted to be exact locations nor should it be assumed that they are the only utilities in this area.
- 3) NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.
- 4) BASIS OF BEARING: NAD83 Michigan State Planes, South Zone, International Foot
- 5) Quit Claim Deed to Board of County Road Commissioners of the County of Oakland, State of Michigan, a Public Body Corporate as recorded in Liber 5589, Page 662, Oakland County Register of

www.nederveld.com 800.222.1868 **ANN ARBOR** 3037 Miller Rd. Ann Arbor, MI 48103 Phone: 734.929.6963 CHICAGO COLUMBUS **GRAND RAPIDS** HOLLAND INDIANAPOLIS PREPARED FOR:

Wiggles & Giggles Khaled Mheisen

1131 White Lake Rd. Highland, MI 48356

REVISIONS:	
Title: SITE PLAN SUBMITTAL	

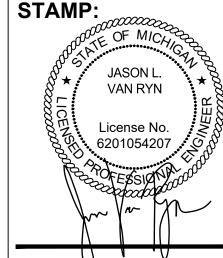
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Conditions xisting

Plan

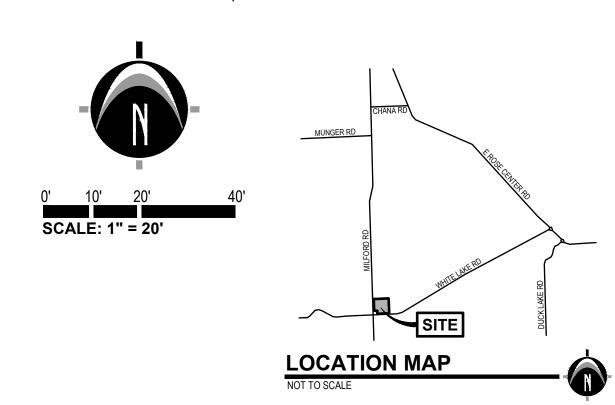
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PROJECT NO: 24500220

SHEET NO:





NOTES

- 1) Soils Classification:
- 13B Oshtemo-Boyer loamy sands, 0 to 6 percent slopes 44B Riddles sandy loam, 1 to 6 percent slopes
- All trees except those marked for removal (See sheet C-203 for details) shall remain on site.
- Trees to be removed:
- Elm (Ulmus sp.) 20" Single trunk, good condition
- Elm (*Ulmus* sp.) 20" Multi trunk, good condition

REVISIONS:

Title: SITE PLAN SUBMITTAL

Drawn: CB/OO Checked: BC Date: 7.1.2024

www.nederveld.com 800.222.1868

ANN ARBOR

3037 Miller Rd. Ann Arbor, MI 48103 Phone: 734.929.6963

CHICAGO COLUMBUS

GRAND RAPIDS

HOLLAND

INDIANAPOLIS

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1131 White Lake Rd. Highland, MI 48356

PREPARED FOR:

ces Inventory

GIGGLES

MIGGLES

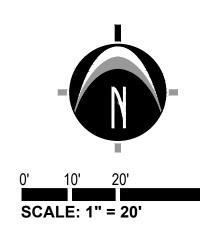
ral Resources Invital Resources Invited Lake RD OF THE SOUTHWEST 1/4 OF SECTION 2

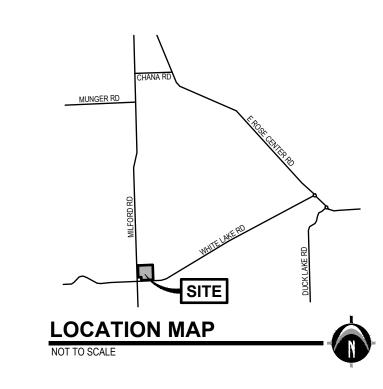
PROJECT NO: 24500220

SHEET N

SHEET NO: **C-202**







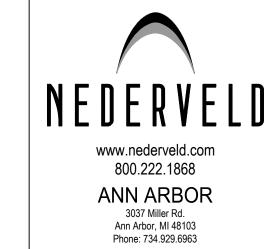
DEMOLITION LEGEND

	EXISTING ASPHALT & CONCRETE REM
	EXISTING GRAVEL REMOVAL
— × —	EXISTING FENCE REMOVAL
×	EXISTING TREE REMOVAL
\Diamond	REMOVE EXISTING PAVEMENT
②	REMOVE EXISTING GRAVEL
③	REMOVE EXISTING TREE
4	REMOVE EXISTING LIGHT POLE
\$	REMOVE EXISTING FENCE
6	REMOVE EXISTING POST
\Diamond	REMOVE EXISTING SIGN

REMOVAL / DEMOLITION NOTES

- 1) THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AT LEAST THREE WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION OPERATIONS. THERE ARE EXISTING UNDERGROUND UTILITIES WHICH CROSS THE PROPOSED REPLACEMENT WORK AREAS. ALTHOUGH THEIR EXACT LOCATION CANNOT BE DETERMINED, IT IS KNOWN THESE UTILITIES ARE LOCATED WHERE DIGGING IS REQUIRED. THE CONTRACTOR SHALL CONDUCT THE REQUIRED EXCAVATION IN THESE AREAS WITH EXTREME CAUTION.
- 2) ALL EXISTING UTILITY INFORMATION SHOWN IS TAKEN FROM EXISTING RECORDS, AND FIELD VERIFIED WHERE ACCESSIBLE ONLY. INFORMATION OBTAINED FROM EXISTING RECORDS MAY NOT BE COMPLETE OR ACCURATE. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION AND CONDITION.
- 3) BEFORE ANY WORK IS STARTED ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE BY THE TOWNSHIP AND BY THE OWNER, REPRESENTATIVES OF THE TOWNSHIP, THE OWNER AND THE CONTRACTOR SHALL MAKE AN INSPECTION OF THE EXISTING SEWERS WITHIN THE WORK LIMITS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING UTILITIES AND THEIR APPURTENANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS AND EXISTING VIDEO TAPES. RECORDS OF THE INSPECTIONS SHALL BE KEPT IN WRITING BY THE CONTRACTOR.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION WORK.
- 5) ALL EXISTING UTILITIES, SEWERS AND WATER LINES ARE TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES, MUNICIPALITIES AND AGENCIES BEFORE COMMENCING ANY WORK.
- 6) THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING POLES, OVERHEAD WIRES, UNDERGROUND UTILITIES, GUY WIRES, GAS LINES, ETC. ALL ADJUSTMENT OR RECONSTRUCTION WORK, EXCEPT FOR THOSE STRUCTURES OTHERWISE NOTED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR. EXISTING APPURTENANCES SUCH AS UTILITY POLES AND VALVES BOX SHALL NOT BE DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION.
- 7) THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.

 8) ALL DERRIS SHALL BE REMOVED FROM THE SITE AND NO STOCKPILING ON SITE SHALL BE ALLOWED LIN
- 8) ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY THE OWNER OR THEIR REPRESENTATIVES.
- 9) THE CONTRACTOR SHALL LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO ANYONE ELSE, INCLUDING THE TOWNSHIP OR OWNER.
- 10) ASPHALT AREAS SHOWN TO BE SAWCUT AND REMOVED FULL DEPTH ARE ACTUAL FACE OF PROPOSED CURBS. IT WILL BE NECESSARY TO MAKE OFF-SET SAWCUTS TO PROVIDE CLEARANCE FOR PROPOSED CURBS: THE CONTRACTOR SHALL DETERMINE THE AMOUNT OF OFF-SET NECESSARY TO CONSTRUCT THE PROPOSED CURBS. ADDITIONAL CUTS MAY BE DESIRED TO FACILITATE THE REMOVAL OF THE EXISTING PAVEMENT, BUT THERE WILL BE NO EXTRA PAYMENT FOR ADDITIONAL CUTS. PAVEMENT SHALL BE REMOVED WITHOUT DAMAGING OR UNDERMINING THE REMAINING PAVEMENT. IF ADJACENT PAVEMENT IS DAMAGED, THE CONTRACTOR SHALL MAKE ADDITIONAL FULL DEPTH SAWCUTS AND REMOVE THE DAMAGE AREAS AS NECESSARY.
- 11) ALL PAVEMENT REMOVAL AREAS SHALL BE FULL PAVEMENT CROSS-SECTION REMOVAL DOWN TO NATIVE SOIL LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPORT DATED MONTH/DAY/YEAR.
- 12) ALL TREES WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.



PREPARED FOR:

CHICAGO

COLUMBUS

GRAND RAPIDS

HOLLAND

Wiggles & Giggles Khaled Mheisen

1131 White Lake Rd. Highland, MI 48356

REVISIONS:

Title: SITE PLAN SUBMITTAL
Drawn: CB/OO Checked: BC Date: 7.1.2024

& GIGGLES

emolition Plar
1131 WHITE LAKE RD

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STAMP:

OF MICHICAN

JASON L.

VAN RYN

License No.

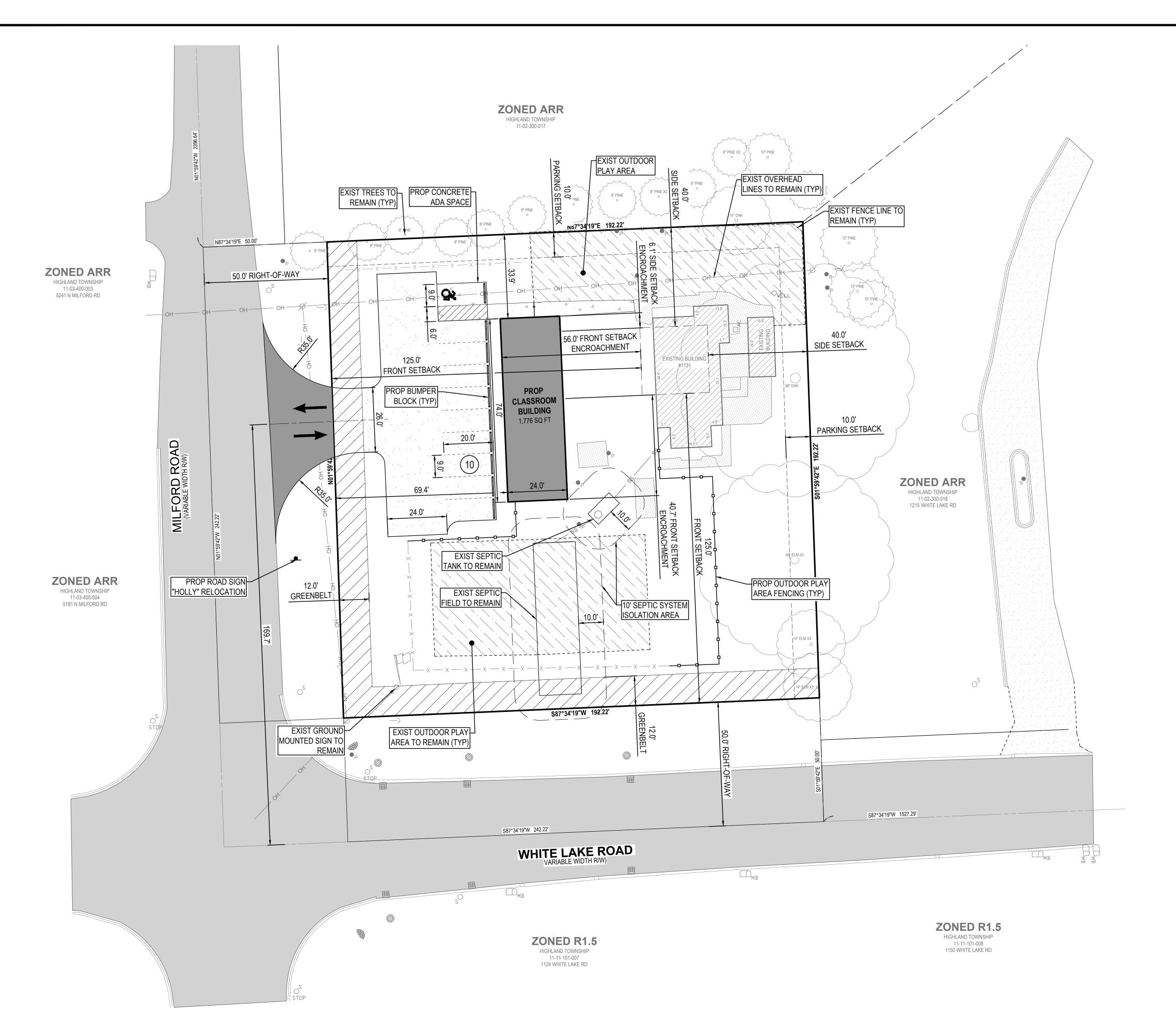
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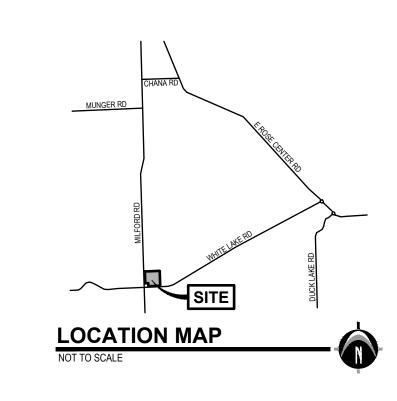
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PROJECT NO: 24500220

SHEET NO:

C-203





LEGEND



EXISTING BITUMINOUS

EXISTING CONCRETE

EXISTING GRAVEL

PROPOSED BITUMINOUS
(STANDARD DUTY)

PROPOSED CONCRETE
(STANDARD DUTY)

PROPOSED GRAVEL

GENERAL NOTES

SCALE: 1" = 20'

- ZONING OF PROPERTY: ARR AGRICULTURAL & RURAL RESIDENTIAL ARR ZONING REQUIREMENTS
- A) MINIMUM LOT AREA = 5 ACRES (217,800 SQ.FT.)
- B) MINIMUM LOT WIDTH = 330 FT.C) MAXIMUM BUILDING HEIGHT = 28 FT OR 2 STORIES
- D) MAXIMUM LOT COVERAGE = 10%
- SETBACKS

 A) FRONT YARD = 125 FT. (FRONTING MAJOR THOROUGHFARE)
- B) SIDE YARD = 40 FT.
 2) SUMMARY OF LAND USE:
- A) TOTAL ACREAGE = 0.85 ACRES (36,946 SQ. FT.) (EXCLUDING R.O.W.)
- B) TOTAL BUILDABLE AREA = 0.02 ACRES (740.6 SQ. FT.)C) AREA OF PROPOSED BUILDING = 1,776 SQ. FT.
- D) AREA OF EXISTING BUILDING = 1,414 SQ. FT. E) LOT COVERAGE = 8.6%
- E) LOT COVERAGE = 8.6%
 F) ZONING OF PARCELS TO SOUTH AND WEST = R-1.5 & ARR
- ZONING OF PARCELS TO SOUTH AND WEST = R-1.36
 ZONING OF PARCELS TO NORTH AND EAST = ARR
- G) PROPOSED SETBACK ENCROACHMENTS: FRONT SETBACK (MILFORD RD) = 56.0 FT.
- FRONT SETBACK (WHITE LAKE RD) = 40.7 FT. SIDE SETBACK (NORTH) = 6.1 FT.
- *A VARIANCE APPLICATION FOR THE PROPOSED ENCROACHMENTS HAS BEEN SUBMITTED TO THE ZBA ON 7/2/2024
 3) PARKING REQUIREMENTS:
- A) MINIMUM REQUIRED SPACE PER TOWNSHIP = 9'x20' (24' AISLE)
- B) TYPICAL PARKING SPACE PROVIDED = 9'x20' (24' AISLE)
 C) TYPICAL VAN ACCESSIBLE PARKING SPACE = 11'x18' WITH 5' AISLE
- D) TYPICAL CAR ACCESSIBLE PARKING SPACE = 8'x18' WITH 5' AISLE
- e) NUMBER OF SPACES REQUIRED = 10 (BASED ON HIGHLAND REQUIREMENTS 2 SPACES PLUS 1 ADDITIONAL SPACE FOR EACH 8 CHILDREN = 60 CHILDREN / 8 = 8 SPACES + 2 SPACES = 10 SPACES)
- FOR EACH 8 CHILDREN = 60 CHILDREN / 8 = 8 SPACES + 2 SPACES = 10 SPACES)

 F) NUMBER OF SPACES PROVIDED = 10
- 4) THIS PROJECT IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN, BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAPS
- 5) BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL
- INCLUDE THE USE OF SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
- 6) UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES
- IN THIS AREA.

 7) CONTRACTOR TO FIELD VERIFY ALL INVERTS.
- 8) ALL LIGHTING SHALL BE SHIELDED FROM ALL ADJACENT PROPERTIES. PROPOSED LIGHTING SHALL CONSIST OF WALL-MOUNTED LIGHTS AND LIGHT POLES, BOTH FITTED WITH DOWN CAST TYPE FIXTURES TO BE SPECIFIED BY LIGHTING
 - NSULTANT.
- 9) THE PERMANENT PARCEL NUMBER FOR THE SITE IS H-11-02-300-002. THE ADDRESS OF THE PROPERTY IS 1131 WHITE LAKE RD.
- 10) NO FENCES OR WALLS OTHER THAN WHAT IS SHOWN ON THE SITE PLAN ARE PROPOSED AT THIS TIME.

NEDERVELD www.nederveld.com

800.222.1868

ANN ARBOR

3037 Miller Rd.
Ann Arbor, MI 48103
Phone: 734.929.6963

CHICAGO
COLUMBUS
GRAND RAPIDS
HOLLAND
INDIANAPOLIS

PREPARED FOR:
Wiggles & Giggles

1131 White Lake Rd. Highland, MI 48356

Khaled Mheisen

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Title: SITE PLAN SUBMITTAL

Drawn: CB/OO Checked: BC Date: 7.1.2024

out Plan

<u>9</u>5

ite Layout F
1131 WHITE LAKE RD

Site

STAMP:

OF MICHICAN

JASON L.

VAN RYN

License No.
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OFESSION

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PROJECT NO: 24500220

SHEET NO:

C-205

Know what's **below**.

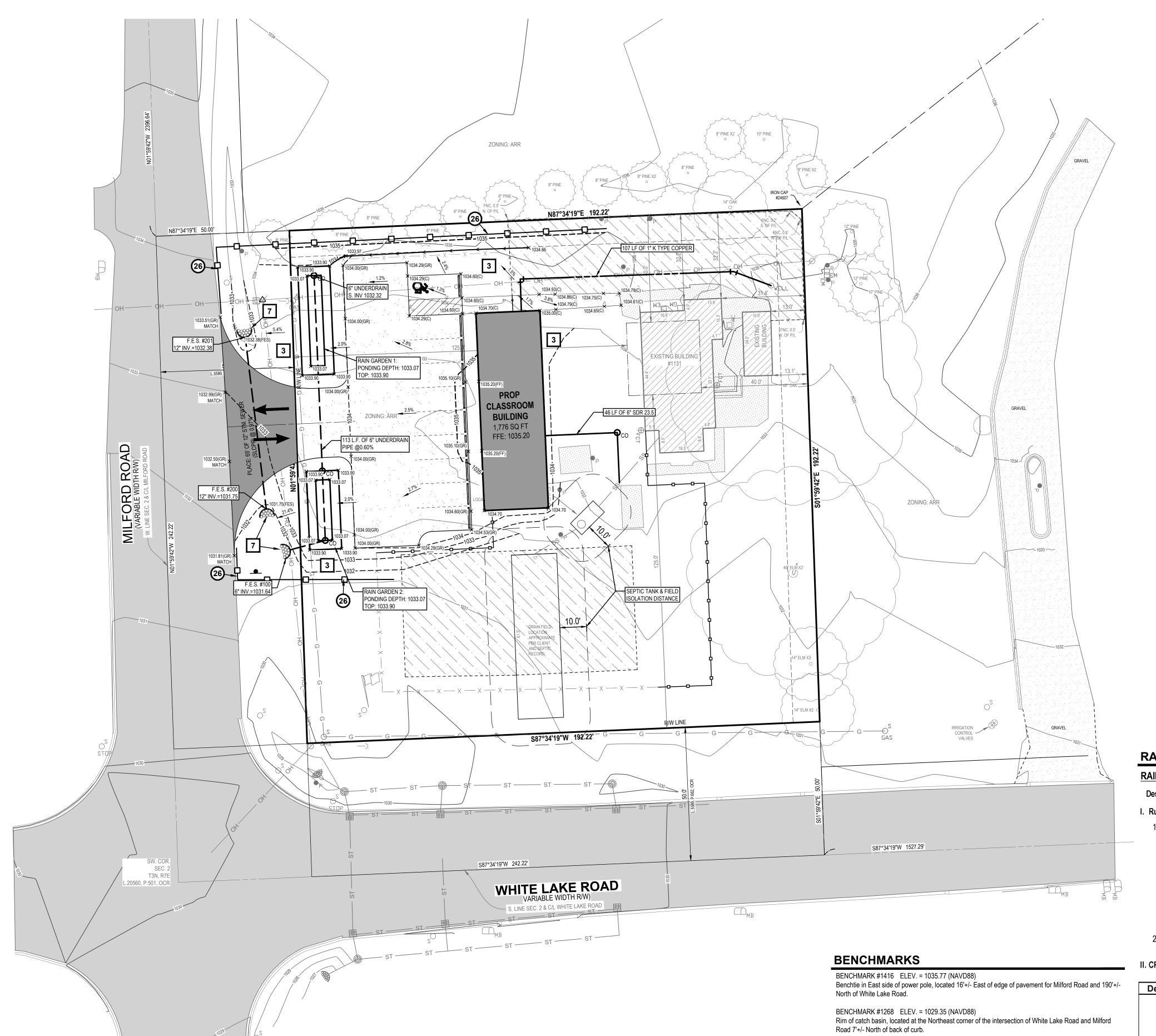
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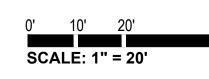
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ONLY UTILITIES IN THIS AREA.







LEGEND EXISTING

EXIS	TING	PRO	PUSED
•	Section Corner	543	EX. GRADE CONTOUR
•	Iron - Set 1/2" X 18" iron rebar with NED Cap	/- ⁵⁴³	PROP. GRADE CONTOUR
0	Iron - Found as noted	≯ _{778.00}	PROP. GRADE ELEV.
\square_{AC}	Air Conditioning	≯ _{778.00(C)}	PROP. GRADE ELEV. (CONCRETE)
	Catch Basin - Round	≯ _{778.00(GR)}	PROP. GRADE ELEV. (GRAVEL)
	Catch Basin - Square	≯ _{778.00(FF)}	PROP. GRADE ELEV. (FINISH FLOOR)
\triangle	Control Point/ Benchmark		EX. CONCRETE
C	Cable Riser	,	PROPOSED CONCRETE
***	Culvert	· · · △	(STANDARD DUTY)
\odot	Deciduous Tree		PROPOSED GRAVEL
	Electric Meter		PROPOSED ASPHALT (STANDARD DUTY)
(·)	Evergreen Tree	─	PROP. STORM SEWER
Φ.		<u> </u>	PROP. SANITARY SEWER
\oplus_{FCT}	Faucet		PROP. WATERMAIN
F	Flag		SILT FENCE
\square_{GM}	Gas Meter		
(—	Guy Anchor		
*	Light Pole		
\square_{MB}	Mailbox		
$ullet_{P}$	Post		
Ø	Utility Pole		
$\circ_{_{\mathcal{Z}}}$	Sign		
o ^S st⊡p	Stop Sign		
O ^S GAS	Underground Gas Marker		
O_{WELL}	Water Well		
— x — x —	Fence		
G	Gas Line		
—— ОН ———	Overhead Utility		
ss	Sanitary		
	Zoning Setback Line		
	Existing Building		
	F : " 0		

0.17 acres

= 0.79

Runoff Volume Infiltration Requirement (V_{CPVC}) =

Total Designed/Provided Infiltration Volume = 111%

= 633 ft³

RAINGARDEN CALCULATIONS

RAIN GARDEN CALCULATIONS

Design Basis: Oakland County Stormwater Standards, November 2021

I. Runoff Volume Requirement

Surface	Area (sf)	C factor	AxC
Building	1,776	0.95	0.227
Gravel	4,709	0.75	0.476
Concrete	532	0.95	0.068
Water Surface	0	1.00	0.000
Semi-Impervious	<u>405</u>	0.30	0.016
	7,422		0.79

Weighted Runoff Coefficient (C) = $(\sum A \times C) / \sum A$ 2) Runoff Volume Infiltration Requirement (V_{CPVC})

$V_{wq} = 4,719 \times A \times C$ II. CPVC Volume Provided

Determine Applicable BMPs and Associated Volume Credits							
Proposed BMP	Area (ft²)	Runoff		Ave. Design Infiltration Rate	Subsurface Infiltration Volume	Total Volume Reduction	
		Surface	Soil	(in/hr)	(ft ³)	(ft ³)	
Porous Pavement w/Infiltration Bed							
Infiltration Basin							
Subsuface Infiltration Bed							
Infiltration Trench							
Rain Garden	487	406	0	1.5	0	406	
Rain Garden	353	294	0	1.5	0	294	
Dry Well							
Bioswale							
Vegetated Filter Strip							
Green Roof							
Total Volume Reduction Credit by Proposed Structural BMPs (ft ³) =					700		

Existing Concrete

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800.222.1868 **ANN ARBOR** 3037 Miller Rd. Ann Arbor, MI 48103 Phone: 734.929.6963 CHICAGO COLUMBUS **GRAND RAPIDS**

PREPARED FOR: Wiggles & Giggles

Khaled Mheisen

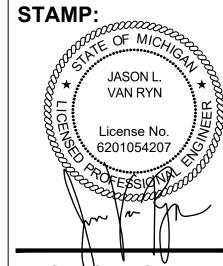
HOLLAND INDIANAPOLIS

1131 White Lake Rd. Highland, MI 48356

REVISIONS: Title: SITE PLAN SUBMITTAL Drawn: CB/OO Checked: BC Date: 7.1.2024

GIGGL

MIGG



PROJECT NO: 24500220

SHEET NO:

REFER TO MDOT STANDARD PLAN R-96-D

SOIL EROSION AND SEDIMENTATION CONTROL NOTES 1) CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION

CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK. 2) CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED

TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER. 3) EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.

4) REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" (MARCH 2021) FOR ADDITIONAL INFORMATION 5) THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SESC AGENT PRIOR TO FINAL PAYMENT TO

6) THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SESC MEASURES DAILY AND AFTER EACH RAIN EVENT UNIT FINAL COMPLETION AND ACCEPTANCE OF THE

THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE

—Land Planning — Landscape Architecture — Civil Engineering — Land Surveying — High Definition Scanning — Forensic Engineering — Fire Investigation —

Know what's **below**.

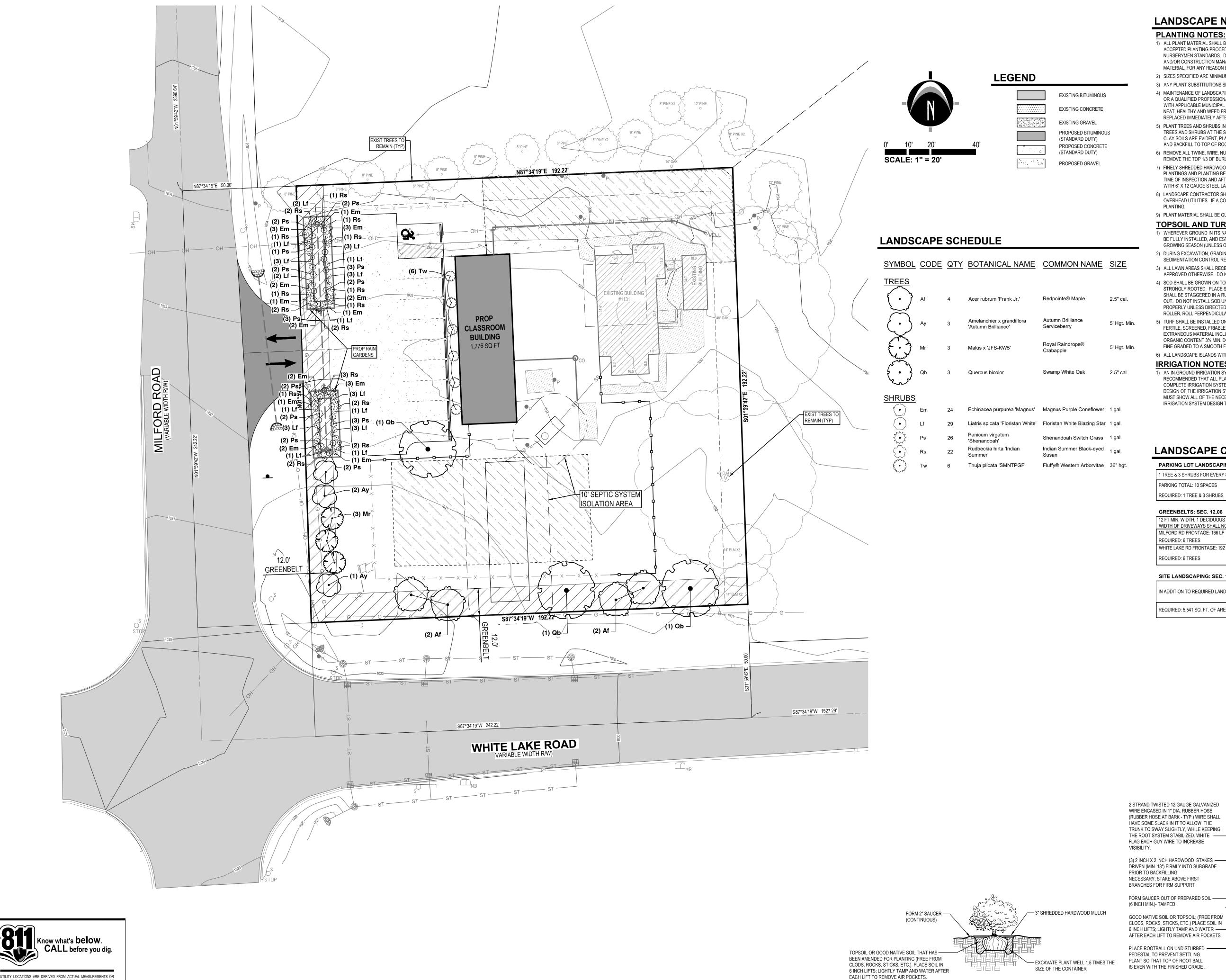
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LANDSCAPE NOTES

PLANTING NOTES:

1) ALL PLANT MATERIAL SHALL BE LOCALLY NURSERY GROWN NO.1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. DO NOT PLANT MATERIALS UNTIL DIRECTED BY OWNER. LANDSCAPE ARCHITECT. AND/OR CONSTRUCTION MANAGER. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.

2) SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.

3) ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

- 4) MAINTENANCE OF LANDSCAPING ITEMS, TREES, AND PLANTS SHALL BE PERFORMED BY THE PROPERTY OWNER OR A QUALIFIED PROFESSIONAL. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO.
- 5) PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DIG TREE PITS PER DETAILS. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APRROX. 1/4 OF THE ROOT BALL ABOVE GRADE, AND BACKFILL TO TOP OF ROOT BALL.
- 6) REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
- 7) FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH PER PLANTING DETAILS. MULCH IN PLANT BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION. ALL PLANTING BEDS SHALL BE EDGED WITH 6" X 12 GAUGE STEEL LANDSCAPE EDGING.
- 8) LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXIST, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO

9) PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.

TOPSOIL AND TURF NOTES

-) WHEREVER GROUND IN ITS NATURAL STATE HAS BEEN DISTURBED, APPROVED LANDSCAPING OR GRASS SHALL BE FULLY INSTALLED, AND ESTABLISHED WITHIN A REASONABLE PERIOD OF TIME, BUT NO LONGER THAN ONE GROWING SEASON (UNLESS OTHERWISE NOTED AND APPROVED).
- 2) DURING EXCAVATION, GRADING, AND INSTALLATION OF REQUIRED LANDSCAPING, ALL SOIL EROSION AND
- SEDIMENTATION CONTROL REGULATIONS SHALL BE STRICTLY FOLLOWED AND COMPLIED WITH. 3) ALL LAWN AREAS SHALL RECEIVE SOD OR HYDROSEED. TURF SHALL BE INSTALLED ON TOPSOIL UNLESS APPROVED OTHERWISE. DO NOT PLANT UNTIL ACCEPTANCE OF FINISH GRADE.
- 4) SOD SHALL BE GROWN ON TOPSOIL UNLESS APPROVED OTHERWISE. SOD SHALL BE 2 YEARS OLD AND STRONGLY ROOTED. PLACE SOD TIGHTLY WITH NO GAPS AND WITH GRAIN IN SAME DIRECTION. SEAMS OF SOD SHALL BE STAGGERED IN A RUNNING BOND PATTERN. SOD SHALL BE WATERED IMMEDIATELY TO AVOID DRYING OUT. DO NOT INSTALL SOD UNTIL ACCEPTANCE OF FINISH GRADE AND IRRIGATION SYSTEM IS OPERATING PROPERLY UNLESS DIRECTED IN WRITING TO DO OTHERWISE. FINISH ROLL SOD WITH A WATER FILLED LAWN
- ROLLER, ROLL PERPENDICULAR TO LENGTH OF SOD. 5) TURF SHALL BE INSTALLED ON A MIN. OF 3"-4" OF LIGHTLY COMPACTED APPROVED TOPSOIL. TOPSOIL SHALL BE FERTILE, SCREENED, FRIABLE TOPSOIL FREE OF STONES 1/2" IN DIA. AND LARGER, ROOTS, STICKS, OR OTHER EXTRANEOUS MATERIAL INCLUDING NOXIOUS PLANTS. PH BETWEEN 6.0 AND 6.5, SALTS 500 PARTS PPM, ORGANIC CONTENT 3% MIN. DO NOT INSTALL TOPSOIL UNTIL APPROVED BY OWNER/C.M.. TOPSOIL SHALL BE
- 6) ALL LANDSCAPE ISLANDS WITHIN PARKING LOTS SHALL BE BACK FILLED WITH TOPSOIL TO A DEPTH OF 18" MIN. **IRRIGATION NOTES:**
- 1) AN IN-GROUND IRRIGATION SYSTEM IS NOT REQUIRED PER LOCAL ZONING ORDINANCES. HOWEVER, IT IS RECOMMENDED THAT ALL PLANTING AREAS, LAWN AREAS AND LANDSCAPE ISLANDS SHOWN ARE TO HAVE A COMPLETE IRRIGATION SYSTEM. THE G.C. SHALL BE RESPONSIBLE FOR RETAINING A QUALIFIED FIRM FOR THE DESIGN OF THE IRRIGATION SYSTEM. THE DESIGN MUST SHOW HOW THE SYSTEM TIES INTO THE BUILDING AND MUST SHOW ALL OF THE NECESSARY EQUIPMENT FOR A COMPLETE SYSTEM. THE G.C. SHALL SUBMIT THE IRRIGATION SYSTEM DESIGN TO THE ARCHITECT/OWNER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

LANDSCAPE CALCULATIONS

FINE GRADED TO A SMOOTH FINISH, FREE OF LUMPS AND DEPRESSIONS.

PARKING LOT LANDSCAPING: SEC. 12.05 1 TREE & 3 SHRUBS FOR EVERY 8 PARKING SPACES PARKING TOTAL: 10 SPACES REQUIRED: 1 TREE & 3 SHRUBS PROPOSED: 1 TREE & 6 SHRUBS

12 FT MIN. WIDTH, 1 DECIDUOUS TREE PER 30 LF OF FRONTAGE ABUTTING A PUBLIC ROAD RIGHT-OF-WAY. THE WIDTH OF DRIVEWAYS SHALL NOT BE COUNTED AS FRONTAGE. REQUIRED: 6 TREES

PROPOSED: 6 TREES & RAIN GARDEN INSTALLATION WHITE LAKE RD FRONTAGE: 192 LF PROPOSED: 6 TREES REQUIRED: 6 TREES

SITE LANDSCAPING: SEC. 12.07

IN ADDITION TO REQUIRED LANDSCAPING AT LEAST 15% OF THE SITE AREA SHALL BE LANDSCAPED

PROPOSED: EXISTING TREE COVER AND 1,600 SQ. F REQUIRED: 5,541 SQ. FT. OF AREA OF RAIN GARDEN AREA AS NOTED ON PLAN

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3037 Miller Rd.

Ann Arbor, MI 48103

Phone: 734.929.6963

CHICAGO

COLUMBUS

GRAND RAPIDS

HOLLAND

INDIANAPOLIS

Wiggles & Giggles

Khaled Mheisen

1131 White Lake Rd.

Highland, MI 48356

Drawn: CB/OO Checked: BC Date: 7.1.2024

PREPARED FOR:

REVISIONS:

Title: SITE PLAN SUBMITTAL

JASON L. VAN RYN License No. 6201054207

PROJECT NO: 24500220

IMPORTANT: FOR MULTI-STEMMED TREE

PLANTING, TIE ALL MAJOR

WITH WIRE (USE RUBBER

HOSE TO PROTECT EACH

STEM/BRANCH FROM THE

STEMS/BRANCHES TOGETHER

KEEP MULCH AWAY

 3" SHREDDED HARDWOOD MULCH

ROPES AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/3 OF BURLAP;

NON-BIODEGRADABLE MATERIAL

SHALL BE TOTALLY REMOVED

TREE PITS SHALL BE A MINIMUM OF 2 TIMES THE

DIAMETER OF THE TREE BALL/CONTAINER, WITH

THREE TO FOUR TIMES THE DIAMETER

CONTAINERS AND

FROM ROOT COLLAR

SHEET NO:

TYPICAL TREE PLANTING DETAIL

TYPICAL SHRUB / PERENNIAL /

ORNAMENTAL GRASS PLANTING DETAIL

M

AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE

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To whom it may concern,

In our country, many families must quickly face the decision to go back to work or stay home after their baby arrives. Despite loving my career, the daycare decision still wasn't an easy one for our family. My husband and I researched many daycares and never found one that fit until we visited Wiggles and Giggles. It was an atmosphere unlike any other I've seen. It was filled with laughter and love. This wasn't just a job for the staff. You could tell it was their passion.

We settled into a normal daycare routine and watched our daughters thrive in a caring learning environment with wonderful teachers. Their tireless efforts in creating a warm, inclusive, and engaging environment does not go unnoticed. From the creative crafts that adorn our refrigerator to the happy songs that are hummed around our house, their influence is evident in our daily lives. Wiggles and Giggles not only ensures our children are safe and well taken care of, but also makes sure they are learning in a fun and engaging way.

Wiggles and Giggles was a large reason why my husband and I decided to foster. We knew they would be there to help raise this little one just as they were for our daughters. A few weeks ago we began fostering a 7 week old baby. He is such a joy and blessing to our family! Approving the addition to expand the daycare will help us immensely. It will allow my family to have all three of our children at one location. It will put my mama heart at ease knowing our foster baby is being cared for with the same love and attention that I would give. I am forever grateful to this incredible daycare. To the daycare that has shown unconditional love. To the daycare that has helped shape my girls into the wonderful

young ladies they are today. This is why I believe you should approve the expansion of Wiggles and Giggles. Doing this will not only help my family, but it will give countless little ones the same opportunity to learn in a safe and caring atmosphere.

Sincerely,	

Courtney LaMirand

To whom it may concern,

I currently have two children enrolled full time at Wiggles & Giggles/Imagination Station Two, they are 2.5 and 4 yrs old and have been at this daycare since 2021. I now also have a two week old infant who will need full time childcare when I return to work full time as a local emergency physician. To prevent multiple drop offs and/or searching for a new infant daycare, most of which have very long waitlists, I will need to enroll my newborn into our current daycare when he turns 12 weeks old, as I have done with my previous children. Thank you for your time and consideration. Please feel free to reach out with any concerns or questions.

Sincerely,

Erika Roberts, M.D. Emergency Medicine erikarobertsmd@gmail.com 734-301-7944 To whom it may concern,

I have had my children enrolled full time with Wiggles and Giggles for the past few years. I am a foster parent and they always tried their best to accommodate me. The only reason I had to leave Wiggles was because the owners at the home center where I had 2 babies enrolled, retired. I currently have 3 children that require daycare and I would love to be back with Wiggles if there is a center for infants/young toddlers. Thank you!

Very Respectfully,

Amanda Boatright

To whom this recommendation will be viewed and taken into consideration,

Our local Wiggles & Giggles of Highland, MI is in the process of having an infants addition added onto their care and services on the current property that they are located at now. Speaking for myself (and possibly other parents) the construction of an infant addition would be more than excellent for multiple reasons: personally, professionally, and most profitable for the Highland community.

Since the COVID pandemic, profit decreased everywhere from businesses to households. Wiggles & Giggles potentially adding infant care to the list of ages for part time or full time care as a licensed facility can be most profitable by creating more employment opportunities and households nearby will have the availability to work as they want while having a peace of mind that their baby is in great hands. Another profitable benefit of having the new addition added is that it could potentially draw in more people to want to settle their permanent home in the Highland area, making or planning families.

Professionally, Wiggles & Giggles checks all the boxes for kindness, smiley teachers (for smiley babies), applying & teaching all the milestones that need to be made by creativity and hands-on learning, having proper procedures in place for extra preventive safety measures per Michigan State guidelines, on top of keeping up with hygiene and cleanliness. With that small list of professionalism, parents are exceptionally willing to enroll their baby/toddler/child at Wiggles.

Personally, I am a Mom to a three year old that has been with Wiggles & Giggles since May 1st, 2023. A little over a year later I have been back to work full time and one of the hardest moves I had to make as a Mom was enrolling my son into a stranger's hands, Aiden being my first child especially. Looking back on my decision on moving forward with Wiggles & Giggles, I would make that same decision now. Aiden shows what he has learned at Wiggles in so many mind-blowing and crazy, cute ways. We have both been easily able to adapt well. My thanks and appreciation is to Wiggles & Giggles Staff and Wiggles & Giggles being there locally. From Holly, MI and growing up in the White Lake and Highland Township's community the local comfort-care and availability is all truly a blessing. Speaking of blessings, Aiden's baby sister is coming soon! With our economy, I will have no choice but to find infant care for her so I can continue to provide for our family. If Wiggles & Giggles has an infant addition added onsite it would be amazing and most convenient having that consistent comfort and available care!

Our local Wiggles & Giggles of Highland, MI is in the process of having an infants addition added onto their care and services on the current property that they are located at now. Speaking for myself (and possibly other parents) the construction of an infant addition would be more than excellent for multiple reasons: personally, professionally, and most profitable for the Highland community.

Thank you for acknowledging this letter. The communities all around look forward to growth.

To Whom it May Concern,

My 3-year-old daughter currently attends Wiggles & Giggles. As a working parent, I very much appreciate the hours and flexibility offered there. Our youngest daughter Willow, age 18 months, has to attend a daycare in Waterford. This is due to the surrounding daycares in Highland either not accepting infants and young toddlers, being at full capacity, or offering hours that do not work with my schedule of 7:30-4:30. It would be a lot less stressful to have her daycare located in Highland, which is why I'm hoping that Wiggles & Giggles is approved for the mobile unit so that they can begin accepting children under 18 months.

I have spoken to many of my friends that have similar struggles of finding childcare for their young children. The need is great for additional childcare resources in our area, especially for infants.

We are looking forward to the opportunity to move Willow's childcare to Wiggles & Giggles and to continue her pre-school there. Please consider allowing Wiggles & Giggles to open their mobile unit as soon as possible.

Should you have any questions, please do not hesitate to reach out.

Thank you for your time and consideration,

Chelsea Ferguson

3448 Lido Dr. Highland, MI 48356

(248) 860-5709