



**PUBLIC HEARING
CHARTER TOWNSHIP OF HIGHLAND
PLANNING COMMISSION
August 1, 2024
7:30 P.M.**

NOTICE IS HEREBY GIVEN that a public hearing will be held at the Highland Activity Center, 209 N. John St. on Thursday, August 1, 2024, at 7:30 p.m.

Notice is further given that all interested parties are invited to review the request and offer comment through the internet or mail. The application may be viewed at <http://highlandtwp.net> under the Planning Commission tab. Comment may be submitted to planning@highlandtwp.org, mailed to the Township offices or dropped in our secure drop box at the Township Offices, 205 N. John St. If you have any questions, please call 248-887-3791, ext. 2.

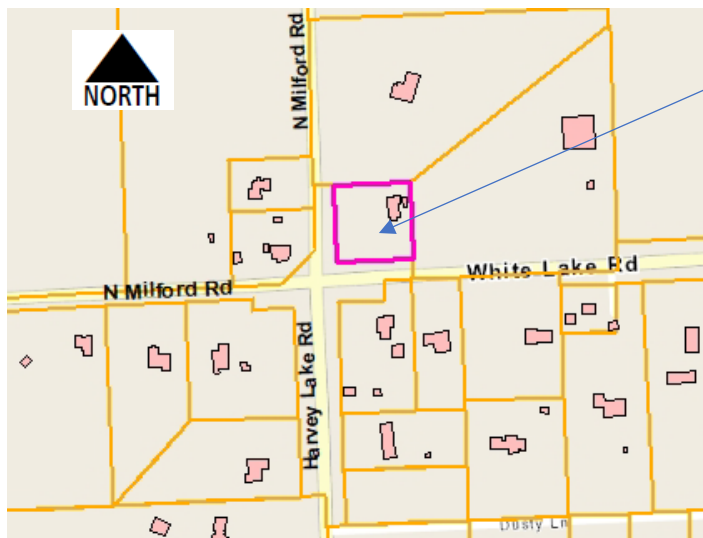
TO CONSIDER:

Request for Use Requiring Special Approval submitted by applicant Khalid Mheisen and property owner KHAB,LLC.to expand the site by the addition of a portable classroom unit.

REQUEST:

Section 4.06.C.5 Special Land Use as Child Care Center in LV Zoning District
Article 6, Special Land Use Procedures and Standards.

LOCATION: 11-02-300-002, 1131 White Lake Road, aka Wiggles & Giggles



Parcel to be considered for special approval to expand a child care center

Grant Charlick, Acting Chairman
Highland Township Planning Commission

(Publish: before July 17, 2024)

Wiggles & Giggles

Child Care Center

1311 White Lake Rd.
Phone: (248) 887-5542



To whom it may concern:

We hope this message finds you well. The purpose of this project is to serve the need and demand of not only our parents but the community by large. Within our own center there are parents in need of child care and infant care. We hope to use the space for infants and toddlers, which will allow us to serve the needs of children under the age of 2. We purposely chose to use a classroom needing renovations to allow us to situate the building in a manner that meets our needs best. We also plan to have the exterior of the building displaying an educational mural. We look forward to working through this process with you.

Best Regards,
Khaled
Owner Wiggles and Giggles



- Site Plan Review
- Rezoning
- Use Requiring Special Approval
- Land Division
- Land Division & Combination
- Road Profile
- Other

PLAN REVIEW APPLICATION

Highland Township Planning Department, 205 N. John St, Highland, Michigan 48357 (248) 887-3791 Ext. 2

Date Filed: 7/1/24 Fee: \$750⁰⁰ Escrow: \$2500 Case Number: 24-06

NOTICE TO APPLICANT AND OWNER

BY SIGNING THIS APPLICATION, THE APPLICANT AND OWNER ACKNOWLEDGE ONE OR THE OTHER OR BOTH ARE RESPONSIBLE FOR ALL APPLICATION AND CONSULTANT FEES THAT ARISE OUT OF THE REVIEW OF THIS REQUEST THE OWNER ALSO AUTHORIZES THE TOWNSHIP TO PLACE A SIGN ON THE PROPERTY, IF NECESSARY, TO INFORM THE PUBLIC OF THE PENDING MATTER BEING REQUESTED.

REQUIRED COPIES OF PLANS *receipt 1.060283*

INITIAL REVIEW: 2 HARD COPIES OF PLANS AND .PDF COPY OF PLANS
 CONSULTANTS REVIEW OF APPROVED PLANS SUBJECT TO CONDITIONS: 5 COPIES AND .PDF COPY

1. APPLICANT INFORMATION

NAME: Khaled Mheisen
 ADDRESS: 906 N Beck Rd
Canton MI 48187
 PHONE: 734-635-3507
 EMAIL: Kbmheisen@gmail.com

OWNER INFORMATION

NAME: Imagination Station Two, LLC
 ADDRESS: 1131 White Lake Rd
Highland, MI 48326
 PHONE: 734-635-3507
 EMAIL: Wigglesgigglesmi@gmail.com

2. PROPERTY INFORMATION

ADDRESS OR ADJACENT STREETS: 1131 White Lake Road
 LOT WIDTH: 192 LOT DEPTH: 192 LOT AREA: 36,948 Sq.Ft.
 PARCEL IDENTIFICATION NUMBER(S): H-11-02-300-002

3. PROJECT INFORMATION

PROJECT NAME: Wiggles & Giggles
 PRESENT ZONING: ARR PROPOSED ZONING: ARR
 PRESENT USE: Child Daycare PROPOSED USE: Child Daycare

APPLICANT

SIGNATURE: [Signature]
 PRINT NAME: Khaled Mheisen

On the 27th day of June, 2024 before me, a Notary Public, personally appeared the above named person whose signature appears above, and who executed the foregoing instrument, and he/she acknowledged to me that he/she executed the same.

State Of Michigan
 County Of Oakland Wayne
 Notary Public: [Signature]

OWNER

SIGNATURE: [Signature]
 PRINT NAME: Khaled Mheisen

On the 27th day of June, 2024 before me, a Notary Public, personally appeared the above named person whose signature appears above, and who executed the foregoing instrument, and he/she acknowledged to me that he/she executed the same.

State Of Michigan
 County Of Oakland Wayne
 Notary Public: [Signature]

• If there are Co-Applicants and/or Co-Owners associated with this property(ies) to be acted upon, please submit a Notarized Co-Applicant's and/or Co-owner's "Interest in Property Certificate" with this application. The person signing this cover sheet will be considered the official designee for the group and all correspondence will be addressed to this person.

• A notarized letter giving the Applicant authorization to represent the Owner is also permitted in lieu of a signature on this application. The person signing this cover sheet, however, will be considered the official designee for the Owner and all correspondence will be addressed to this person.

Jabin B. Young
 Notary Public, State of MI
 County of Wayne
 My Commission Expires Mar. 13, 2025
 Acting in the County of Wayne

OAKLAND COUNTY TREASURERS CERTIFICATE

This is to certify that there are no delinquent property taxes as of this date owed to our office on this property. No representation is made as to the status of any taxes, tax liens or titles owed to any other entities.

12/15/2023 3:44:59 PM Receipt #000106185

\$26.00 Misc Recording
\$4.00 Remonumentation
\$5.00 Automation
\$2,580.00 Transfer Tax

12/15/2023

PAID RECORDED - Oakland County, MI e-recorded
Lisa Brown, Clerk/Register of Deeds

5.00
ROBERT WITTENBERG, County Treasurer
Sec. 135, Act 206, 1893 as amended MIT

STATE OF MICHIGAN



REAL ESTATE TRANSFER TAX

Oakland
12/15/2023
000106185

\$330.00 :00
\$2,250.00 :6T
1394478

WARRANTY DEED

The Grantor(s), Edward Ridalls and Karen Yvonne Ridalls, husband and wife whose address is 4025 Presidential Way, Highland, MI 48356, convey(s) and warrant(s) to KHAB, LLC, a Michigan Limited Liability Company, Grantee(s), whose address is 1131 White Lake Road, Highland, MI 48356, real property in the City of Highland, County of Oakland, State of Michigan, described as follows:

South 242.22 Feet of the West 242.22 feet of the Southwest 1/4 of Section 2, Town 3 North, Range 7 East, Except the South 50 feet of the West 50 feet taken for road.

Commonly known as: 1131 White Lake Road, Highland, MI 48356

Tax parcel no. Parcel ID No(s): H-11-02-300-02 007

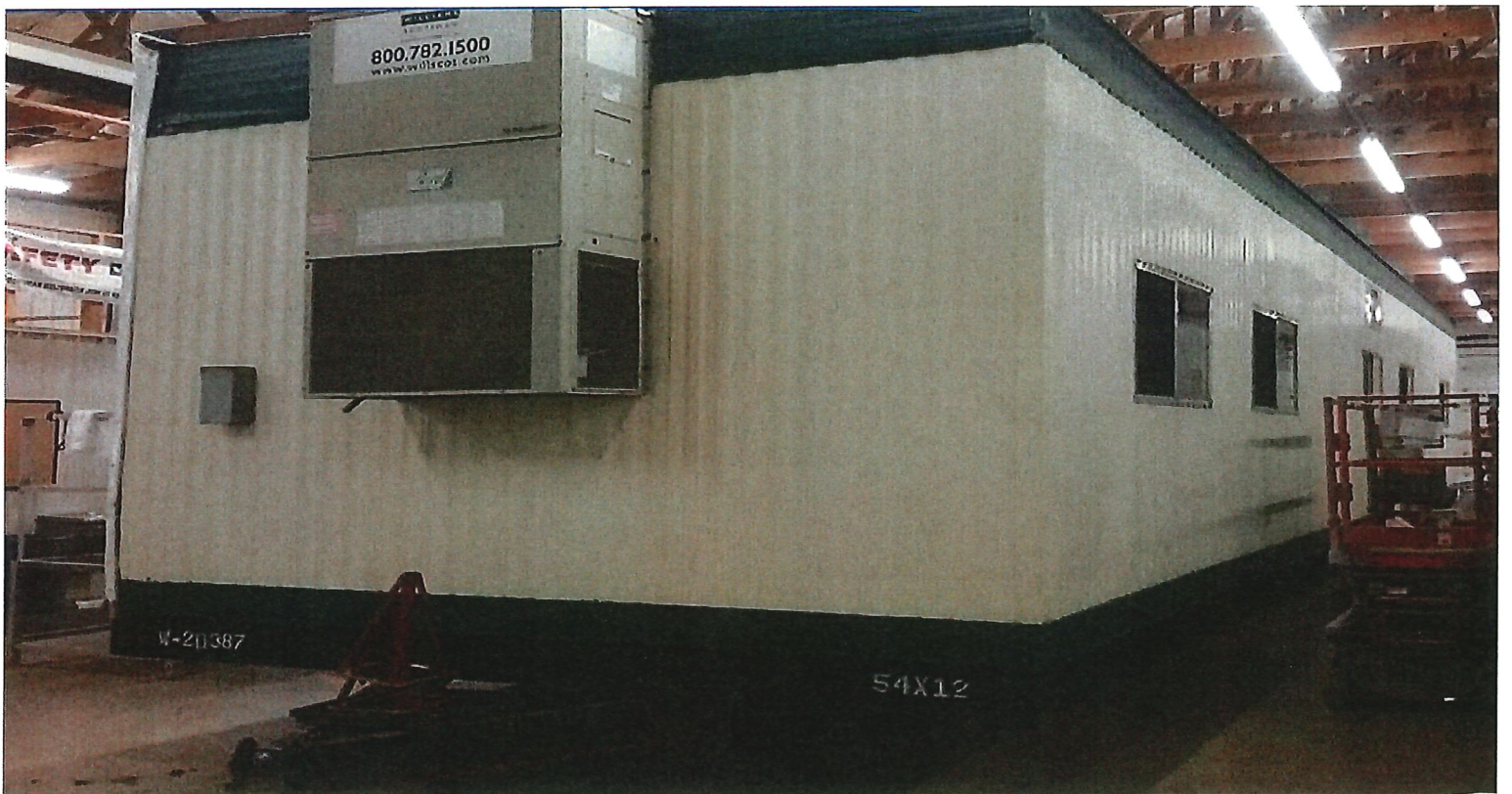
For the Full Consideration of Three Hundred Thousand And No/100 Dollar(s) (\$300,000.00), together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining thereto, and together with the right to make all available divisions under Section 108 of the Land Division Act., Act No. 288 of the Public Acts of 1967.

And subject to building and use restrictions and easements of record, if any, zoning laws and ordinances affecting the premises, and rights of the public and of any governmental entity in any part thereof taken, used or deeded for street, road, right of way, or highway purposes, and subject to taxes and future installments of special assessments payable hereafter.

Dated this 4th day of December, 2023.

Edward Ridalls
Edward Ridalls
Karen Yvonne Ridalls
Karen Yvonne Ridalls



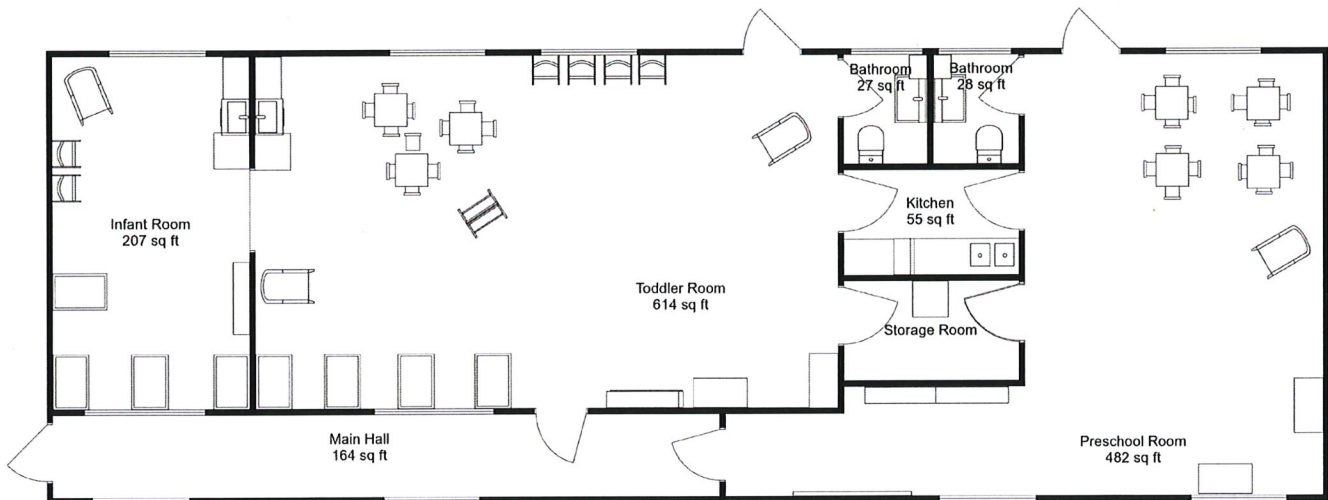


2024-05-13 18:01:46



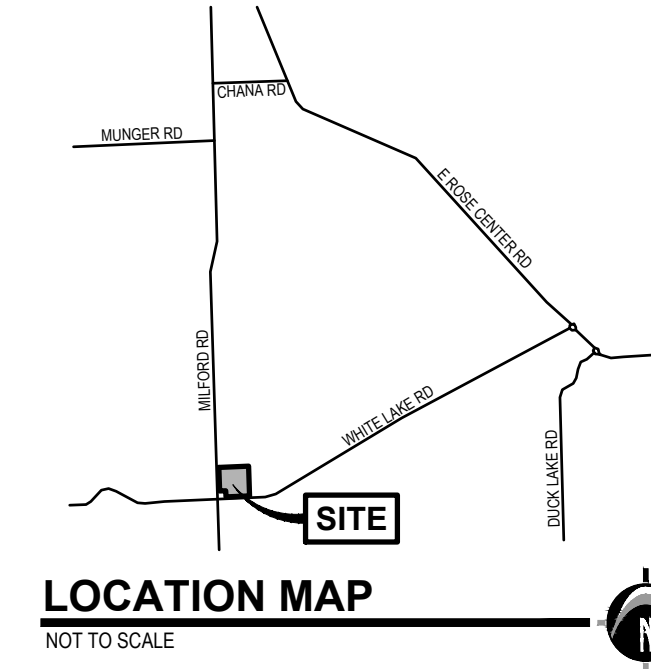
New Preschool Rooms

1. Floor



WIGGLES & GIGGLES

HIGHLAND TOWNSHIP, OAKLAND COUNTY, MICHIGAN



NEDERVELD
 www.nederveld.com
 800.222.1868
ANN ARBOR
 3037 Miller Rd
 Ann Arbor, MI 48103
 Phone: 734.929.6963
 CHICAGO
 COLUMBUS
 GRAND RAPIDS
 HOLLAND
 INDIANAPOLIS

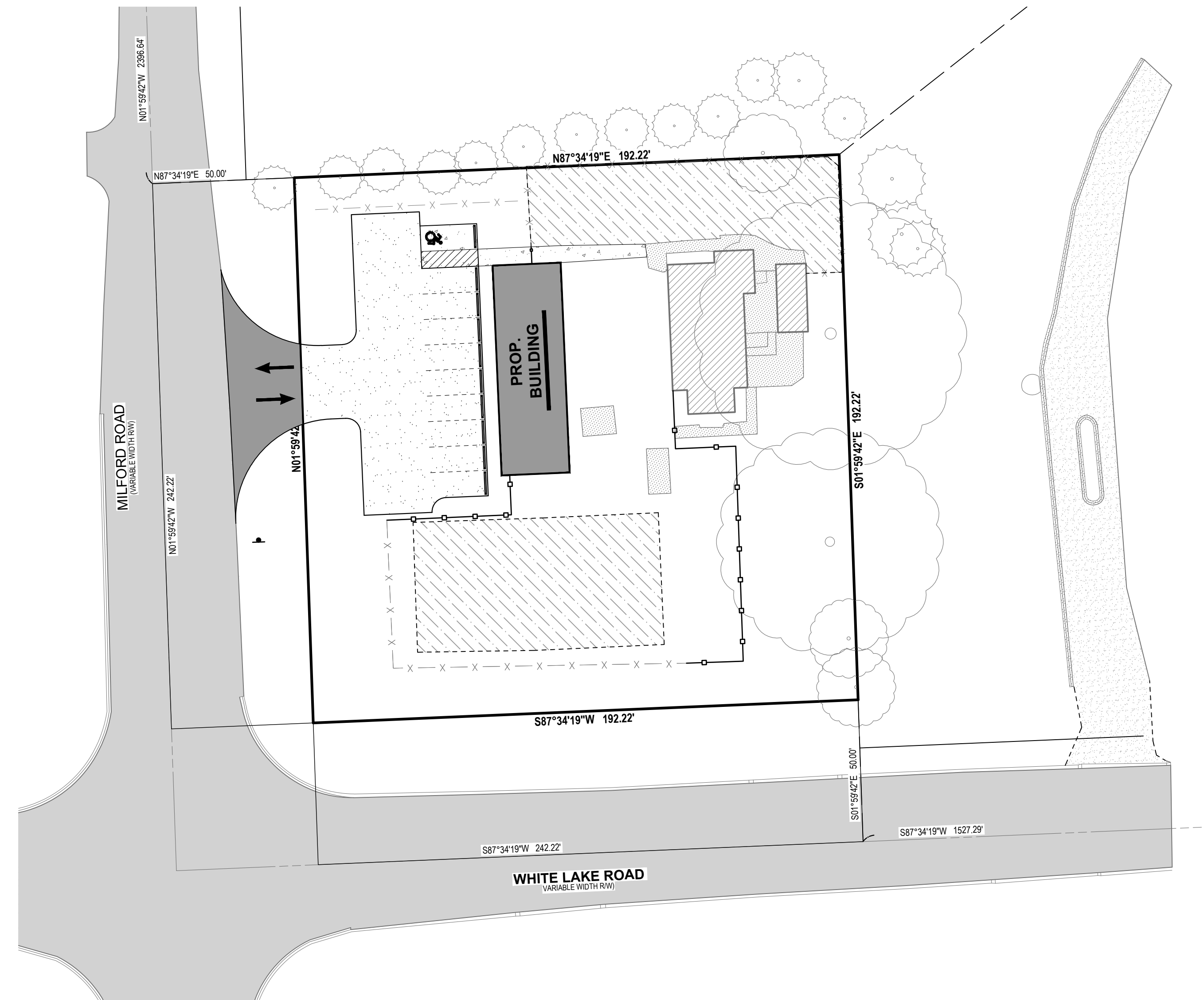
PREPARED FOR:
 Wiggles & Giggles
 Khaled Mneisen

1131 White Lake Rd.
 Highland, MI 48356

REVISIONS:

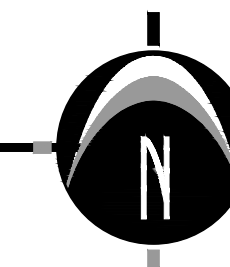
Title: SITE PLAN SUBMITTAL
 Drawn: CB/OO Checked: BC Date: 7.1.2024

SITE PLAN



SITE LAYOUT

1" = 30'



SHEET INDEX

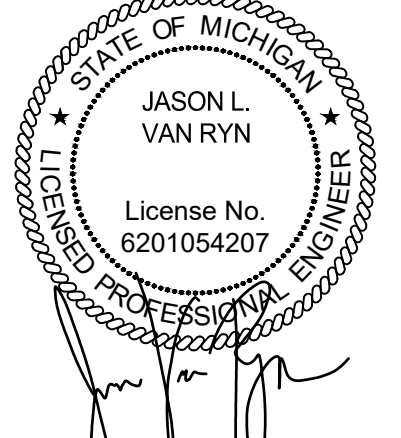
Cover Sheet	C-100
Existing Site Conditions Plan	C-201
Natural Resources Inventory Plan	C-202
Demolition Plan	C-203
Site Layout Plan	C-205
S.E.S.C. & Grading Plan	C-300
Landscape Plan	L-100

WIGGLES & GIGGLES

Cover Sheet

1131 WHITE LAKE RD
 PART OF THE SOUTHWEST 1/4 OF SECTION 2, T3N, R7E,
 HIGHLAND TOWNSHIP, OAKLAND COUNTY, MICHIGAN

STAMP:



PROJECT NO:
 24500220

SHEET NO:
C-100



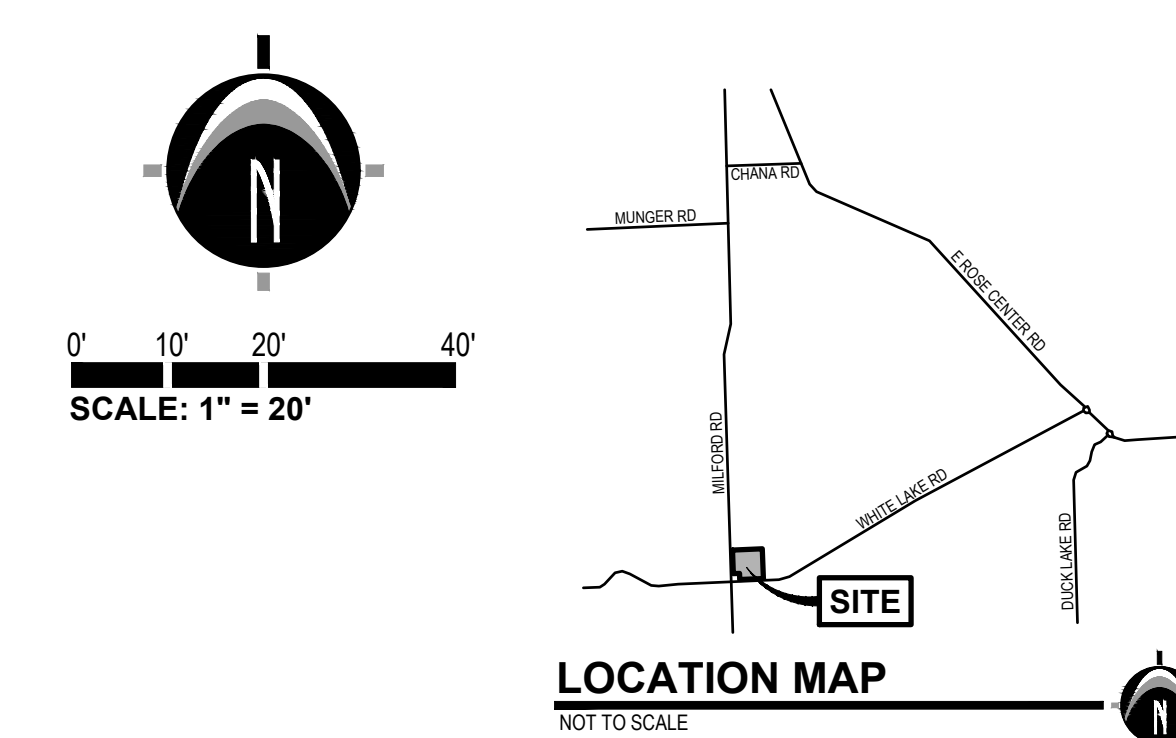
UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
 NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

PREPARED FOR:
 Wiggles & Giggles
 Khaled Mhaisen

1131 White Lake Rd.
 Highland, MI 48356

REVISIONS:

Title: SITE PLAN SUBMITTAL
 Drawn: CB/OO Checked: BC Date: 7.1.2024



LEGEND

●	Section Corner	MB	Mailbox
●	Iron - Set 1/2" X 18" iron rebar with NED Cap	○	Post
○	Iron - Found as noted	○	Utility Pole
□ _{AC}	Air Conditioning	○	Sign
○	Catch Basin - Round	○	Stop Sign
□	Catch Basin - Square	○	Underground Gas Marker
△	Control Point/ Benchmark	○	Water Well
□	Cable Riser	— X — X —	Fence
○	Culvert	— G —	Gas Line
○	Deciduous Tree	— OH —	Overhead Utility
□ _{EM}	Electric Meter	— SS —	Sanitary
○	Evergreen Tree	---	Zoning Setback Line
○	Faucet	▒	Asphalt
□	Flag	▒	Existing Building
□ _{GM}	Gas Meter	▒	Concrete
○	Guy Anchor	▒	Gravel
○	Light Pole		

BENCHMARKS

BENCHMARK #1416 ELEV. = 1035.77 (NAVD88)
 Benchtie in East side of power pole, located 16'-4" East of edge of pavement for Milford Road and 190'-4" North of White Lake Road.

BENCHMARK #1268 ELEV. = 1029.35 (NAVD88)
 Rim of catch basin, located at the Northeast corner of the intersection of White Lake Road and Milford Road 7'-4" North of back of curb.

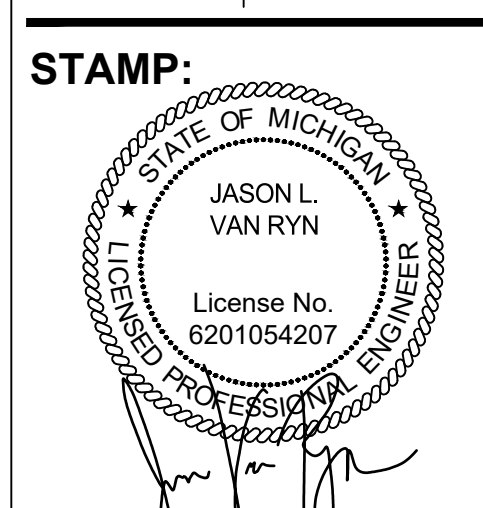
LEGAL DESCRIPTION

Real property in the City of Highland, County of Oakland, State of Michigan, described as follows:
 South 242.22 Feet of the West 242.22 feet of the Southwest 1/4 of Section 2, Town 3 North, Range 7 East, Except the South 50 feet of the West 50 feet taken for road.
 (Warranty Deed, dated, December 15, 2023, 135783, Liber 59066, Page 442, Oakland County Register of Deeds.)

SURVEYOR'S NOTES

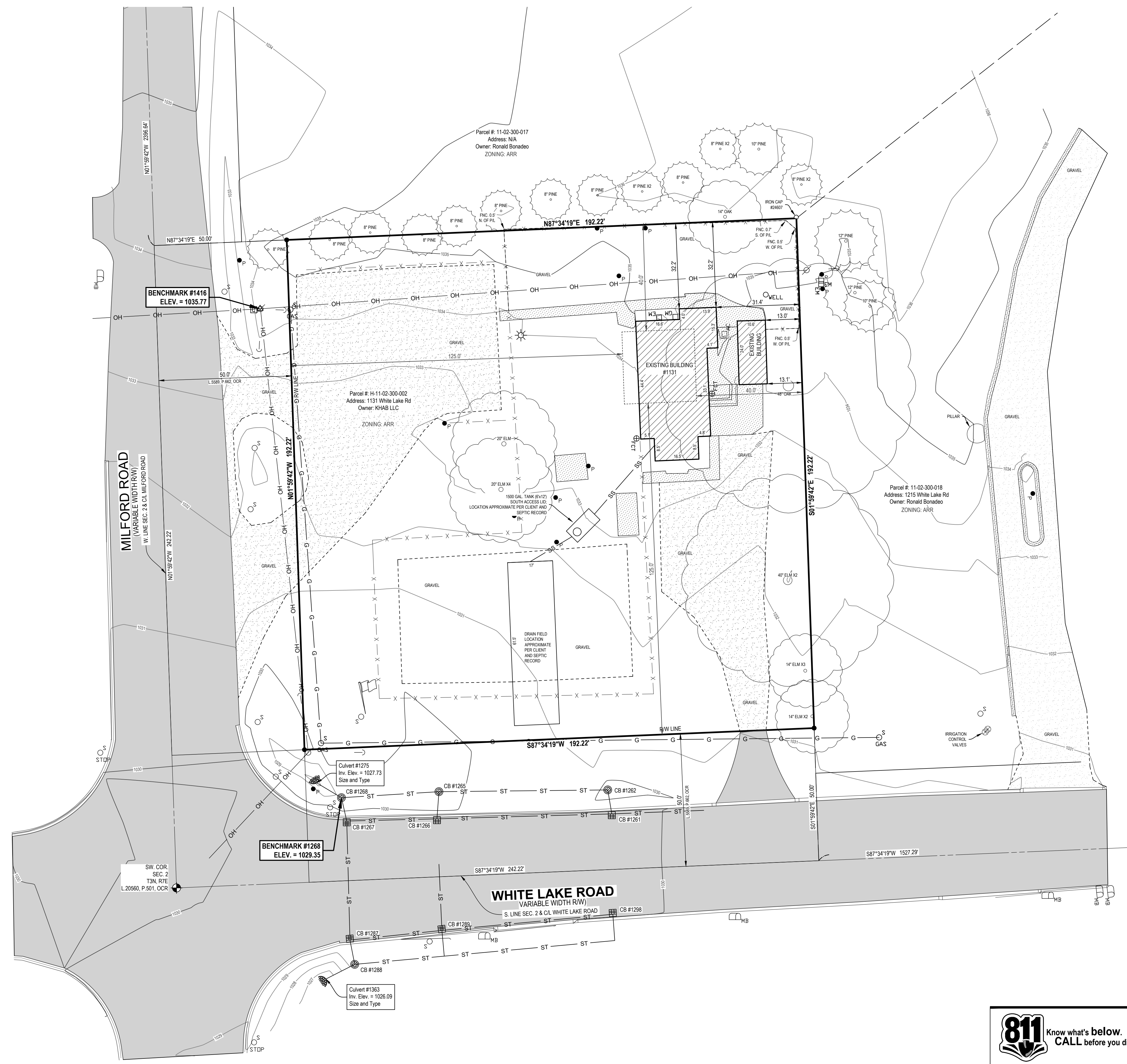
- Flood Zone Classification: An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260650, Map Number 2612500311F, with an Effective Date of September 29, 2006, shows this parcel to be located in Zone X (subject to map scale uncertainty).
- Lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary. These locations should not be interpreted to be exact locations nor should it be assumed that they are the only utilities in this area.
- NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.
- BASIS OF BEARING: NAD83 Michigan State Planes, South Zone, International Foot
- Quit Claim Deed to Board of County Road Commissioners of the County of Oakland, State of Michigan, a Public Body Corporate as recorded in Liber 5589, Page 662, Oakland County Register of Deeds.

WIGGLES & GIGGLES
 Existing Site Conditions Plan
 1131 WHITE LAKE RD
 PART OF THE SOUTHWEST 1/4 OF SECTION 2, T3N, R7E,
 HIGHLAND TOWNSHIP, OAKLAND COUNTY, MICHIGAN



PROJECT NO:
 24500220

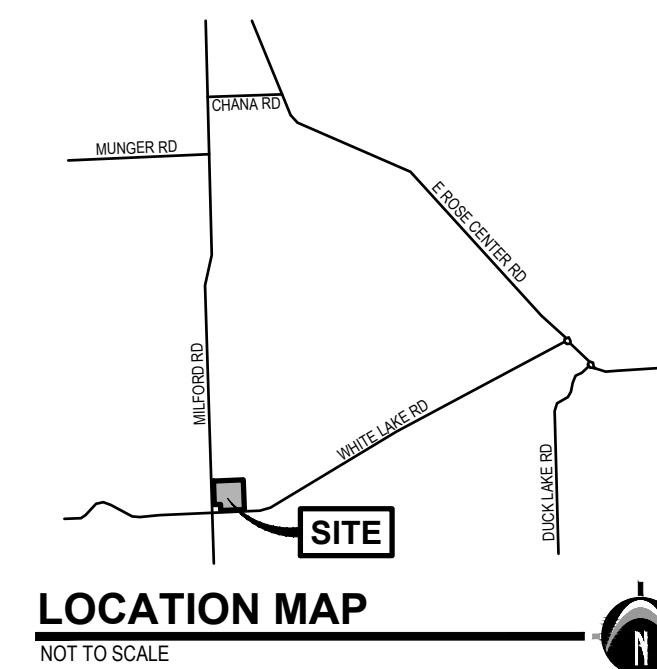
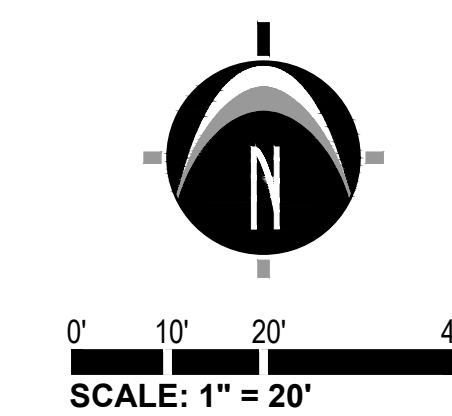
SHEET NO:
C-201



811 Know what's below.
 CALL before you dig.

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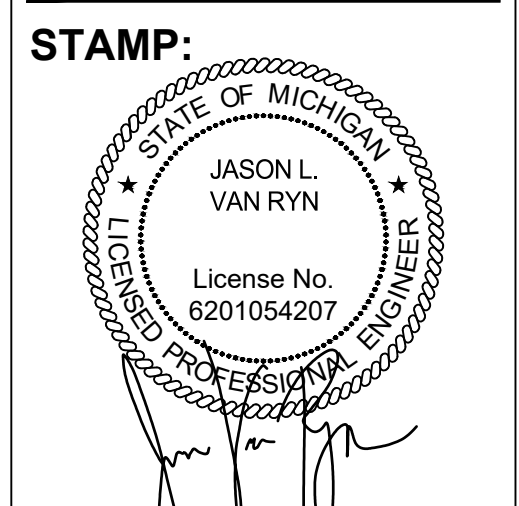
NEDERVELD
 www.nederveld.com
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ANN ARBOR
 3037 Miller Rd
 Ann Arbor, MI 48103
 Phone: 734.929.6963
 CHICAGO
 COLUMBUS
 GRAND RAPIDS
 HOLLAND
 INDIANAPOLIS

PREPARED FOR:
 Wiggles & Giggles
 Khaled Mneisen
 1131 White Lake Rd.
 Highland, MI 48356

REVISIONS:
 Title: SITE PLAN SUBMITTAL
 Drawn: CB/OO Checked: BC Date: 7.1.2024

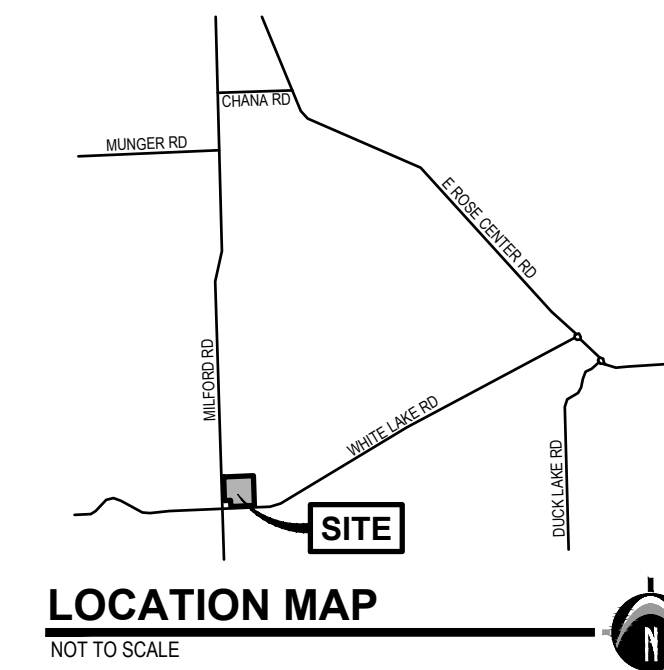
- NOTES**
- Soils Classification:
 13B - Oshtemo-Boyer loamy sands, 0 to 6 percent slopes
 44B - Riddles sandy loam, 1 to 6 percent slopes
 - All trees except those marked for removal (See sheet C-203 for details) shall remain on site.
 Trees to be removed:
 Elm (*Ulmus sp.*) 20" Single trunk, good condition
 Elm (*Ulmus sp.*) 20" Multi trunk, good condition

WIGGLES & GIGGLES
 Natural Resources Inventory
 1131 WHITE LAKE RD
 PART OF THE SOUTHWEST 1/4 OF SECTION 2, T3N, R7E,
 HIGHLAND TOWNSHIP, OAKLAND COUNTY, MICHIGAN



PROJECT NO:
 24500220

SHEET NO:
C-202

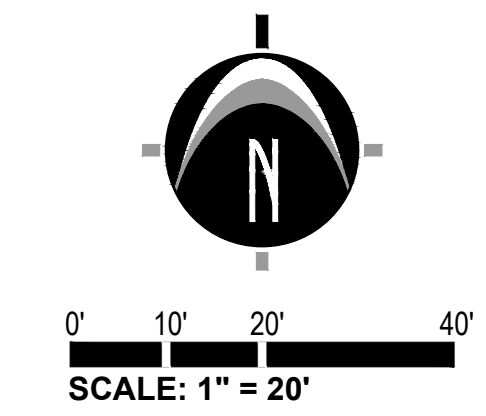


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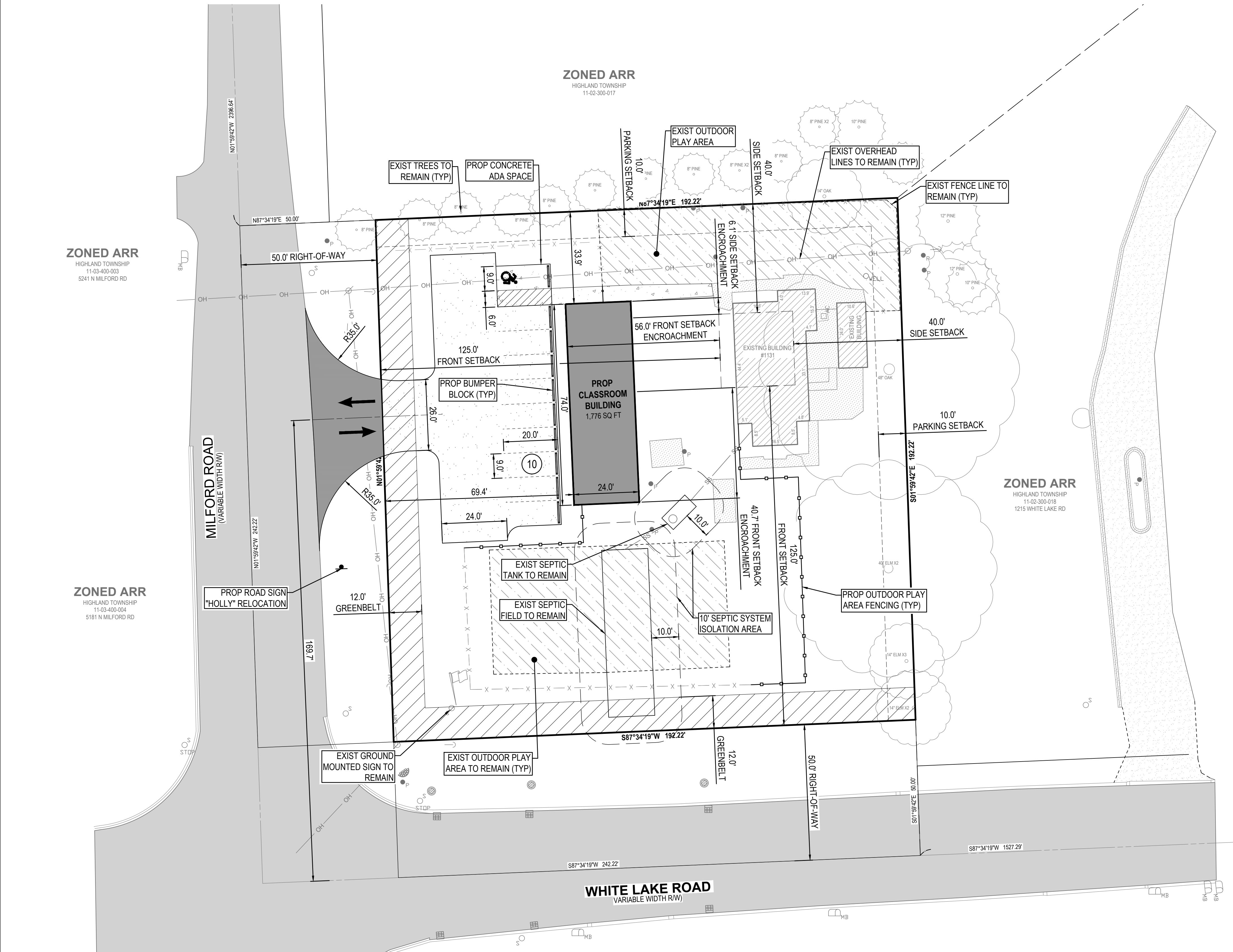
LEGEND

	EXISTING BITUMINOUS
	EXISTING CONCRETE
	EXISTING GRAVEL
	PROPOSED BITUMINOUS (STANDARD DUTY)
	PROPOSED CONCRETE (STANDARD DUTY)
	PROPOSED GRAVEL



GENERAL NOTES

- ZONING OF PROPERTY: ARR - AGRICULTURAL & RURAL RESIDENTIAL
 ARR ZONING REQUIREMENTS
 A) MINIMUM LOT AREA = 5 ACRES (217,800 SQ. FT.)
 B) MINIMUM LOT WIDTH = 330 FT.
 C) MAXIMUM BUILDING HEIGHT = 28 FT OR 2 STORIES
 D) MAXIMUM LOT COVERAGE = 10%
 SETBACKS
 A) FRONT YARD = 125 FT. (FRONTING MAJOR THOROUGHFARE)
 B) SIDE YARD = 40 FT.
 C) REAR YARD = 40 FT.
- SUMMARY OF LAND USE:
 A) TOTAL ACREAGE = 0.85 ACRES (36,946 SQ. FT.) (EXCLUDING R.O.W.)
 B) TOTAL BUILDABLE AREA = 0.02 ACRES (740.6 SQ. FT.)
 C) AREA OF PROPOSED BUILDING = 1,776 SQ. FT.
 D) AREA OF EXISTING BUILDING = 1,414 SQ. FT.
 E) LOT COVERAGE = 8.6%
 F) ZONING OF PARCELS TO SOUTH AND WEST = R-1.5 & ARR
 ZONING OF PARCELS TO NORTH AND EAST = ARR
 G) PROPOSED SETBACK ENCROACHMENTS:
 FRONT SETBACK (MILFORD RD) = 56.0 FT.
 FRONT SETBACK (WHITE LAKE RD) = 40.0 FT.
 SIDE SETBACK (NORTH) = 6.1 FT.
- *A VARIANCE APPLICATION FOR THE PROPOSED ENCROACHMENTS HAS BEEN SUBMITTED TO THE ZBA ON 7/2/2024
- PARKING REQUIREMENTS:
 A) MINIMUM REQUIRED SPACE PER TOWNSHIP = 9'x20' (24' AISLE)
 B) TYPICAL PARKING SPACE PROVIDED = 9'x20' (24' AISLE)
 C) TYPICAL VAN ACCESSIBLE PARKING SPACE = 11'x18' WITH 5' AISLE
 D) TYPICAL CAR ACCESSIBLE PARKING SPACE = 8'x18' WITH 5' AISLE
 E) NUMBER OF SPACES REQUIRED = 10 (BASED ON HIGHLAND REQUIREMENTS - 2 SPACES PLUS 1 ADDITIONAL SPACE FOR EACH CHILDREN < 60 CHILDREN / 8 = 8 SPACES + 2 SPACES = 10 SPACES)
 F) NUMBER OF SPACES PROVIDED = 10
- THIS PROJECT IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN, BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAPS
- BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
- CONTRACTOR TO FIELD VERIFY ALL INVERTS.
- ALL LIGHTING SHALL BE SHIELDED FROM ALL ADJACENT PROPERTIES. PROPOSED LIGHTING SHALL CONSIST OF WALL MOUNTED LIGHTS AND LIGHT POLES, BOTH FITTED WITH DOWN CAST TYPE FIXTURES TO BE SPECIFIED BY LIGHTING CONSULTANT.
- THE PERMANENT PARCEL NUMBER FOR THE SITE IS H-11-02-300-002.
 THE ADDRESS OF THE PROPERTY IS 1131 WHITE LAKE RD.
- NO FENCES OR WALLS OTHER THAN WHAT IS SHOWN ON THE SITE PLAN ARE PROPOSED AT THIS TIME.

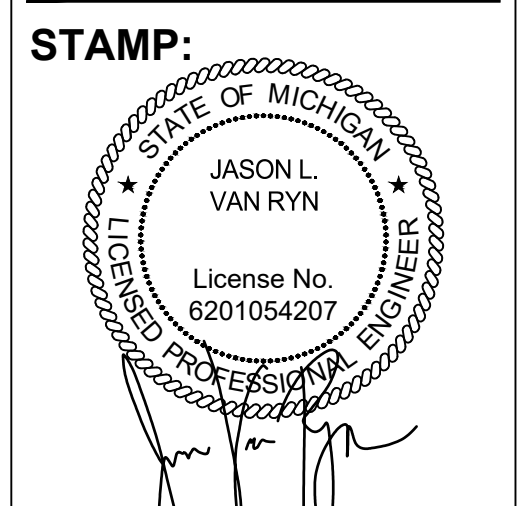


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WIGGLES & GIGGLES
 Site Layout Plan
 1131 WHITE LAKE RD
 PART OF THE SOUTHWEST 1/4 OF SECTION 2, T3N, R7E,
 HIGHLAND TOWNSHIP, OKLAND COUNTY, MICHIGAN



PROJECT NO:
 24500220

SHEET NO:
C-205

PREPARED FOR:
 Wiggles & Giggles
 Khaled Mhaisen

1131 White Lake Rd.
 Highland, MI 48356

REVISIONS:

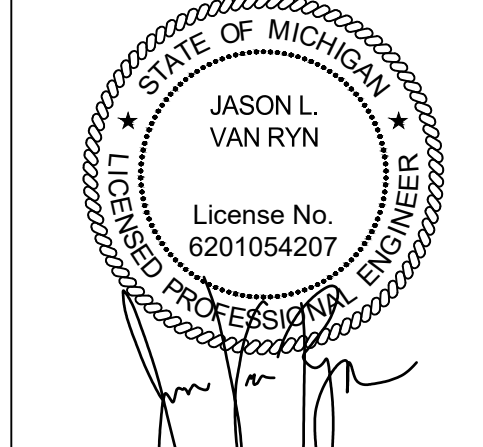
Title: SITE PLAN SUBMITTAL
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WIGGLES & GIGGLES

S.E.S.C. & Grading Plan

1131 WHITE LAKE RD
 PART OF THE SOUTHWEST 1/4 OF SECTION 2, T3N, R7E,
 HIGHLAND TOWNSHIP, OAKLAND COUNTY, MICHIGAN

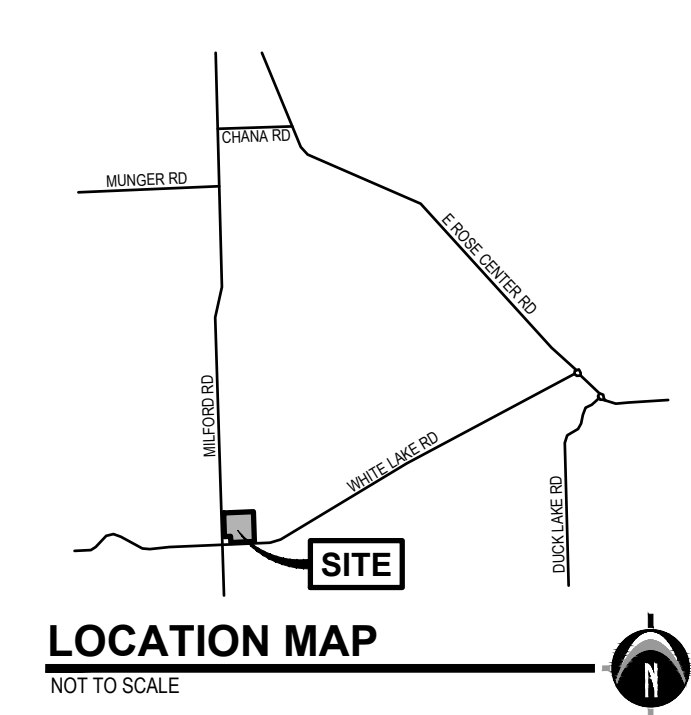
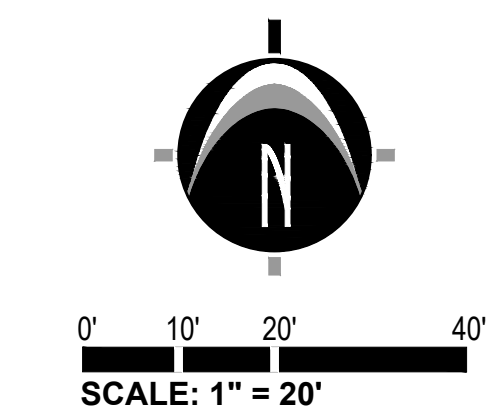
STAMP:



PROJECT NO:
 24500220

SHEET NO:

C-300



EXISTING	LEGEND	PROPOSED
Section Corner	Section Corner	EX. GRADE CONTOUR
Iron - Set 1/2" X 1/8" iron riser with NED Cap	Iron - Found as noted	PROP. GRADE CONTOUR
Air Conditioning	Catch Basin - Round	PROP. GRADE ELEV. (CONCRETE)
Catch Basin - Square	Control Point/ Benchmark	PROP. GRADE ELEV. (GRAVEL)
Cable Riser	Cable Riser	PROP. GRADE ELEV. (FINISH FLOOR)
Culvert	Culvert	EX. CONCRETE
Deciduous Tree	Deciduous Tree	PROPOSED CONCRETE (STANDARD DUTY)
Electric Meter	Electric Meter	PROPOSED GRAVEL
Evergreen Tree	Evergreen Tree	PROPOSED ASPHALT (STANDARD DUTY)
Faucet	Faucet	PROP. STORM SEWER
Flag	Flag	PROP. SANITARY SEWER
Gas Meter	Gas Meter	PROP. WATERMAIN
Guy Anchor	Guy Anchor	SILT FENCE
Light Pole	Light Pole	
Mailbox	Mailbox	
Post	Post	
Utility Pole	Utility Pole	
Sign	Sign	
Stop Sign	Stop Sign	
Underground Gas Marker	Underground Gas Marker	
Water Well	Water Well	
Fence	Fence	
Gas Line	Gas Line	
Overhead Utility	Overhead Utility	
Sanitary	Sanitary	
Zoning Setback Line	Zoning Setback Line	
Existing Building	Existing Building	
Existing Concrete	Existing Concrete	
Gravel	Gravel	

RAINGARDEN CALCULATIONS

RAIN GARDEN CALCULATIONS

Design Basis: Oakland County Stormwater Standards, November 2021

I. Runoff Volume Requirement

1) Developed area contributing runoff (A) = 0.17 acres

Surface	Area (sf)	C factor	A x C
Building	1,776	0.95	0.227
Gravel	4,709	0.75	0.476
Concrete	532	0.95	0.088
Water Surface	0	1.00	0.000
Semi-impervious	405	0.30	0.016
	7,422		0.79

Weighted Runoff Coefficient (C) = $(\sum A \times C) / \sum A$ = 0.79

2) Runoff Volume Infiltration Requirement (V_{CPVC}) = 633 ft³

$V_{wq} = 4,719 \times A \times C$

II. CPVC Volume Provided

Proposed BMP	Area (ft ²)	Runoff Storage Volume (ft ³)		Ave. Design Infiltration Rate (in/hr)	Subsurface Infiltration Volume (ft ³)	Total Volume Reduction (ft ³)
		Surface	Soil			
Porous Pavement w/Infiltration Bed						
Infiltration Basin						
Subsurface Infiltration Bed						
Infiltration Trench						
Rain Garden	487	406	0	1.5	0	406
Rain Garden	353	294	0	1.5	0	294
Dry Well						
Bioswale						
Vegetated Filter Strip						
Green Roof						
Total Volume Reduction Credit by Proposed Structural BMPs (ft³) =						700
Runoff Volume Infiltration Requirement (V_{CPVC}) =						633
Total Designed/Provided Infiltration Volume =						111%

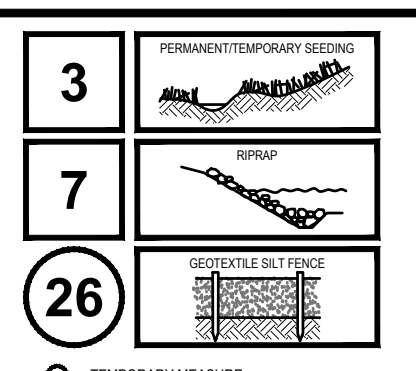
BENCHMARKS

BENCHMARK #1416 ELEV. = 1035.77 (NAVD88)
 Benchline in East side of power pole, located 16'-4" East of edge of pavement for Milford Road and 190'-4" North of White Lake Road.

BENCHMARK #1268 ELEV. = 1029.35 (NAVD88)
 Rim of catch basin, located at the Northeast corner of the intersection of White Lake Road and Milford Road 7'-4" North of back of curb.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" (MARCH 2021) FOR ADDITIONAL INFORMATION.
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SEWC AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SEWC MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.



○ - TEMPORARY MEASURE
 □ - PERMANENT MEASURE
 REFER TO MDT STANDARD PLAN R-86-D

811 Know what's below. CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

To whom it may concern,

In our country, many families must quickly face the decision to go back to work or stay home after their baby arrives. Despite loving my career, the daycare decision still wasn't an easy one for our family. My husband and I researched many daycares and never found one that fit until we visited Wiggles and Giggles. It was an atmosphere unlike any other I've seen. It was filled with laughter and love. This wasn't just a job for the staff. You could tell it was their passion.

We settled into a normal daycare routine and watched our daughters thrive in a caring learning environment with wonderful teachers. Their tireless efforts in creating a warm, inclusive, and engaging environment does not go unnoticed. From the creative crafts that adorn our refrigerator to the happy songs that are hummed around our house, their influence is evident in our daily lives. Wiggles and Giggles not only ensures our children are safe and well taken care of, but also makes sure they are learning in a fun and engaging way.

Wiggles and Giggles was a large reason why my husband and I decided to foster. We knew they would be there to help raise this little one just as they were for our daughters. A few weeks ago we began fostering a 7 week old baby. He is such a joy and blessing to our family! Approving the addition to expand the daycare will help us immensely. It will allow my family to have all three of our children at one location. It will put my mama heart at ease knowing our foster baby is being cared for with the same love and attention that I would give. I am forever grateful to this incredible daycare. To the daycare that has shown unconditional love. To the daycare that has helped shape my girls into the wonderful

young ladies they are today. This is why I believe you should approve the expansion of Wiggles and Giggles. Doing this will not only help my family, but it will give countless little ones the same opportunity to learn in a safe and caring atmosphere.

Sincerely,

Courtney LaMirand

To whom it may concern,

I currently have two children enrolled full time at Wiggles & Giggles/Imagination Station Two, they are 2.5 and 4 yrs old and have been at this daycare since 2021. I now also have a two week old infant who will need full time childcare when I return to work full time as a local emergency physician. To prevent multiple drop offs and/or searching for a new infant daycare, most of which have very long waitlists, I will need to enroll my newborn into our current daycare when he turns 12 weeks old, as I have done with my previous children. Thank you for your time and consideration. Please feel free to reach out with any concerns or questions.

Sincerely,

Erika Roberts, M.D.
Emergency Medicine
erikarobertsmd@gmail.com
734-301-7944

To whom it may concern,

I have had my children enrolled full time with Wiggles and Giggles for the past few years. I am a foster parent and they always tried their best to accommodate me. The only reason I had to leave Wiggles was because the owners at the home center where I had 2 babies enrolled, retired. I currently have 3 children that require daycare and I would love to be back with Wiggles if there is a center for infants/young toddlers. Thank you!

Very Respectfully,

Amanda Boatright

To whom this recommendation will be viewed and taken into consideration,

Our local Wiggles & Giggles of Highland, MI is in the process of having an infants addition added onto their care and services on the current property that they are located at now. Speaking for myself (and possibly other parents) the construction of an infant addition would be more than excellent for multiple reasons: personally, professionally, and most profitable for the Highland community.

Since the COVID pandemic, profit decreased everywhere from businesses to households. Wiggles & Giggles potentially adding infant care to the list of ages for part time or full time care as a licensed facility can be most profitable by creating more employment opportunities and households nearby will have the availability to work as they want while having a peace of mind that their baby is in great hands. Another profitable benefit of having the new addition added is that it could potentially draw in more people to want to settle their permanent home in the Highland area, making or planning families.

Professionally, Wiggles & Giggles checks all the boxes for kindness, smiley teachers (for smiley babies), applying & teaching all the milestones that need to be made by creativity and hands-on learning, having proper procedures in place for extra preventive safety measures per Michigan State guidelines, on top of keeping up with hygiene and cleanliness. With that small list of professionalism, parents are exceptionally willing to enroll their baby/toddler/child at Wiggles.

Personally, I am a Mom to a three year old that has been with Wiggles & Giggles since May 1st, 2023. A little over a year later I have been back to work full time and one of the hardest moves I had to make as a Mom was enrolling my son into a stranger's hands, Aiden being my first child especially. Looking back on my decision on moving forward with Wiggles & Giggles, I would make that same decision now. Aiden shows what he has learned at Wiggles in so many mind-blowing and crazy, cute ways. We have both been easily able to adapt well. My thanks and appreciation is to Wiggles & Giggles Staff and Wiggles & Giggles being there locally. From Holly, MI and growing up in the White Lake and Highland Township's community the local comfort-care and availability is all truly a blessing. Speaking of blessings, Aiden's baby sister is coming soon! With our economy, I will have no choice but to find infant care for her so I can continue to provide for our family. If Wiggles & Giggles has an infant addition added onsite it would be amazing and most convenient having that consistent comfort and available care!

Our local Wiggles & Giggles of Highland, MI is in the process of having an infants addition added onto their care and services on the current property that they are located at now. Speaking for myself (and possibly other parents) the construction of an infant addition would be more than excellent for multiple reasons: personally, professionally, and most profitable for the Highland community.

Thank you for acknowledging this letter. The communities all around look forward to growth.

Julia Sage, June 2024

To Whom it May Concern,

My 3-year-old daughter currently attends Wiggles & Giggles. As a working parent, I very much appreciate the hours and flexibility offered there. Our youngest daughter Willow, age 18 months, has to attend a daycare in Waterford. This is due to the surrounding daycares in Highland either not accepting infants and young toddlers, being at full capacity, or offering hours that do not work with my schedule of 7:30-4:30. It would be a lot less stressful to have her daycare located in Highland, which is why I'm hoping that Wiggles & Giggles is approved for the mobile unit so that they can begin accepting children under 18 months.

I have spoken to many of my friends that have similar struggles of finding childcare for their young children. The need is great for additional childcare resources in our area, especially for infants.

We are looking forward to the opportunity to move Willow's childcare to Wiggles & Giggles and to continue her pre-school there. Please consider allowing Wiggles & Giggles to open their mobile unit as soon as possible.

Should you have any questions, please do not hesitate to reach out.

Thank you for your time and consideration,

Chelsea Ferguson

3448 Lido Dr. Highland, MI 48356

(248) 860-5709